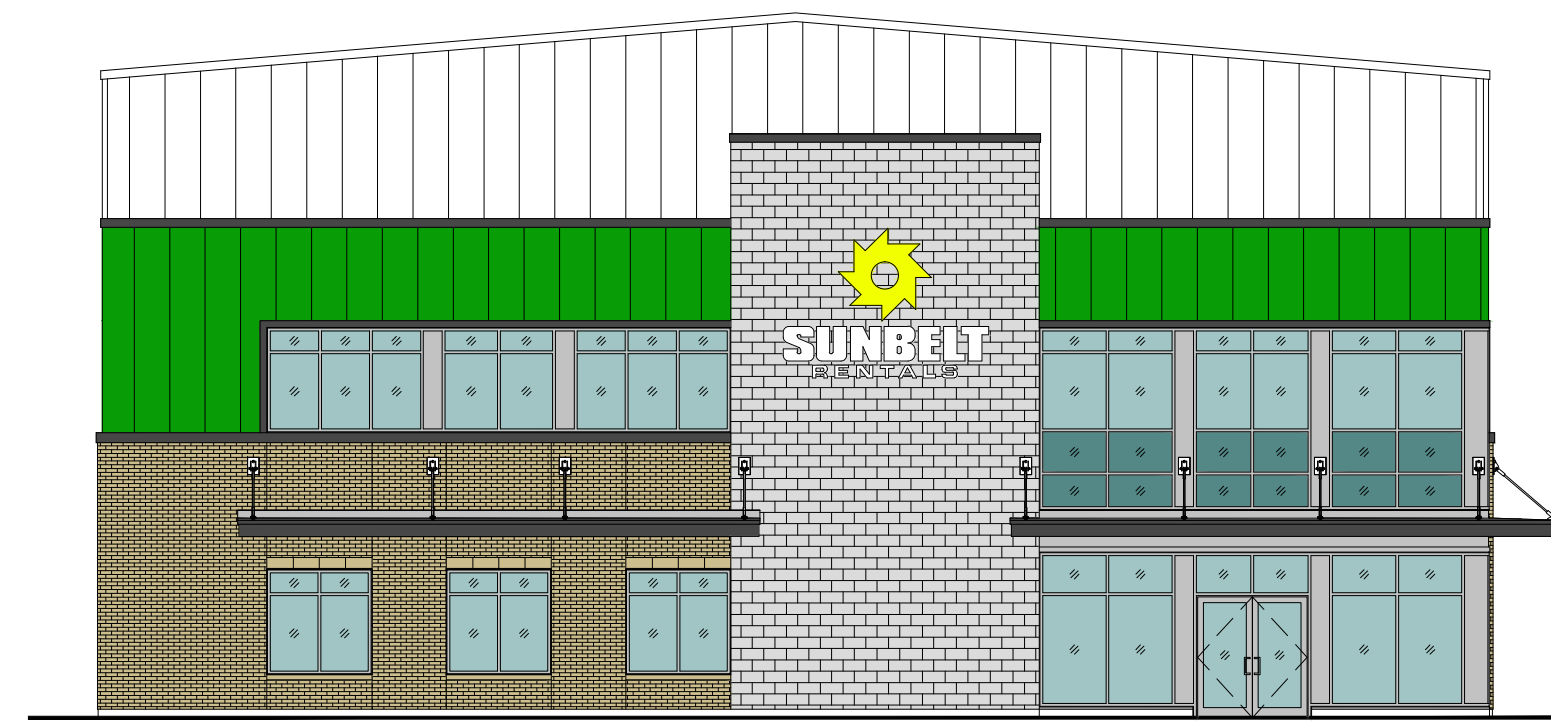


Sunbelt Rentals Inc.

