

NOTE:
LOCATION OF WASTE MANAGEMENT AND
RECYCLING ENCLOSURES LOCATED ONE
LEVEL DOWN OFF OF THE LOADING DOCK

ALL SITE SIGNAGE DESIGN IS IN
DEVELOPMENT AND WILL COMPLY TO CODE
AND AHJ REQUIREMENTS

PROPERTY INFORMATION DERIVED FROM
STANTEC SITE SURVEY ISSUED ON 16/08/2024

PROPERTY PLAN - 4R-2635
PIN - 04139-0264

RIDEAU CANAL

ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

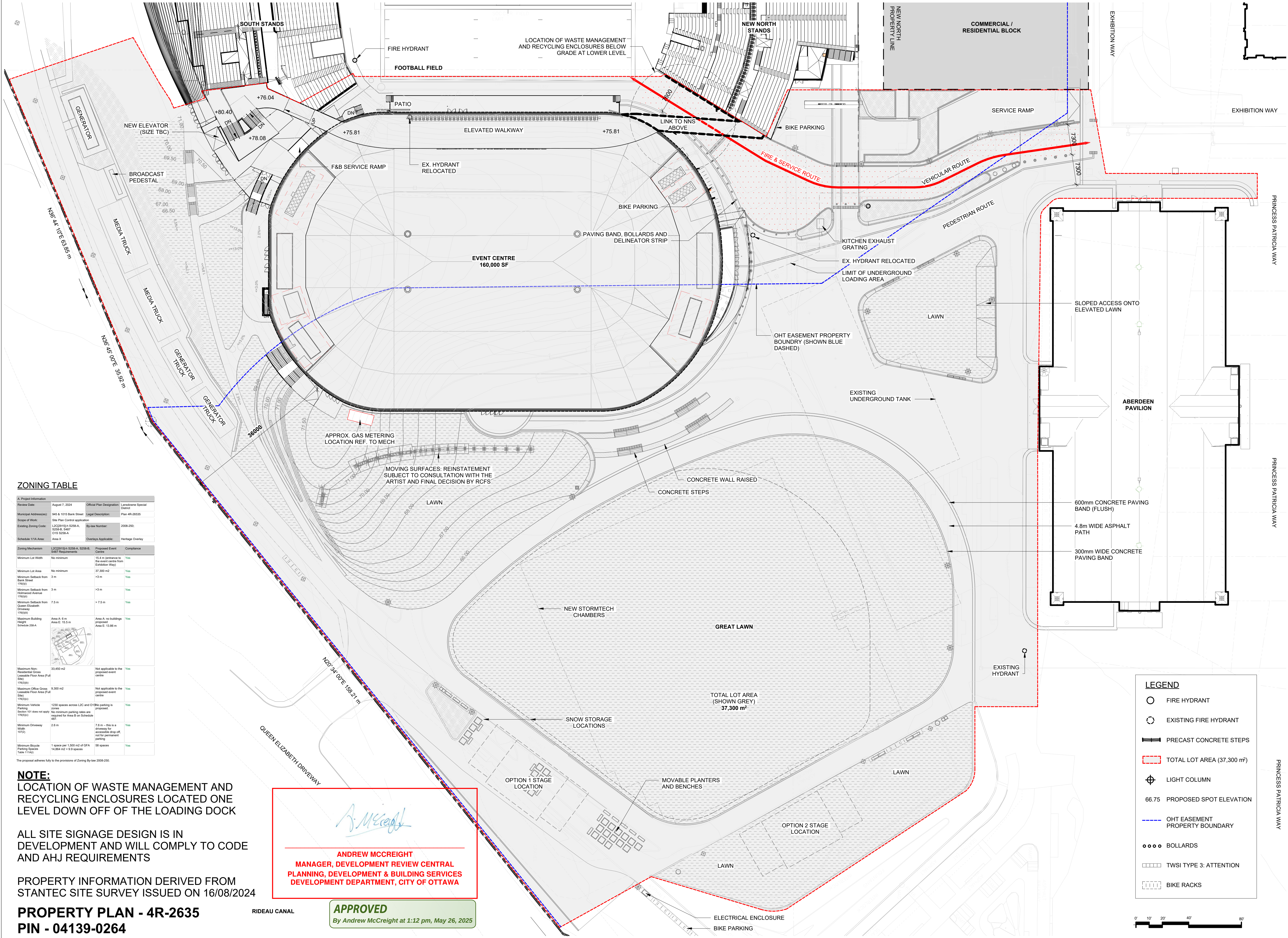
APPROVED

By Andrew McCreight at 1:12 pm, May 26, 2025

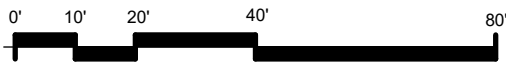
ZONING TABLE

A. Project Information			
Review Date:	August 7, 2024	Official Plan Designation:	Lansdowne Special District
Municipal Address(es):	945 & 1015 Bank Street	Legal Description:	Plan 4R-2635
Scope of Work:	Site Plan Control application	By-law Number:	2008-250
Existing Zoning Code:	L2C2D1514-0264-A, S25B-B, S487 C15 S25A-A	Overlays Applicable:	Heritage Overlay
Schedule 1/1A Area:	Area X	Overlays Applicable:	Heritage Overlay
Zoning Mechanism:	L2C2D1514-0264-A, S25B-B, S487 Requirements	Proposed Event Centre:	Compliance
Minimum Lot Width:	No minimum	15.4 m setback to the event centre from Exhibition Way	Yes
Minimum Lot Area:	No minimum	37,300 m ²	Yes
Minimum Setback from Bank Street (1700):	3 m	> 3 m	Yes
Minimum Setback from Huronwood Avenue (1700):	3 m	> 3 m	Yes
Minimum Setback from Queen Elizabeth Drive (1700):	7.5 m	> 7.5 m	Yes
Maximum Building Height Schedule 25A:	Area A: 6 m Area B: 15.5 m	Area A: no buildings proposed Area B: 13.85 m	Yes
Maximum Non-Residential Gross Leasable Floor Area (GFA) (1700):	33,450 m ²	Not applicable to the proposed event centre	Yes
