

**BUILDING CODE ANALYSIS
PROPOSED ADDITION:**

- LOT AREA: 2 213.43m².
- EXISTING BUILDING AREA: 443.58m².
- EXISTING TOTAL FLOORS AREA: 526m²
- PROPOSED ADDITIONS BUILDING AREA : 368.16m²
- TOTAL BUILDING AREA AFTER ADDITION: 817.74m².
- 2 STOREY BUILDING FACING 1 STREET.
- USE: LIGHT INDUSTRIAL, GROUP "F" DIV. 3. .
- PARTS 3 AND 11 OF OBC 2012
- COMBUSTIBLE AND NON COMBUSTIBLE CONSTRUCTION.
- CLASSIFICATION: 3.2.2.78
- FLOOR ASSEMBLIES SHALL BE FIRE SEPARATION AND IF COMBUSTIBLE CONSTRUCTION IT SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45min.
- NO F.R.R REQUIRED FOR MEZZANINES AND ROOFS AND THEIR STRUCTURAL VERTICAL COMPONENTS.
- SPRINKLERS: NOT REQUIRED.
- FIRE ALARM SYSTEM: NOT REQUIRED.
- F.R.R. 45mm REQUIRED FOR EXISTING 1ST FLOOR FIRE SEPARATION AND ITS LOAD BEARING WALLS ASSEMBLIES, ARCHES AND COLUMNS.
- NO F.R.R. REQUIRED FOR THE EXISTING AND PROPOSED ROOF AND THEIR STRUCTURAL VERTICAL ASSEMBLIES.
- 2 EXITS MINIMUM REQUIRED FOR EACH FLOOR.
- TRAVEL DISTANCE: 30m MAX.
- NUMBER OF PERSONS: 19.
- PLUMBING EQUIPMENTS: 2 EXISTING WASHROOMS WITH ELECTRO-MECHANICAL VENTILATION.
- BARRIER FREE PATH OF TRAVEL: APPLICABLE TO THE FIRST FLOOR ONLY AS PER SECTION 3.8.

GROSS FLOOR AREA (WITHOUT EXTERIOR WALLS)
1st FLOOR AREA :443.58m² + 2nd Floor Area :83.14m² + Addition: 368.16m²

AREA (C) OF SCHEDULE A1 ZONING TABLE 203, BY-LAW NO.2016-249

PARKING TYPE	RATE	UNIT	PARKING REQUIRED
Warehouse (TABLE 101-N95)	0.4 STALL PER 100m ² OF GFA	1163.37 m ²	4.65 Stalls
TOTAL OF REQUIRED PARKING STALLS			4.65 Stalls
8 EXISTING PARKING STALLS + 7 NEW PROPOSED STALLS = 15 TOTAL			