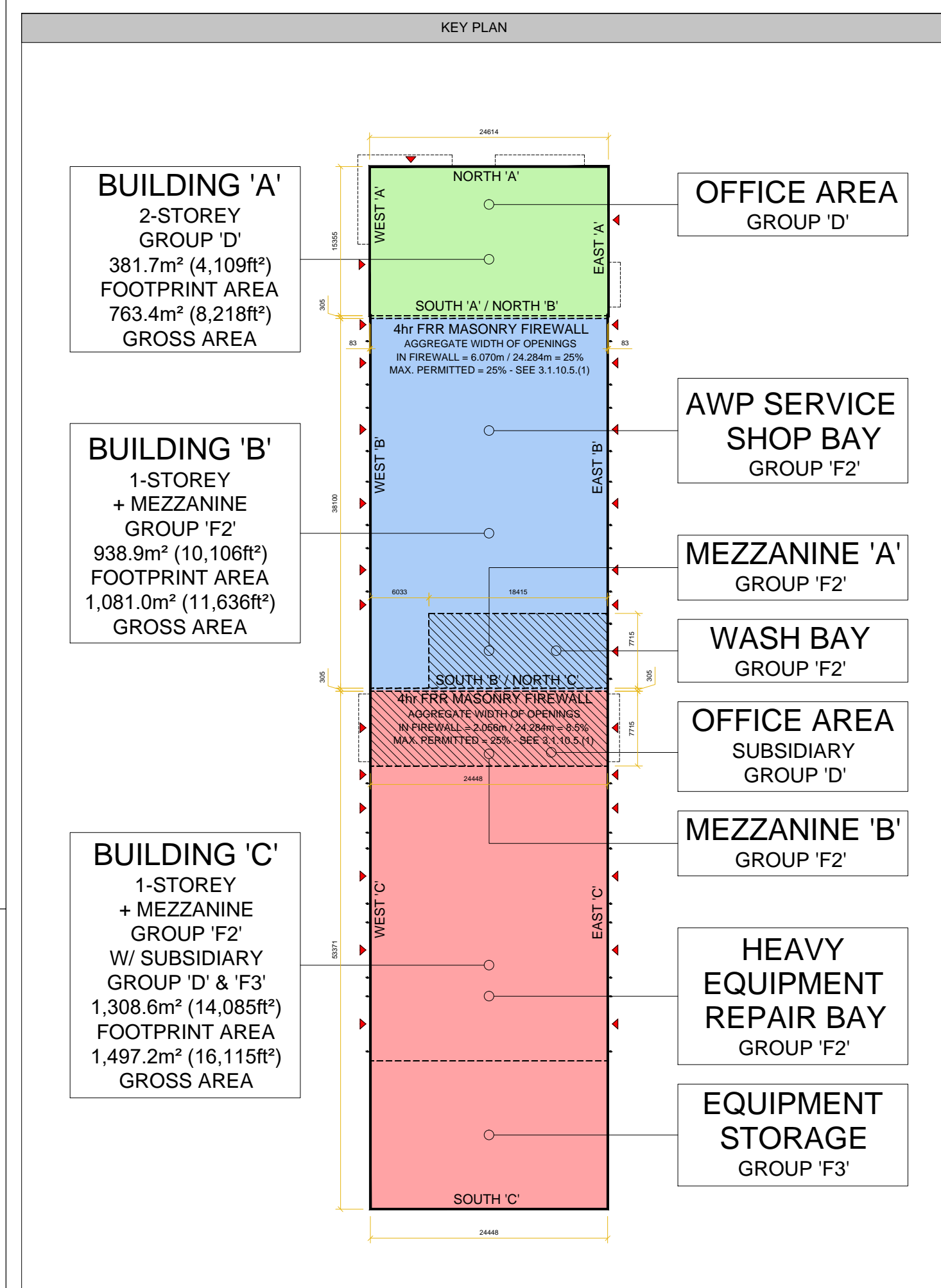
Equipment Maintenance Facility

151 - 159 Wescar Lane, Carp ON

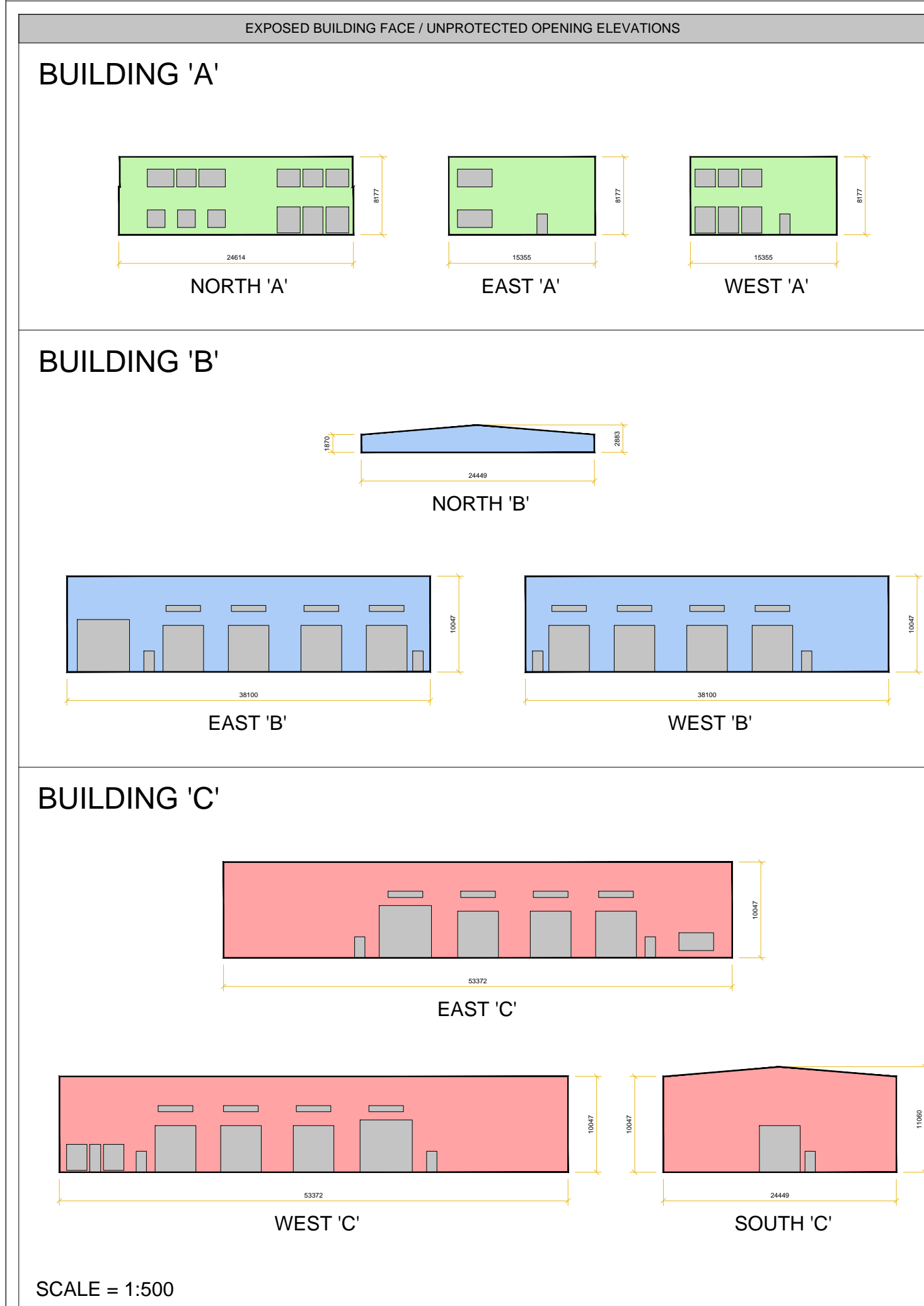


Architectural Drawing List:

A0.1	Title Sheet - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A0.2	Assembly Schedule & Notes - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A1.0	Site Plan	Issue 06	-	For SPA Response	-	08-15-2024
A1.1	Site Details	Issue 06	-	For SPA Response	-	08-15-2024
A2.0	Foundation Plan - Front - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A2.1	Foundation Plan - Rear - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A2.2	Ground Floor Plan - Front - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A2.3	Ground Floor Plan - Rear - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A2.4	Second Floor Plan - Front - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A2.5	Mezzanine Plan - Rear - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A2.6	Roof Plan - Front - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A2.7	Roof Plan - Rear - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A2.8	Ground Floor & Mezzanine Plans - Phase 2 Building	Issue 06	-	For SPA Response	-	08-15-2024
A3.0	Building Elevations - North & West - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A3.1	Building Elevations - South & East - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A3.2	Building Elevations - Phase 2 Building	Issue 06	-	For SPA Response	-	08-15-2024
A4.0	Building Sections - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A4.1	Building Sections - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A4.2	Building Sections - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A5.0	Plan Details - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A5.1	Plan Details - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A5.2	Section Details - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A5.3	Section Details - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A5.4	Section Details - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A5.5	Section Details - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A6.0	Washroom Details - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A6.1	Stair Details - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A6.2	Stair Details - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A7.0	Ground Floor Reflected Ceiling Plan - Front - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A7.1	Ground Floor Reflected Ceiling Plan - Rear - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A7.2	Second Floor Reflected Ceiling Plan - Front - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A7.3	Second Floor Reflected Ceiling Plan - Rear - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A8.0	Ground Floor Finish Plan - Front - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A8.1	Ground Floor Finish Plan - Rear - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A8.2	Second Floor Finish Plan - Front - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A8.3	Second Floor Finish Plan - Rear - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A9.0	Window Schedule - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024
A9.1	Door Schedule - Phase 1 Building	Issue 06	-	For SPA Response	-	08-15-2024