Maximum Office Gross Leasable Floor Area (GFA) (1700):	9,300 m ²	Not applicable to the proposed event centre	Yes
Minimum Vehicle Parking Section 101 does not apply (1700):	1230 spaces across L2C and O18(a) parking is proposed	No minimum parking ratio is required for Area B on Schedule 487	Yes
Minimum Driveway Width (1012):	2.6 m	7.6 m - this is a driveway for access to the site, not for permanent parking	Yes
Minimum Bicycle Parking Spaces (1700):	1 space per 1,500 m ² of GFA 14,864 m ² = 9.9 spaces	58 spaces	Yes

The proposal adheres fully to the provisions of Zoning By-law 2008-250.



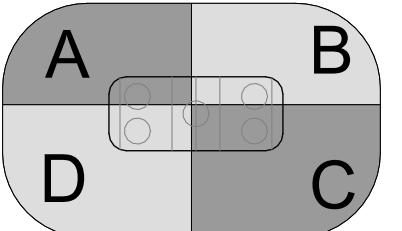
LEGEND	
	FIRE HYDRANT
	EXISTING FIRE HYDRANT
	PRECAST CONCRETE STEPS
	TOTAL LOT AREA (37,300 m ²)
	LIGHT COLUMN
	66.75 PROPOSED SPOT ELEVATION
	OHT EASEMENT PROPERTY BOUNDARY
	●●●● BOLLARDS
	TWSI TYPE 3: ATTENTION
	BIKE RACKS



NO.	DESCRIPTION	DATE
4	ISSUED FOR 50% DD	2024-10-18
3	ISSUED FOR 35% DD	2024-10-04
2	ISSUED FOR CITY SPA COMMENTS	2024-09-05
1	ISSUED FOR SITE PLAN APPROVAL	2024-08-07

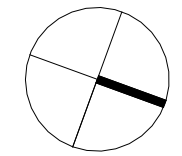
REVISIONS/ ISSUES

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS
AND REPORT ANY OMISSIONS OR DISCREPANCIES TO THE
ARCHITECT BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE THE DRAWINGS



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THIS DOCUMENT IS RELEASED
FOR THE PURPOSE OF
PRELIMINARY SUBMITTAL

IT IS NOT TO BE USED FOR
CONSTRUCTION
PURPOSES



DRAWN
JI
DATE
2025-04-22
CHECKED
SJ

LANSDOWNE 2.0
EVENT CENTRE,
NORTH SIDE STANDS AND
PUBLIC REALM
ENHANCEMENTS
945 & 1015 BANK STREET

DWG. TITLE
SITE PLAN - UPON
COMPLETION OF EVENT
CENTRE & NEW NORTH
STANDS

SCALE
1 : 400
PROJ. NO.
2418
DWG. NO.
EC-A1-04