

SITE AREA	45,201.6318 m ² (4.52 ha)
PARK AREA	3390.89 m ² (0.34 ha) (7.5%)
PAVED AREA****	14,765.48 m ² (32.66%)
LANDSCAPED AREA (NO INCLUDED PARK AREA)	15,867.44 m ² (35.10%)
TOTAL BUILDING COVERAGE	11,177.9 m ² (24.72%)
TOTAL GROSS FLOOR AREA	42,090.17m ²
DENSITY (UPH)	103.5 UPH
ZONE CATEGORY	R4(Z)

DWELLING BLOCK	DWELLING TYPE	GROSS FLOOR AREA (m ²)	UNITS
BLOCKS 3-4-5-8-9-11-12-13-20-21-22	24 UNITS STACKED DWELLING	572.75 m ² (per Block)	284
BLOCKS 1-6-7-14-15-18-19	20 UNITS STACKED DWELLING	477.91 m ² (per Block)	108
BLOCKS 2-10-16-17	16 UNITS STACKED DWELLING	383.07 m ² (per Block)	76
TOTAL			468

AMENITY AREAS	
AREA	COMMENTS
PRIVATE AMENITY AREAS	
REAR DECK	7488 m ² Lower units (234 units)
REAR PATIOS	2317.64 m ² Lower units where applicable(134 units)
SECOND FLOOR BALCONIES	947.33 m ² Upper units (234 units)
TOTAL PRIVATE AREAS	3946.63 m²
COMMUNAL AMENITY AREAS	
AMENITY AREA 1	243.49 m ²
AMENITY AREA 2	332.97 m ²
AMENITY AREA 3	127.96 m ²
AMENITY AREA 4	852.90 m ²
TOTAL COMMUNAL AREAS	1597.32 m²
TOTAL AMENITY AREAS	5543.95 m²

ZONE PROVISION - PLANNED UNIT DEVELOPMENT	REQUIRED	PROPOSED
62A(Z)	Min. Lot Area (m ²)	1400 m ² 45201 m ²
62A(Z)	Min. Lot Width (m)	18 m 292 m
62A(Z)	Min. Front Yard Setback (m)	3 5.10
62A(Z)	Min. Interior Side Yard Setback (m)	2 6
62B.6	Min. Rear yard setback (m)	6 6
62A(Z)	Max Building Height (m)	15 13.5
61	Landscaped Area	30 44
131.1	Min. Width of Private Way / Parking Aisle (m)	6 6.1
131.4a	Min. Setback for Any Wall of a Residential Building Within a Planned Unit Development	1.2 5
131.2	Min. setback for any wall of a residential use building to a private way	1.8 >4.5
137	AMENITY AREA	
137.6	Total min. amenity area (6m ² per unit)	2808 m ² 5557.69 m ²
137.6	Min. Communal Amenity Area m ² (Min. 50% area)	1404 m ² 1597.06 m ²
45	PERMITTED PROJECTION INTO REQUIRED YARDS	
65.6.1	Fire escapes, Open Stairways, Stoop (m)	>0.6m to lot line 0.5 m
65.6.a(i)	Covered or Uncovered Balcony, Porch and Deck	2m no closer than 1 to a lot line 2m no closer than 1.65 to a lot line

PARKING REQUIREMENTS	REQUIRED	PROPOSED
101 (Table R10)	Resident Parking - 1.2 spaces/unit	468 468 (1.0)
102 (Table column III)	Visitor Parking - 0.2 spaces/unit	95 87 (0.19)
106.1	Min. Perpendicular Parking Space Size (m)	2.6 x 5.2 2.6 x 5.2
106.2	Min. Length Parallel parking	6.7 6.7
107 (Table 107.d)	Min. Requires Aisle Width	6.0 6.1
BARRIER FREE PARKING		
Traffic and Parking bylaw Section 11.1	Min. Barrier Free Parking **	4 4
111		
111b	Min. Bicycle parking space dimension, horizontal (m)	Width: 0.6m 0.6
111A(b)	Min. Bicycle parking space access aisle Width (m)	Length: 1.8m 1.8
111A(b)	Min. Bicycle parking space access aisle Width (m)	1.5 1.5
110(a)(b)	LANDSCAPE AREA SURROUNDING PARKING LOT	234 234
110.a	Abutting a Street (m)	3 >8m
110.b	Not Abutting a street (m)	3 >25m
110.1.b	Min. % of parking lot landscape	15% 15.83%
110	REFUSE COLLECTION AREAS	
110.3b	Min. Waste collection setback to lot line	3 >29m
110.3.c/d	Opaque Screen Min. Height (m)	2 2**

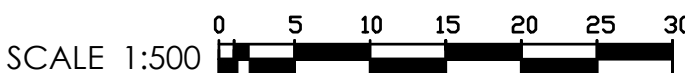
** Per the 2014 Guide to the Integrated Accessibility Standards Regulation - Design of Public Spaces Standard, 4% of parking spaces provided for public use must be accessible, 4 of the provided 87 visitor spaces have been designed to be barrier-free, two Type A, and two Type B seats.