SCALE = 1:500



SCALE = 1:500

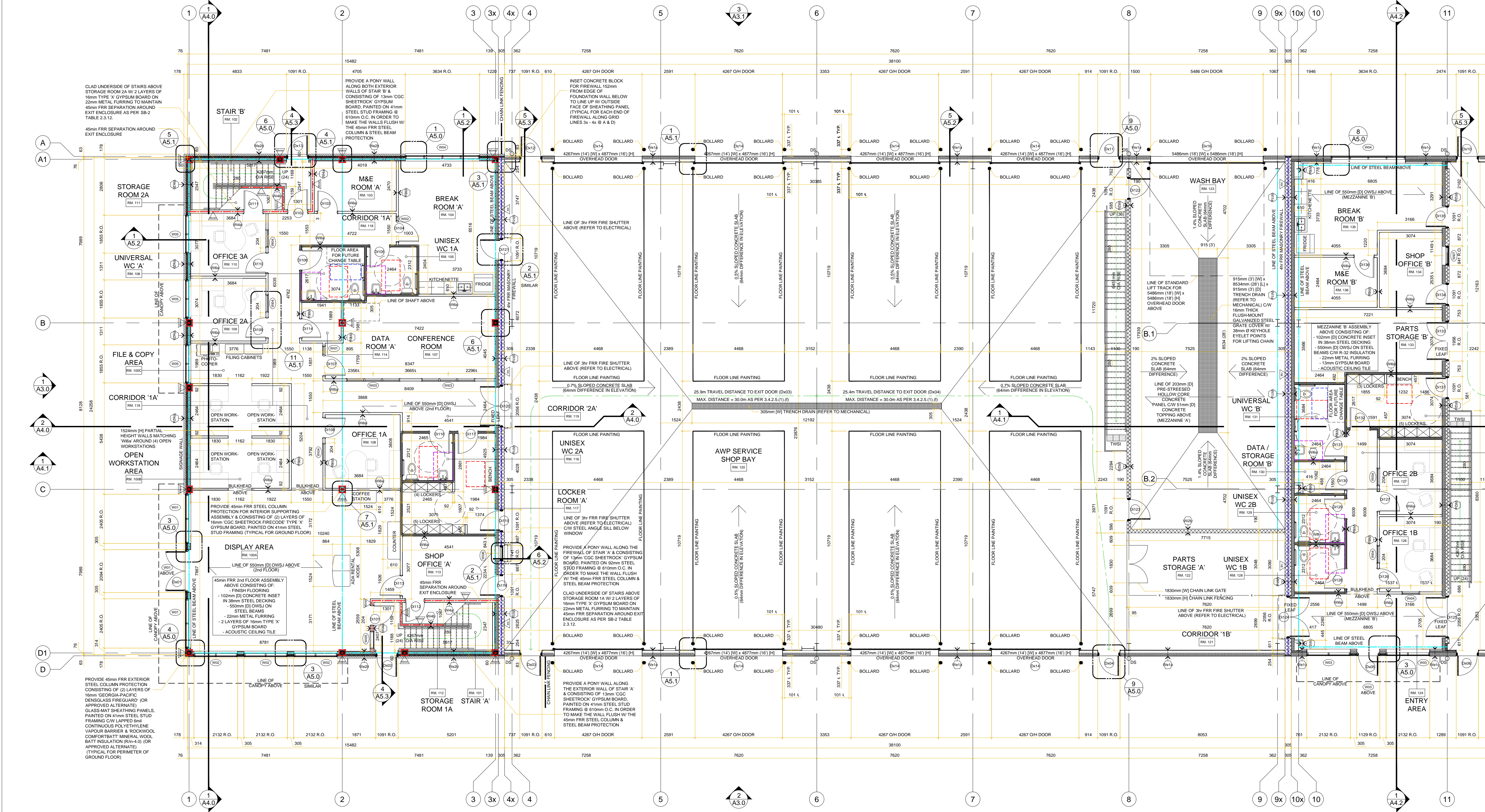
Name of Practice:		Building Code Reference	
Peter Mansfield Architect - OAA License #5450 122 Bridge Street, Almonte ON K0A 1A0 T: (613) 715-0431		Ontario's 2012 Building Code Data Matrix Part 3 or 9	
Name of Project: Sunbelt Rentals Inc. - Equipment Maintenance Facility Phase 1 - Building 'A' (Refer to Key Plan)		Building Code Reference	
Location of Project: 151 - 159 Wescar Lane, Carp ON		Part 3 or 9	
Item	Project Description: 2-storey steel-framed office building w/ access to Phase 1 - Building 'B'	Part 11	1.1.2 [A]
1	Major Occupancy(s): Group D (Office)	Part 9	3.1.2.1.(1), 1.4.1.2 [A]
2	Building Area (m²): Existing 0.0 New 381.7 Total 381.7	Part 9	1.4.1.2 [A]
3	Gross Area (m²): Existing 0.0 New 763.4 Total 763.4	Part 9	1.4.1.2 [A]
4	Number of Storeys: Above Grade 2 Below Grade 0	Part 9	1.4.1.2 [A] & 3.2.1.1
5	Number of Streets / Fire Fighter Access: 2	Part 9	3.2.2.10, & 3.2.5
6	Building Classification: Group D, up to 2 Storeys	Part 9	3.2.2.55
7	Sprinkler System Proposed: Entire Building	Part 9	3.2.2.55
8	Standpipe Required: No	Part 9	3.2.9
9	Fire Alarm Required: No	Part 9	3.2.4
10	Water Service / Supply is Adequate: Yes	Part 9	3.2.5.7
11	High Building: No	Part 9	3.2.6.1.(1)(c)
12	Construction Restrictions: Combustible / Non-Combustible / Both	Part 9	3.2.2.55
13	Actual Construction: Combustible / Non-Combustible / Both	Part 9	3.2.2.55
14	Mezzanine Area (m²): 0.0	Part 9	3.2.1.1.(3)-(8)
15	Occupant Load Based on: m² / Person	Part 9	3.1.17
Type Occupancy Description Load Building Code Reference			
Ground Floor Office D 328m² Area / 9.3m² 35 3.1.17.1.(1)(c),(ii)			
Second Floor Office D 328m² Area / 9.3m² 35 3.1.17.1.(1)(c),(ii)			
Total 70			
16	Barrier-Free Design: Yes	Part 9	3.8, 3.8.2.1.(2)(b), 3.8.2.1.(2)(c)
17	Hazardous Substances: No	Part 9	3.3.1.2, & 3.3.1.19
18	Required Fire Resistance Rating (FRR)	Part 9	3.2.2.55, 3.2.1.4
Horizontal Assemblies Listed Design No. or Description			
FRR (Hours) Floors 45min SB-2 Table 2.3.1.2			
Roof N/A Membrane ceiling - 2 layers of 16mm type 'X' gypsum board			
Mezzanine N/A as a storey as per 3.2.1.1.(3)			
Supporting Members Listed Design No. or Description			
FRR (Hours) Floors (Supporting Assembly) SB-2 Table 2.6.1.F. (Columns) (Min. MD ratio of 35 - 2 layers of 16mm type 'X' gypsum board)			
Roof N/A			
Mezzanine N/A			
19	Spatial Separation - Construction of Exterior Walls	Part 9	3.2.3
Wall Area of Exposed Building Face (m²) Area of Unprotected Opening (m²) Limiting Distance (m) L/H Proposed Max. % of Openings Permitted Max. % of Openings FRR (Hours) Type of Construction Required (3.2.3.7) Type of Cladding Required (3.2.3.7) Building Code Table & Reference			
North 'A' GROUP 'D' 200.7m² 56.4m² 19.0m 3:1 28.1% 100% N/A N/A - no restrictions Tables 3.2.3.1.B, & 3.2.3.7			
East 'A' GROUP 'D' 125.6m² 15.9m² 38.2m 2:1 12.6% 100% N/A N/A - no restrictions Tables 3.2.3.1.B, & 3.2.3.7			
South 'A' GROUP 'D' N/A - 4hr FRR firewall between Buildings 'A' & 'B'			
West 'A' GROUP 'D' 125.6m² 31.7m² 76.3m 2:1 25.2% 100% N/A N/A - no restrictions Tables 3.2.3.1.B, & 3.2.3.7			
20	Water Closet Requirements: Group 'D'	Part 9	3.7.4.7
Type Occupancy Load Details Water Closets Required Water Closets Provided Building Code Reference			
Ground Floor Office D 23 328m² / 14m² 2 water closets per sex 1 universal washroom + 2 barrier-free unisex water closets Tables 3.7.4.7, & 3.8.2.3.A, & 3.7.4.2.(7)			
Second Floor Office D 23 328m² / 14m² 2 water closets per sex 2 female water closets + 1 male water closet & 1 urinal Table 3.7.4.7, & 3.8.2.3.(6)			
21	Comments:		
3.4.2.1.(2)(b) - Minimum Number of Exits (Group D): Two exits from each of the ground floor and second floor levels of the Group 'D' occupancy are required as the floor area of each floor level exceeds the maximum value of 200m².			
3.8.2.1 - Areas Requiring Barrier-Free Path of Travel: A barrier-free path of travel is required to extend throughout the ground floor level of the Group 'D' occupancy as the floor area is part of the entrance atrium. A barrier-free path of travel is not required to extend throughout the second floor level of the Group 'D' occupancy as per Sentence 3.8.2.1.(2)(b) as the building is less than 3 storeys in building height and the building area is less than 600m².			
12.2.1.2.(2)(b) - Energy Efficiency Design After December 1, 2016: The building will conform to Division 1 and 3 of MNAH Supplementary Standard SB-10 and the energy efficiency requirements outlined under SB-10 Division 1 - Sentence 1.1.1.3.(1) and Division 3 - Table 5.5-6 (I-P) for Climate Zone 6 with the Group 'D' office occupancy meeting the requirements for a non-residential heated space. U-Values have been determined from the ANSIIASHRAEIES Standard 90.1-2013 (I-P Edition).			