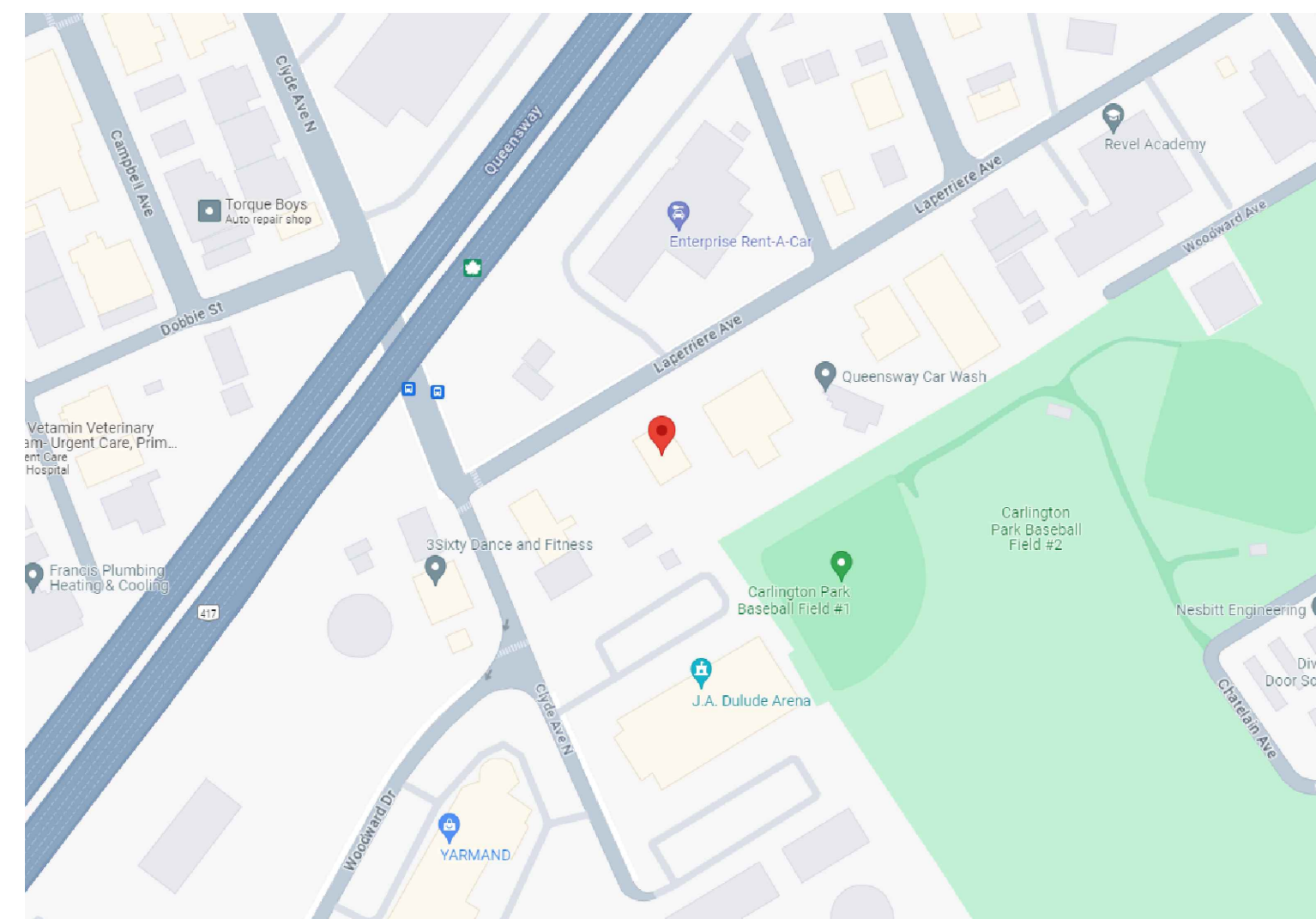
ZONING MECHANISMS: TABLE 203 - II. ZONE PROVISIONS

CONSTRUCTION PERMIT FOR A NEW INDUSTRIAL BUILDING		
DESCRIPTION	PROPOSED	REQUIRED
LOT AREA (MIN)	2213.44 m ²	N/A
FRONT SETBACK (MIN)	12.52 m	7.5 m
SIDE SETBACK - EAST (MIN)	EXISTING: 4.06m HALF RULE: 5.78m	7.50 m
SIDE SETBACK - WEST (MIN)	11.43 m	7.50 m
REAR SETBACK (MIN)	7.50 m	7.50 m
BUILDING HEIGHT (MIN./MAX)	1 FLOOR (11m)	1/2 (1)c
BUILDING AREA (MIN)	817.74m ²	/
TOTAL FLOOR AREA (MIN)	894.88m ²	/
FRONT WALL WIDTH (MIN)	17.60 m	/
MAXIMUM LOT COVERAGE (MAX)	0.40	0.65

BYCICLE PARKING SPACE TABLE

PARKING TYPE	RATE	UNIT	PARKING REQUIRED
WAREHOUSE	1 per 2000m ² of GFA		None Required
TOTAL PROVIDED			0