*** Section 1103(d) where an in-ground refuse container is provided, the screening requirement of Section 33(c) above may be achieved with soft landscaping (Bylaw 502-099)

**** Paved area includes 50% of the area required for bicycle parking spaces (2x117 spots = 126.25 m²)

GARBAGE: REQUESTED BY TONING: PH 4
GARBAGE: 0.231 CUBIC YARD / UNIT 0.231 X 468 = 108.108 CUBIC YARD (17 BINS)
RECYCLING 0.062 CUBIC YARD / UNIT 0.018 X 468 = 8.42 CUBIC YARDS (2 BIN)
+ 0.062 CUBIC YARD / UNIT 0.062 X 468 = 29.01 CUBIC YARDS (5 BINS)
ORGANIC 240L PER 50 UNITS 240 L X 9.36 = 2246.4 L (1 BIN)

SITE PLAN NOTES
1. DO NOT SCALE DRAWINGS FOR PRINT.
2. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF Q4 ARCHITECTS AND CAIVAN. COPYRIGHT RESERVED.
3. WALKWAYS AND CURBS TO BE TIED INTO PUBLIC ROW WHERE APPLICABLE.
4. REFERENCE CITY OF OTTAWA T.W.S.I. DETAIL SC7.3
5. WHERE THE CLEAR WIDTH OF WALKWAY IS LESS THAN 1800 MM, PROVIDE A PASSING AREA, 1800 MM WIDE BY 1800 MM LONG (MINIMUM) AT INTERVALS OF 30 METRES OR LESS AS PER CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS 3.3.2- EXTERIOR PATHS OF TRAVEL - CLEAR WIDTH



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The contractor / builder must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work.

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LEGEND

STACKED TOWNS	NO PARKING
ENTRANCE	BARRIER FREE PARKING
BALCONY	BARRIER FREE PARKING SIGNAGE
PORCH	V VISITOR PARKING
PROJECTION (STAIRS)	BIKE RACKS
PAVERS	EARTH BIN (6.5 yd ³)
LOADING	HYDRO TRANSFORMER
LIGHT DUTY ASPHALT PAVING	LIGHT POLE
CROSSWALK	SNOW STORAGE AREA
DEPRESSED CURB	LANDSCAPED AREA
TACTILE WALKING SURFACE INDICATOR (NOTE 4)	MEDIUM DECIDUOUS TREE*
BLOCK BOUNDARY	SMALL DECIDUOUS TREE*
WASTE ENCLOSURE FENCE	DECIDUOUS SHRUB*
WOOD PRIVACY FENCE	CONIFEROUS SHRUB*
	GRASSES/PERENNIALS*

DIMENSIONS FROM I.D. BARNES \MP\PLAN NUMBER 4M-1429 DATED 11/07/2023

*TREES AND SHRUB LOCATIONS TO BE CONFIRMED ON LANDSCAPE PLAN

11	BLOCK 18 & 19 UPDATED-GRADING CHANGES	2025.07.08CT/JM
10	SPI - CITY RESUBMISSION	2025.07.03CT/JM
9	SPI - CITY RESUBMISSION	2025.05.25CT/JM
8	GRADING / BLOCK 18 & 19 CHANGES	2025.05.27CT/JM
7	SPI - CITY SUBMISSION FEEDBACK UPDATE	2025.03.24CT/JM
6	SPI - CITY COMMENTS DEEMED INCOMPLETE	2024.10.23CT/JM
5	SPI - L&L COMMENTS	2024.10.11 CT/JM
4	SPI - PLANNERS COMMENTS	2024.08.13CT/JM
3	SPI - PRE-CONSULT COMMENTS	2024.08.13CT/JM
2	SPI - TREE ZONES COMMENTS UPDATE	2024.08.08CT/JM
1	SPI - CITY COMMENTS UPDATE	2024.07.17CT/JM

Issued / Revision Chart

Project Title
ORLEANS VILLAGE PHASE 4 - STACKED TOWNS

Location **245 & 275 Lamarche Avenue, OTTAWA, ON.**

Site Plan File: D07-12-24-0103

Eng. File: 19046

ZBLA File: D02-02-24-0049

PIN 04404-1854 (LT), 04404-1880 (LT), 04404-1882 (LT) and Part of PIN 04404-1855 (LT), being Blocks 147, 173, 175 and Part of Block 148, Registered Plan 4M-1629

Legal Name CITY OF OTTAWA

Client
CAIVAN
(Orleans Village 2) Ltd.

Project No.

Scale

1:500

Drawn By

CT

Checked By

CT

OVERALL SITE PLAN

SP1

APPROVED
By sevignyjo at 12:19 pm, Sep 11, 2025

JOHN SEVIGNY C.E.T.
MANAGER (A), DEVELOPMENT REVIEW EAST
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

INNES ROAD

COURS CREVIER WALK

BLOCK 173
(0.30m RESERVE)
PIN Q4404-1880 (LT)

LAMARCHE AVE

PROPOSED BUS PAD AND
SHELTER PAD AS PER
DETAIL SC12

BLOCK 175
(0.30m RESERVE)
PIN 04404-1880 (LT)

PROPERTY