Name of Practice:		Building Code Reference	
Peter Mansfield Architect - OAA License #5450 122 Bridge Street, Almonte ON K0A 1A0 T: (613) 715-0431		Ontario's 2012 Building Code Data Matrix Part 3 or 9	
Name of Project: Sunbelt Rentals Inc. - Equipment Maintenance Facility Phase 1 - Building 'B' (Refer to Key Plan)		Building Code Reference	
Location of Project: 151 - 159 Wescar Lane, Carp ON		Part 3 or 9	
Item	Project Description: 1-storey pre-engineered building w/ mezzanine and access to Phase 1 - Buildings 'A' & 'C'	Part 11	1.1.2 [A]
2	Major Occupancy(s): Group F, Division 2 (Repair Garage)	Part 9	3.1.2.1.(1), 1.4.1.2 [A]
3	Building Area (m²): Existing 0.0 New 938.9 Total 938.9	Part 9	1.4.1.2 [A]
4	Gross Area (m²): Existing 0.0 New 1,081.0 Total 1,081.0	Part 9	1.4.1.2 [A]
5	Number of Storeys: Above Grade 1 Below Grade 0	Part 9	1.4.1.2 [A] & 3.2.1.1
6	Number of Streets / Fire Fighter Access: 2	Part 9	3.2.2.10, & 3.2.5
7	Building Classification: Group F, Division 2, up to 2 Storeys	Part 9	3.2.2.71
8	Sprinkler System Proposed: Entire Building	Part 9	3.2.2.71
9	Standpipe Required: No	Part 9	3.2.9
10	Fire Alarm Required: No	Part 9	3.2.4
11	Water Service / Supply is Adequate: Yes	Part 9	3.2.5.7
12	High Building: No	Part 9	3.2.6.1.(1)(c)
13	Construction Restrictions: Combustible / Non-Combustible / Both	Part 9	3.2.2.71
14	Actual Construction: Combustible / Non-Combustible / Both	Part 9	3.2.2.71
15	Mezzanine Area (m²): 142.1	Part 9	3.2.1.1.(3)-(8)
16	Occupant Load Based on: m² / Person	Part 9	3.1.17
Type Occupancy Description Load Building Code Reference			
AWP Service Shop Bay F2 768m² Area / 46m² 17 3.1.17.1.(1)(c),(ii)			
Wash Bay F2 135m² Area / Design 2 3.1.17.1.(1)(c),(ii)			
Mezzanine 'A' (Storage) F2 142m² Area / Design 2 3.1.17.1.(1)(c),(ii)			
Total 21			
16	Barrier-Free Design: Yes	Part 9	3.8, 3.8.2.1.(2)(c)
17	Hazardous Substances: No	Part 9	3.3.1.2, & 3.3.1.19
18	Required Fire Resistance Rating (FRR)	Part 9	3.2.2.71, 3.2.1.4
Horizontal Assemblies Listed Design No. or Description			
FRR (Hours) Floors 45min N/A - no 2nd Floor Assembly & Mezzanine is not classified as a storey as per 3.2.1.1.(3)			
Roof N/A			
Supporting Members Listed Design No. or Description			
FRR (Hours) Floors (Supporting Assembly) N/A - no 2nd Floor Assembly & Mezzanine is not classified as a storey as per 3.2.1.1.(3)			
Roof N/A			
Mezzanine N/A			
19	Spatial Separation - Construction of Exterior Walls	Part 9	3.2.3
Wall Area of Exposed Building Face (m²) Area of Unprotected Opening (m²) Limiting Distance (m) L/H Proposed Max. % of Openings Permitted Max. % of Openings FRR (Hours) Type of Construction Required (3.2.3.7) Type of Cladding Required (3.2.3.7) Building Code Table & Reference			
North 'B' GROUP 'F2' 58.1m² 0.0m² N/A - 4hr FRR firewall between Buildings 'A' & 'B'			
East 'B' GROUP 'F2' 382.3m² 127.4m² 38.8m 4:1 33.3% 100% N/A N/A - no restrictions Tables 3.2.3.1.C, & 3.2.3.7			
South 'B' GROUP 'F2' N/A - 4hr FRR firewall between Buildings 'B' & 'C'			
West 'B' GROUP 'F2' 382.3m² 97.3m² 76.4m 4:1 25.4% 100% N/A N/A - no restrictions Tables 3.2.3.1.C, & 3.2.3.7			
20	Water Closet Requirements: Group 'F2'	Part 9	3.7.4.7
Type Occupancy Load Details Water Closets Required Water Closets Provided Building Code Reference			
AWP Service Shop Bay F2 17 768m² / 46m² 2 water closets per sex 1 universal washroom + 2 barrier-free unisex water closets Tables 3.7.4.9, & 3.8.2.3.A, & 3.7.4.2.(7)			
Wash Bay F2 2 135m² Area 2 female water closets (water closets are shared with and located in the adjacent Building 'C')			
Mezzanine 'A' (Storage) F2 2 142m² Area			
Combined Total w/ Building 'C' 21 + 27 = 48 persons			
21	Comments:		
3.4.2.2.(2) - Mezzanine Exiting (Group F2): One exit from the mezzanine level of the Group 'F2' occupancy is permissible as the mezzanine is not required to terminate at a vertical fire separation as per Sentence 3.8.2.2.(1)(c) and is not considered a storey when calculating building height as per Sentence 3.2.1.1.(3)(a) as the mezzanine does not exceed 40% of the open area of the room in which it is located at 18.2%. The two enclosed rooms (Rm. No. 214 & 215) located on the mezzanine are permissible as per Sentences 3.2.1.1.(3)(b) and 3.2.1.1.(8) as the two enclosed rooms do not obstruct visual communication with the open space of the mezzanine and the room which it is located, and the area of two enclosed rooms at 27m² does not exceed 10% of the open area of the room in which the mezzanine is located at 87m² or 3.1%.			
3.8.2.1 - Areas Requiring Barrier-Free Path of Travel: A barrier-free path of travel is required to extend throughout the ground floor level of the Group 'F2' occupancy as the floor area is part of the entrance atrium. A barrier-free path of travel is not required to extend throughout the mezzanine level of the Group 'F2' occupancy as per Sentence 3.8.2.1.(2)(c).			
12.2.1.2.(2)(b) - Energy Efficiency Design After December 1, 2016: The building will conform to Division 1 and 3 of MNAH Supplementary Standard SB-10 and the energy efficiency requirements outlined under SB-10 Division 1 - Sentence 1.1.1.3.(1) and Division 3 - Table 5.5-6 (I-P) for Climate Zone 6 with the Group 'F2' repair garage occupancy only meeting the requirements for a semi-heated space as it is an exempt occupancy type as per Sentence 1.2.1.1.(1)(f) and Table 1.2.1.1. U-Values have been determined from the ANSIIASHRAEIES Standard 90.1-2013 (I-P Edition).			

