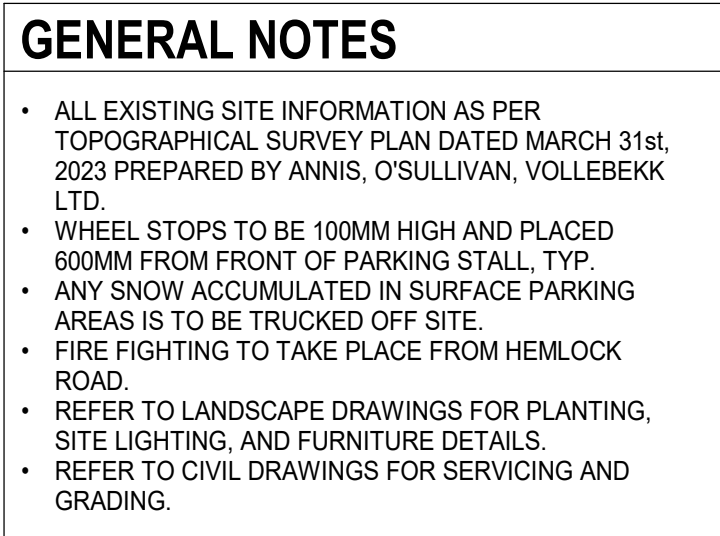




	PRINCIPAL ENTRY
	VISITOR PARKING
	DIRECTION OF TRAVEL
	PROPOSED TRANSFORMER LOCATION
	FIRE HYDRANT
	BARRIER-FREE PARKING SIGNAGE
	VISITOR PARKING SIGNAGE
	NO PARKING SIGNAGE
	FIRE LANE SIGNAGE
	STOP SIGN
	CONCRETE ROAD OVER UNDERGROUND PARKING
	CONCRETE
	LANDSCAPING - SOD
	LANDSCAPING - PEA GRAVEL
	LANDSCAPING - OTHER
	LOW IMPACT DEVELOPMENT AREA
	TREE TO BE TRANSPLANTED - ORIGINAL LOCATION
	TREE TO BE TRANSPLANTED - NEW LOCATION



ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



LAND USE DISTRICT	RSV [2312] Residential Fifth Density Zone, Subzone Y, Urban Exception 2312	
LEGAL DESCRIPTION / PIN	Block 5, Registered Plan 484-1718/ PIN 02473-1231	
MUNICIPAL ADDRESS	1255 Hemlock Road, Ottawa, ON	
COMMUNITY	Wateridge Village	
SITE AREA	4,174 SM	44,930 SF
Required: 450 SM	1.03 AC	0.417 HA
AMENITY AREA	Required	Provided
Total amenity area	606 SM	1,689.88 SM
Communal amenity area	120 SM	189.45 SM
LOT WIDTH	Required	Provided
	18.0m	39.29m

PROPOSED USES		One (1) Apartment Dwelling, Low Rise, one (1) accessory utility installation structure in rear yard	
UNITS TOTAL		89	
SETBACKS	Required	Provided	
Front yard (Hemlock Road)	5.0m	5.11m	
Corner side yard (Oshedinaa Street)	3.0m	3.50m	
Rear yard (Kijigong Street)	5.0m	12.33m	
Interior side yard	3.0m	4.01m	
PROJECTIONS INTO SETBACKS	Greatest		
Front yard (Hemlock Road)	1.80m		
Corner side yard (Oshedinaa Street)	0.64m		
Rear yard (Kijigong Street)	None		
Interior side yard	0.61m		
DENSITY	Units/ Ha	Units	
Minimum	105	43.8	
Maximum	N/A	N/A	
Proposed	213	89	
HEIGHT			
Maximum	16.00m		
Proposed	13.79m		
SITE COVERAGE	41.66%		

BLDG / LEVEL	GROSS FLOOR AREA	
	SF	SM
BUILDING A		
LEVEL 1	18,719.1	1,739.06
LEVEL 2	18,466.8	1,715.62
LEVEL 3	18,466.8	1,715.62
LEVEL 4	18,466.8	1,715.62
GFA	74,119.4	6,885.91
TOTAL GFA	74,119 SF	6,886 SM
SITE COVERAGE	18,719 SF	1,739 SM

BLDG / LEVEL	GROSS FLOOR AREA		UNDERGROUND PARKING
	SF	SM	# OF STALLS
BUILDING A			
PARKADE	31,628.1	2,938.34	89

BLOCK 5	AREA
	SM
HARDSCAPE	330
CONCRETE	295
UNIT PAVR	27
PEA GRAVEL	8
SOFTSCAPE	1,134
PLANT BEDS	646
SOD	488
TOTAL	1,464 SM
SITE COVERAGE	35.1%