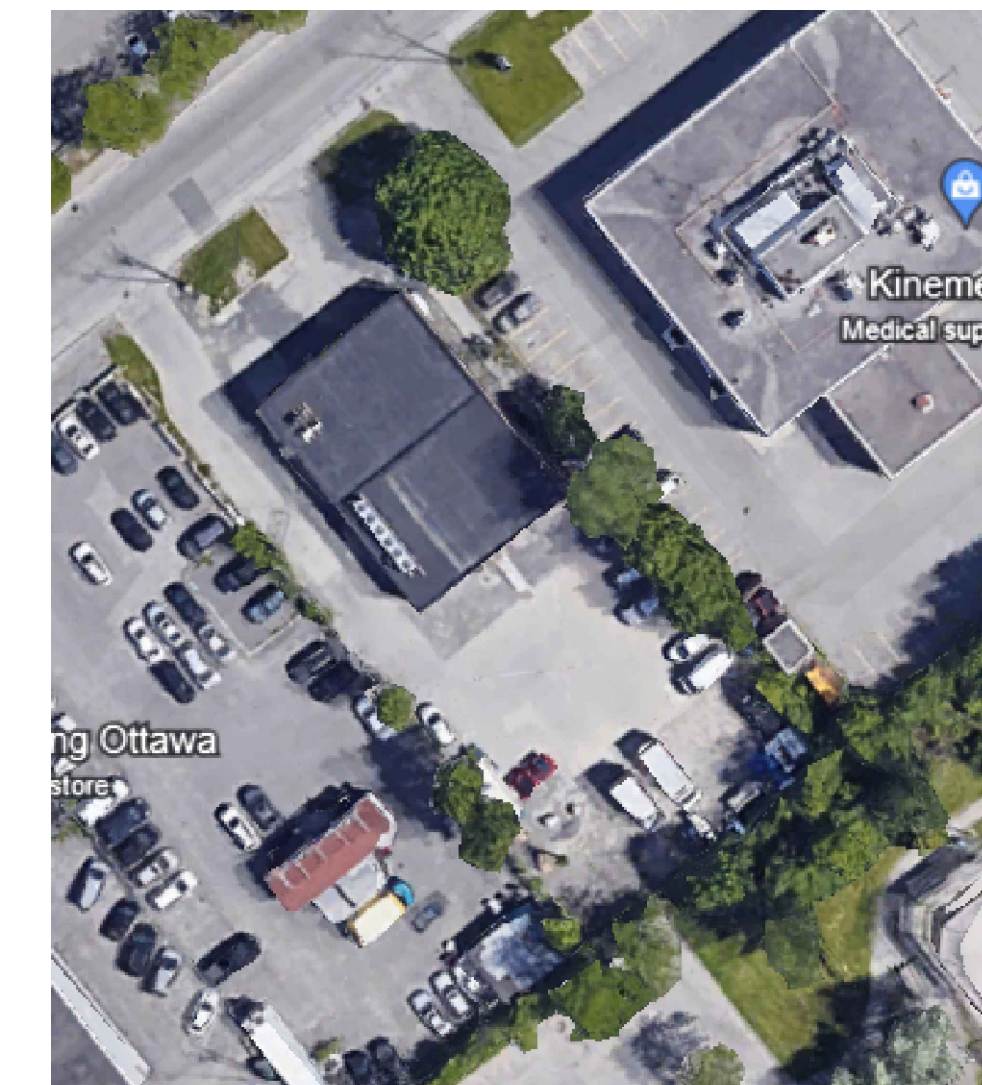
- LEGEND**
- 1 EX. CONCRETE CURB.
 - 2 CONCRETE WALKWAY / SLAB.
 - 3 EX. STONE PAVEMENT / WALKWAY.
 - 4 EX. DEPRESSED SIDEWALK.
 - 5 EX. PARKING SPACE
 - 6 PARKING LANE MARKING
 - 7 BARRIER FREE PARKING SPACE
 - 8 BARRIER FREE PARKING POST
 - 9 TREES TO BE REMOVED
 - 10 BARRIER FREE PATH OF TRAVEL
 - 11 EX. ASPHALT.
 - 12 GRASS.
 - 13 LANDSCAPED AREA.
 - 14 3 OUTDOOR BICYCLE STALLS
 - 15 WALL MOUNTED LIGHTING ON BUILDING
 - 16 OUTDOOR PATIO
 - 17 BICYCLE RACK
 - 18 TREES TO REMAIN