Name of Practice:		Building Code Reference	
Peter Mansfield Architect - OAA License #5450 122 Bridge Street, Almonte ON K0A 1A0 T: (613) 715-0431		Ontario's 2012 Building Code Data Matrix Part 3 or 9	
Name of Project: Sunbelt Rentals Inc. - Equipment Maintenance Facility Phase 1 - Building 'C' (Refer to Key Plan)		Building Code Reference	
Location of Project: 151 - 159 Wescar Lane, Carp ON		Part 3 or 9	
Item	Project Description: 1-storey pre-engineered building w/ mezzanine, storage & access to Phase 1 - Building 'B'	Part 11	1.1.2 [A]
2	Major Occupancy(s): Group F, Division 2 (Repair Garage)	Part 9	3.1.2.1.(1), 1.4.1.2 [A]
3	Building Area (m²): Existing 0.0 New 1,308.6 Total 1,308.6	Part 9	1.4.1.2 [A]
4	Gross Area (m²): Existing 0.0 New 1,497.2 Total 1,497.2	Part 9	1.4.1.2 [A]
5	Number of Storeys: Above Grade 1 Below Grade 0	Part 9	1.4.1.2 [A] & 3.2.1.1
6	Number of Streets / Fire Fighter Access: 3	Part 9	3.2.2.10, & 3.2.5
7	Building Classification: Group F, Division 2, up to 2 Storeys	Part 9	3.2.2.71
8	Sprinkler System Proposed: Entire Building	Part 9	3.2.2.71
9	Standpipe Required: No	Part 9	3.2.9
10	Fire Alarm Required: No	Part 9	3.2.4
11	Water Service / Supply is Adequate: Yes	Part 9	3.2.5.7
12	High Building: No	Part 9	3.2.6.1.(1)(c)
13	Construction Restrictions: Combustible / Non-Combustible / Both	Part 9	3.2.2.71
14	Actual Construction: Combustible / Non-Combustible / Both	Part 9	3.2.2.71
15	Mezzanine Area (m²): 185.6	Part 9	3.2.1.1.(3)-(8)
16	Occupant Load Based on: m² / Person	Part 9	3.1.17
Type Occupancy Description Load Building Code Reference			
Equipment Repair Bay F2 720m² Area / Design 8 3.1.17.1.(1)(c),(ii)			
Subsidiary Office Area D 178m² Area / Design 19 3.1.17.1.(1)(c),(ii)			
Mezzanine 'B' (Storage) F2 189m² Area / Design 2 3.1.17.1.(1)(c),(ii)			
Equipment Storage F3 354m² Area / Design 4 3.1.17.1.(1)(c),(ii)			
Total 33			
16	Barrier-Free Design: Yes	Part 9	3.8, 3.8.2.1.(2)(c)
17	Hazardous Substances: No	Part 9	3.3.1.2, & 3.3.1.19
18	Required Fire Resistance Rating (FRR)	Part 9	3.2.2.71, 3.2.1.4
Horizontal Assemblies Listed Design No. or Description			
FRR (Hours) Floors 45min N/A - no 2nd Floor Assembly & Mezzanine is not classified as a storey as per 3.2.1.1.(3)			
Roof N/A			
Supporting Members Listed Design No. or Description			
FRR (Hours) Floors (Supporting Assembly) N/A - no 2nd Floor Assembly & Mezzanine is not classified as a storey as per 3.2.1.1.(3)			
Roof N/A			
Mezzanine N/A			
19	Spatial Separation - Construction of Exterior Walls	Part 9	3.2.3
Wall Area of Exposed Building Face (m²) Area of Unprotected Opening (m²) Limiting Distance (m) L/H Proposed Max. % of Openings Permitted Max. % of Openings FRR (Hours) Type of Construction Required (3.2.3.7) Type of Cladding Required (3.2.3.7) Building Code Table & Reference			
North 'C' GROUP 'F2' N/A - 4hr FRR firewall between Buildings 'B' & 'C'			
East 'C' GROUP 'F2' 536.2m² 113.3m² 40.1m 5:1 21.1% 100%* N/A N/A - no restrictions Tables 3.2.3.1.C, & 3.2.3.7			
South 'C' GROUP 'F2' 258.0m² 23.2m² 83.0m 2:1 9.0% 100% N/A N/A - no restrictions Tables 3.2.3.1.C, & 3.2.3.7			
West 'C' GROUP 'F2' 536.2m² 121.5m² 76.4m 5:1 22.7% 100% N/A N/A - no restrictions Tables 3.2.3.1.C, & 3.2.3.7			
20	Water Closet Requirements: Group 'F2'	Part 9	3.7.4.7
Type Occupancy Load Details Water Closets Required Water Closets Provided Building Code Reference			
Equipment Repair Bay F2 8 720m² Area 2 water closets per sex (includes the water closet requirements for the occupants of the adjacent Building 'B')			
Subsidiary Office Area D 19 178m² / 14m² 1 universal washroom + 2 barrier-free unisex water closets Tables 3.7.4.9, & 3.8.2.3.A, & 3.7.4.2.(7)			
Mezzanine 'B' (Storage) F2 2 189m² Area			
Equipment Storage F3 4 354m² Area			

GENERAL FLOOR PLAN NOTES:

- EXTERIOR DIMENSIONS ARE MEASURED FROM THE EXTERIOR FACE OF THE STEEL STUD FRAMING. GIRT AND/OR CONCRETE INTERIOR DIMENSIONS ARE MEASURED FROM THE INTERIOR FACE OF THE STEEL STUD FRAMING AND/OR CONCRETE BLOCK WALL. DIMENSIONS FOR EXTERIOR ROUGH OPENINGS (R.O.) ARE MEASURED FROM THE SIDES OF THE STEEL FRAMED OPENING.
- NON-LOADBEARING INTERIOR PARTITION WALLS ARE TO MATCH INTERIOR WALL TYPE V66 (UNLESS NOTED OTHERWISE) AND CONSISTING OF 13mm CGC SHEETROCK GYPSUM BOARD, PAINTED ON EACH SIDE OF 10mm NON-LOADBEARING STEEL STUD FRAMING @ 610mm C.C.