TYPE		RATE	UNITS	REQUIRED	PROVIDED
			STALLS		STALLS
Building A					
	Resident	0.50 stalls/unit	89	35	89
	Visitor	0.10 stalls/unit	89	8	8
	Barrier-Free	Traffic & Parking Bylaw, Part C	89	1 of 89	2
	Total Stalls			42	97
			Deficiency		
			Surplus		55

IDENTIFIER	SIZE	DESCRIPTION		PROVIDED AREA		BUILDING A	QTY.....	%
		BEDROOM	WASHROOM	mt ²	Sq.ft			
UNIT A	- 60 SM			46.38	499.25	1	11	12.36%
UNIT B2	- 60 SM	1	1	50.82	547.02	8	8	8.99%
UNIT C	- 60 SM	1 + 1 Den		57.42	618.11	36	36	40.45%
GIALLO	- 60 SM	1 Den	1	54.32	582.37	4	4	4.40%
AZZURRO	- 60 SM	1 Den + 1 Den		59.08	635.91	3	3	3.37%
VERDE	- 60 SM	1 Den	1	54.65	589.89	3	3	3.37%
ARGENTO	- 60 SM	2	2	87.24	939.04	16	16	17.98%
UNIT G	- 60 SM	2	2	81.82	880.70	1	1	1.12%
- 60 SM	2 + 1 Den			89.90	967.69	3	3	3.27%
UNIT I	- 60 SM	3	2	109.21	1175.53	4	4	4.49%

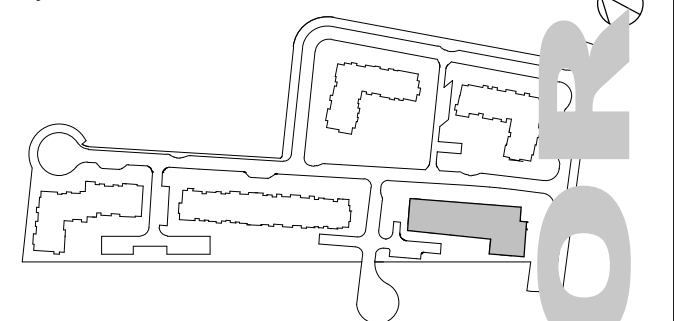
TYPE	QUANTITY	ACTUAL %	TYPE %	TOTALS
STUDIO / 1 BEDROOM	19	21.35%		
1 BEDROOM + DEN	46	51.69%	73.0%	65
1 BEDROOM ACCESSIBLE	11	12.36%		
2 BEDROOM	17	19.10%		
2 BEDROOM + DEN	3	3.37%	22.5%	20
2 BEDROOM ACCESSIBLE	4	4.49%		
3 BEDROOM	4	4.49%		
3 BEDROOM ACCESSIBLE	1	1.12%	4.5%	4
SUBTOTAL	89	100%		
ACCESSIBLE TOTALS	16	17.98%		

RohitTM
Bold Goes Further

This drawing has been prepared solely for the use of ROHIT COMMUNITIES and there are no representations of any kind made by NORR Architects Engineers Planners to any party with whom NORR Architects Engineers Planners has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer

Project Component
SITE PLAN CONTROL APPLICATION
Key Plan



Consultants

Civil: Arcadis Professional Services (Canada) Inc.

Landscape: Arcadis Professional Services (Canada) Inc.

Architecture: NORR Architects Engineers Planners

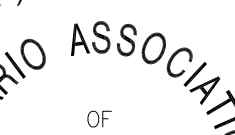
Structural: Cunliffe & Associates

Mechanical: Goodkey, Weedmark & Associates Ltd.

Electrical: Goodkey, Weedmark & Associates Ltd.

Owner: Rohit at Wateridge 5 Ltd.

Seal(s)



The seal is circular with the text "ONTARIO ASSOCIATION OF ARCHITECTS" around the top and "DATE EXPIRING LICENCE 5748" around the bottom. A signature is written across the center. To the right is a large, stylized "OZ" logo.

NORR

NORR Architects & Engineers Ltd.

55 Murray Street, Suite 600
Ottawa, ON, Canada K1N 5M3
norr.com

Project Manager M.EISELEN	Drawn O.BREYTENBACH
Project Leader O.BREYTENBACH	Checked E.FAULKNER

ROHIT COMMUNITIES

550 91 ST SW #101, EDMONTON, AB T6X 0V1

Project **Wateridge Village Block 5**

1255 HEMLOCK ROAD
OTTAWA, ON

Drawing Title

**SITE PLAN, CONTEXT,
AND STATISTICS**

Scale 

As indicated

Project No. _____

NCCA22-0243

Drawing No. **DP10-01**