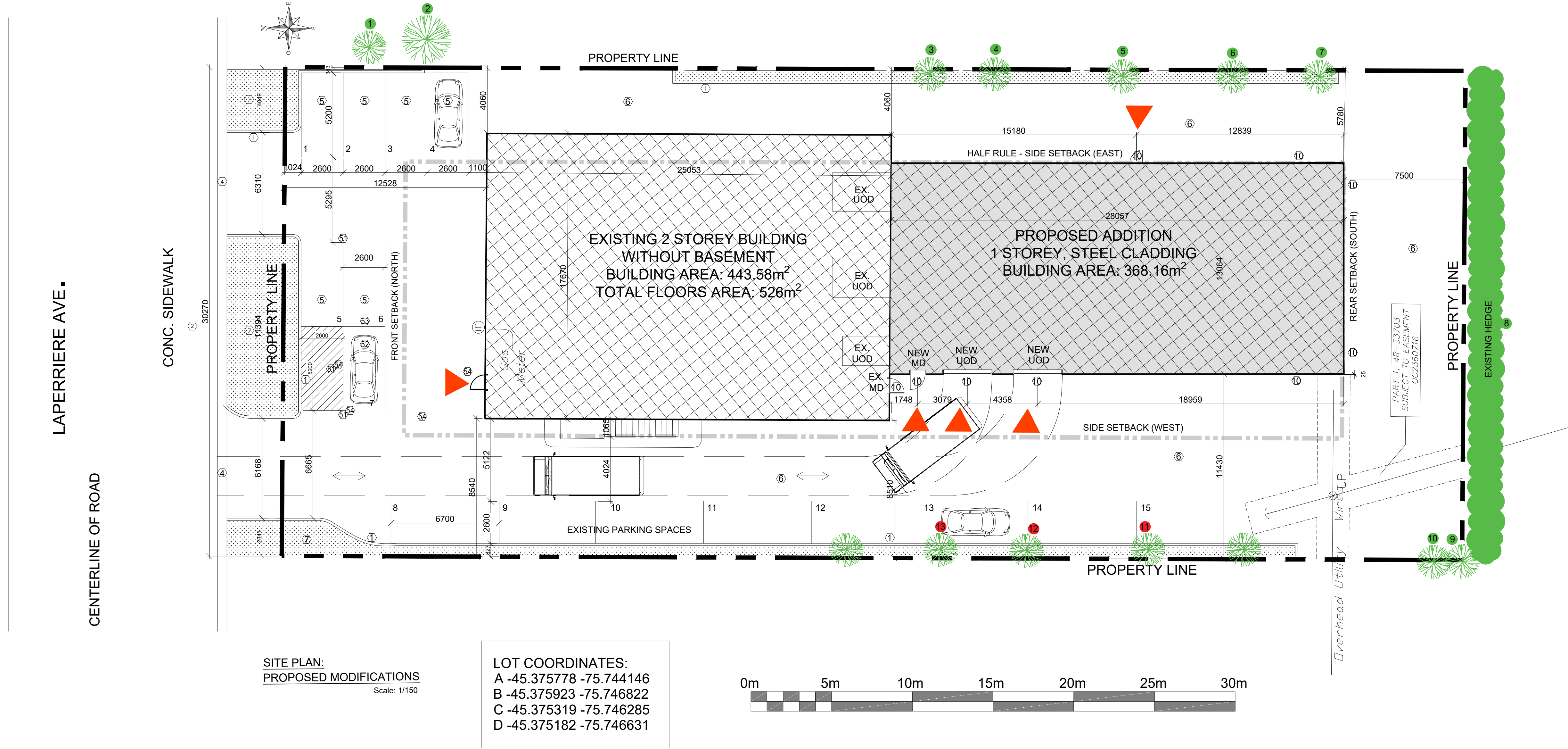
KEY PLAN:



PERSPECTIVE NORTH-WEST VIEW:



SATELLITE VIEW:



ISSUED FOR				REVISION			
No	DATE	DESCRIPTION	App.	No	DATE	DESCRIPTION	App.
01	2024.08.01	SITE PLAN CONTROL APPROVAL	P.T.				

No	DATE	DESCRIPTION	App.

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OF ARCHITECTS

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Project
SLIPACOFFS PREMIUM MEATS
1620 LAPERRIERE AVE. OTTAWA, ON

Title
PROPOSED SITE PLAN

Date : 2024-06-26
Draw by: R.C
Issued: 1
App by: P.Tabet

Scale: 1:150
Sheet: 1/7
Drawing #
A100