No.	Issued For:	Date:
01	For Site Plan Approval	08-17-2023
02	For Coordination	11-01-2023
03	For SPA Response	11-09-2023
04	For Review	04-29-2024
05	For Permit	07-16-2024
06	For SPA Response	08-15-2024

It is the responsibility of the appropriate Contractor to verify all dimensions on site and report all errors and/or omissions to the Architect. All Contractors must comply with permit codes & by-laws. Do not scale drawings. This drawing may not be used for construction unless signed. Architect's copyright reserved. Metric Scale Drawing. All measurements are in millimeters (mm) unless otherwise noted.



Owner:
Sunbelt Rentals Inc.
2489 Sheffield Road, Ottawa, ON K1B 3V6
mark.watson@sunbeltrentals.com

Applianc:
Keith Riley (Argue Construction Ltd.)
2900 Carp Road, Carp, ON K0A 1L0
keith@argueconstruction.ca

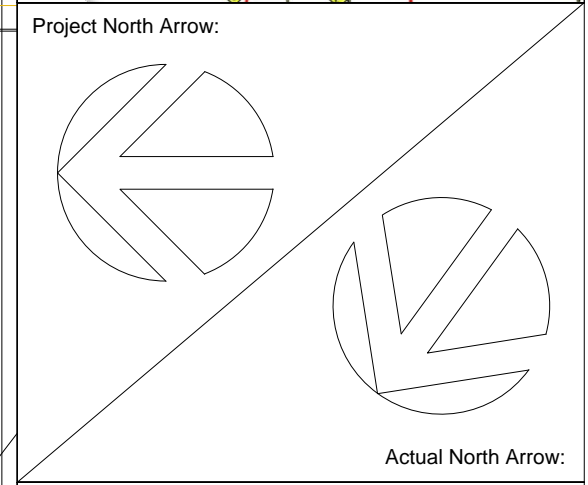
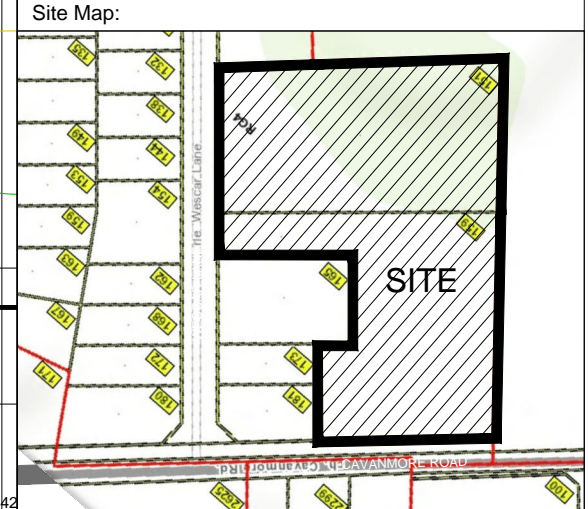
Ontario Land Surveyor:
Callon Dietz
19 Roe Street, Carleton Place, ON K7C 0N3
gracken@callondietz.com

Architect:
Peter Mansfield, Architect
15 Bridge Street, Almonte, ON K0A 1A0
pmanfield@bellnet.ca

Civil Engineer:
D.B. Gray Engineering
700 Longpoint Circle, Ottawa, ON K1T 4E9
d.gray@dbgrayengineering.com

Geotechnical Engineer:
Kollaard Associates Inc.
210 Prescott Street, Kempenfelt, ON K0G 1J0
steve@kollaard.ca

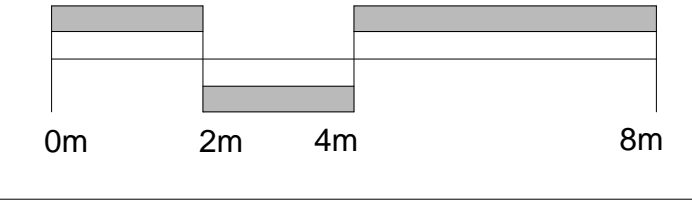
Landscape Architect:
Levstek Consultants Inc.
5871 Hugh Crescent, Ottawa, ON K0A 2W0
levstek@larocquelevstek.com



Architect:

Peter Mansfield, Architect
B. Tech., M. Arch., O.A.A.
122 Bridge Street, Almonte, ON
613-715-0431

1 Ground Floor Plan - Front
A2.2
1:100



Project Title:
Sunbelt Rentals Inc. - Equipment Maintenance Facility
151 - 159 Wescar Lane, Carp ON

Drawing List:
Ground Floor Plan - Front
Phase 1 Building

Job No.:	2302	Drawing No.:	A2.2
Scale:	As Noted	Drawn By:	TB
Reviewed By:	PM		

- GENERAL FLOOR PLAN NOTES:**
- EXTERIOR DIMENSIONS ARE MEASURED FROM THE EXTERIOR FACE OF THE STEEL STUD FRAMING, GIRT AND / OR CONCRETE. INTERIOR DIMENSIONS ARE MEASURED FROM THE INTERIOR FACE OF THE STEEL STUD FRAMING AND / OR CONCRETE BLOCK WALL. DIMENSIONS FOR EXTERIOR ROUGH OPENINGS (R.O.) ARE MEASURED FROM THE SIDES OF THE STEEL FRAMED OPENING.
 - NON-LOADBEARING INTERIOR PARTITION WALLS ARE TO MATCH INTERIOR WALL TYPE 'W' (UNLESS NOTED OTHERWISE) AND CONSISTING OF 13mm CGC SHEETROCK GYPSUM BOARD, PAINTED ON EACH SIDE OF 30mm NON-LOADBEARING STEEL STUD FRAMING @ 610mm O.C.

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2488 Sheffield Road, Ottawa, ON K1B 3V6
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Applicant:
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2900 Carp Road, Carp, ON K0A 1L0
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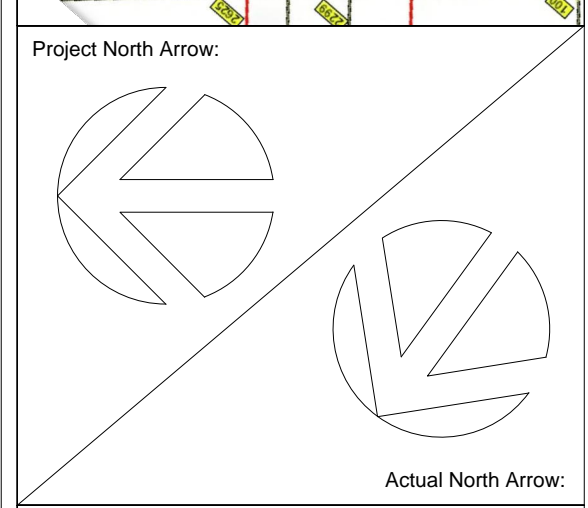
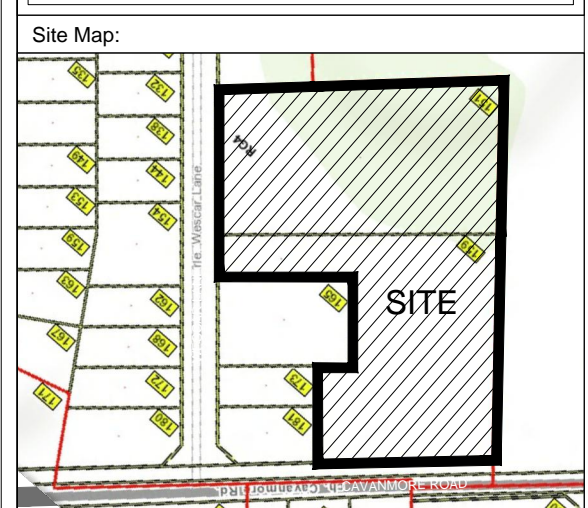
Ontario Land Surveyor:
Callon Dietz
19 Roe Street, Carleton Place, ON K7C 0N3
bracken@callondietz.com

Architect:
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p.mansfield@bellnet.ca

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Geotechnical Engineer:
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Architect:

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B. Tech., M. Arch., O.A.A.
122 Bridge Street, Almonte, ON
613-715-0431

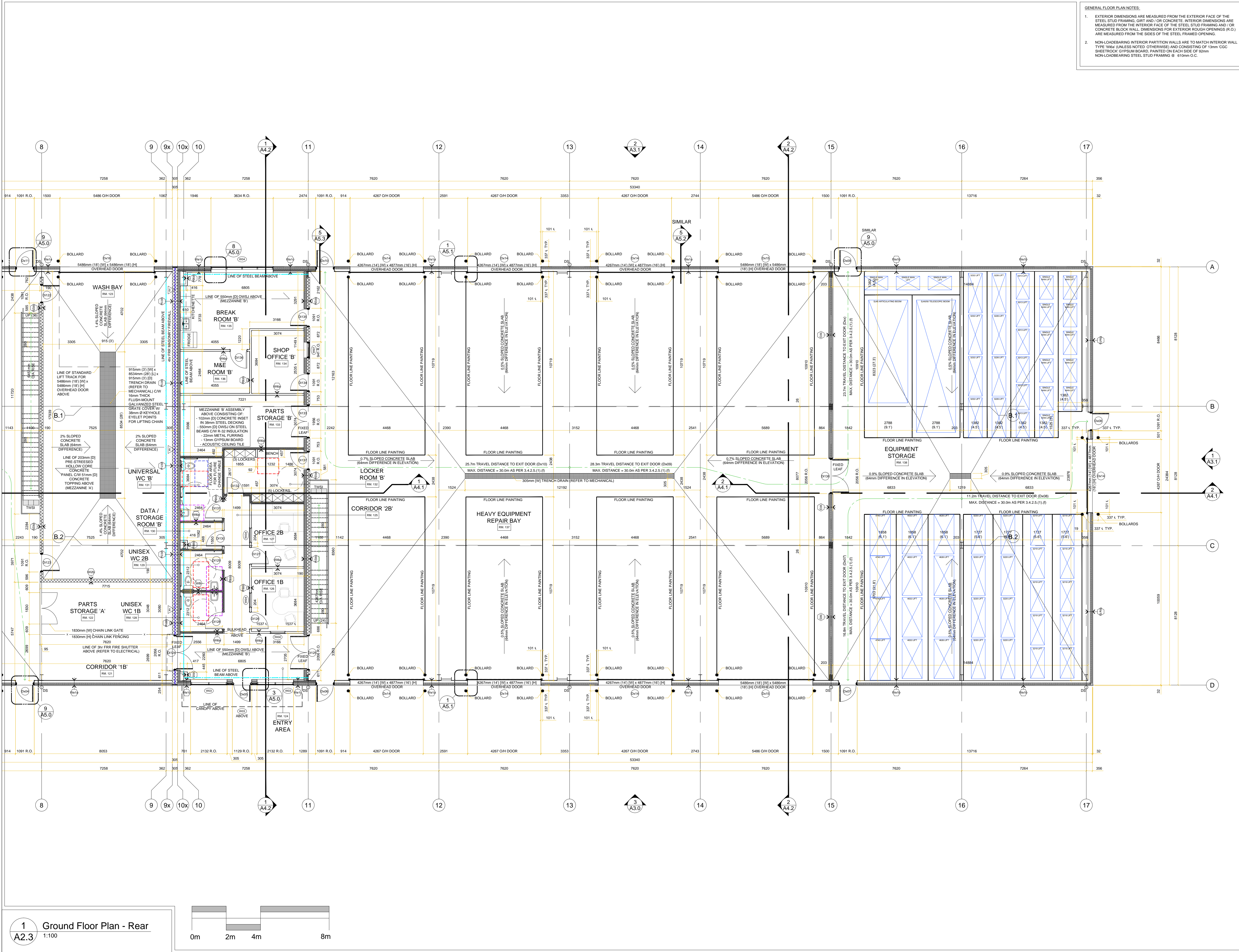
Project Title:
Sunbelt Rentals Inc. - Equipment Maintenance Facility
151 - 159 Wescar Lane, Carp ON

Drawing List:
Ground Floor Plan - Rear
Phase 1 Building

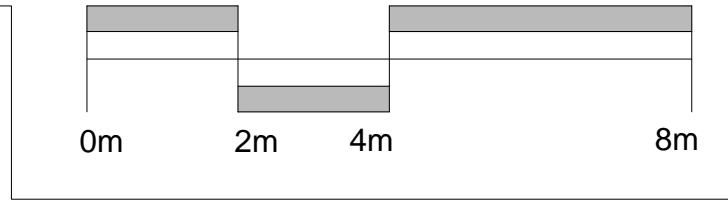
Job No.: 2302 **Drawing No.:** A2.3

Scale: As Noted

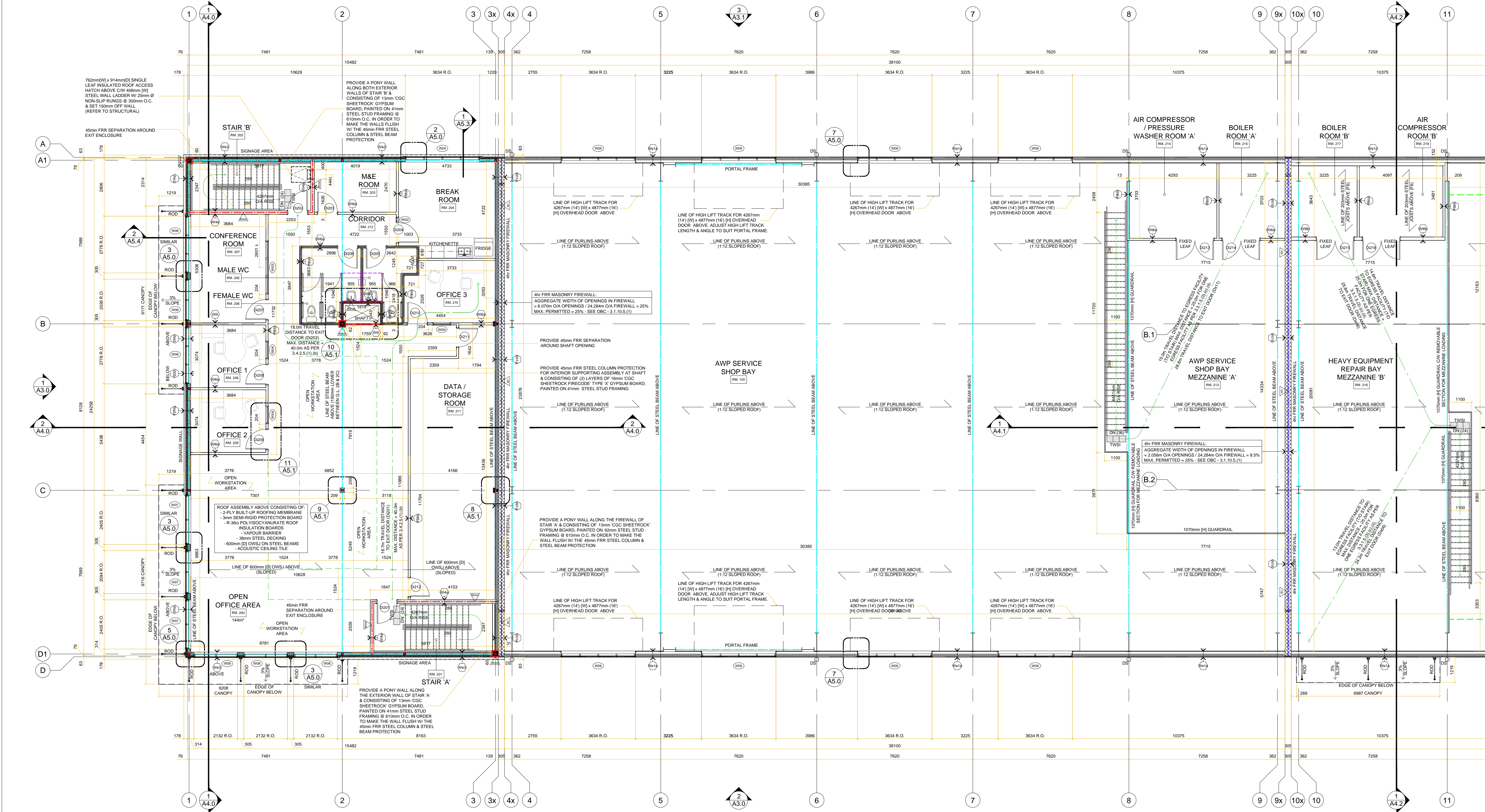
Drawn By: TB **Reviewed By:** PM



1 Ground Floor Plan - Rear
A2.3
1:100



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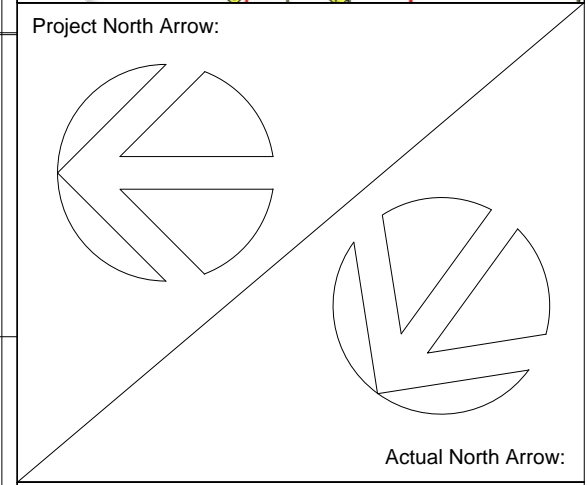
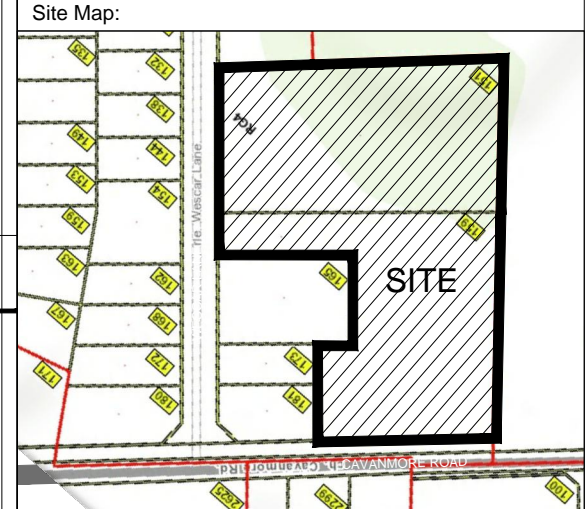
Ontario Land Surveyor:
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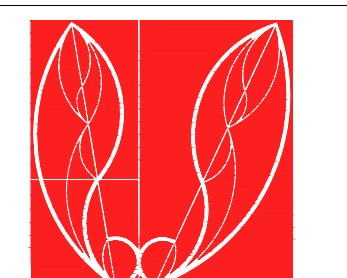
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122 Bridge Street, Almonte, ON
613-715-0431

Project Title:
Sunbelt Rentals Inc. - Equipment Maintenance Facility
151 - 159 Wescar Lane, Carp ON

Drawing List:
Second Floor Plan - Front
Phase 1 Building

Job No.: 2302 **Drawing No.:** A2.4

Scale: As Noted

Drawn By: TB **Reviewed By:** PM

1 Second Floor Plan - Front
A2.4 1:100

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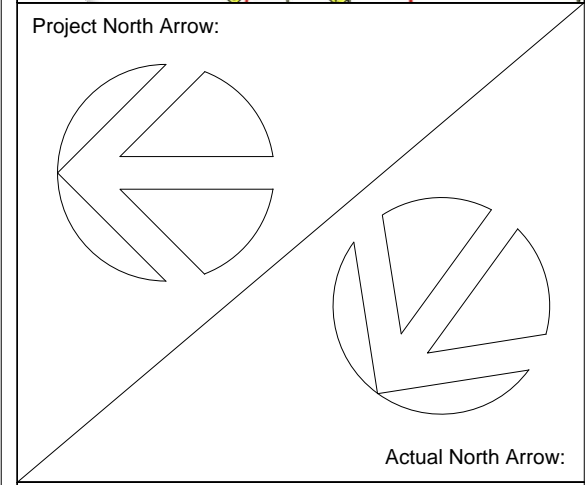
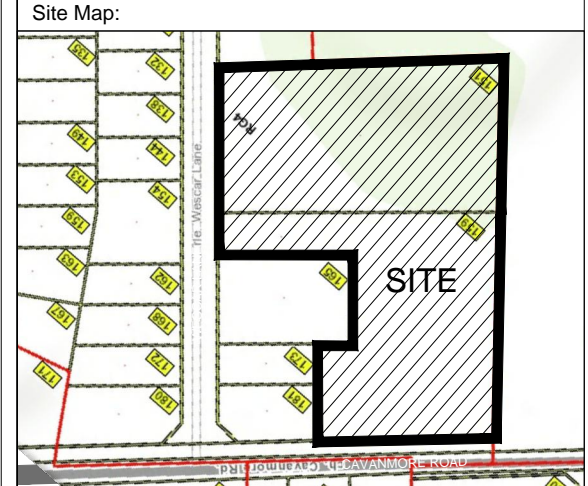
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p mansfield@bellnet.ca

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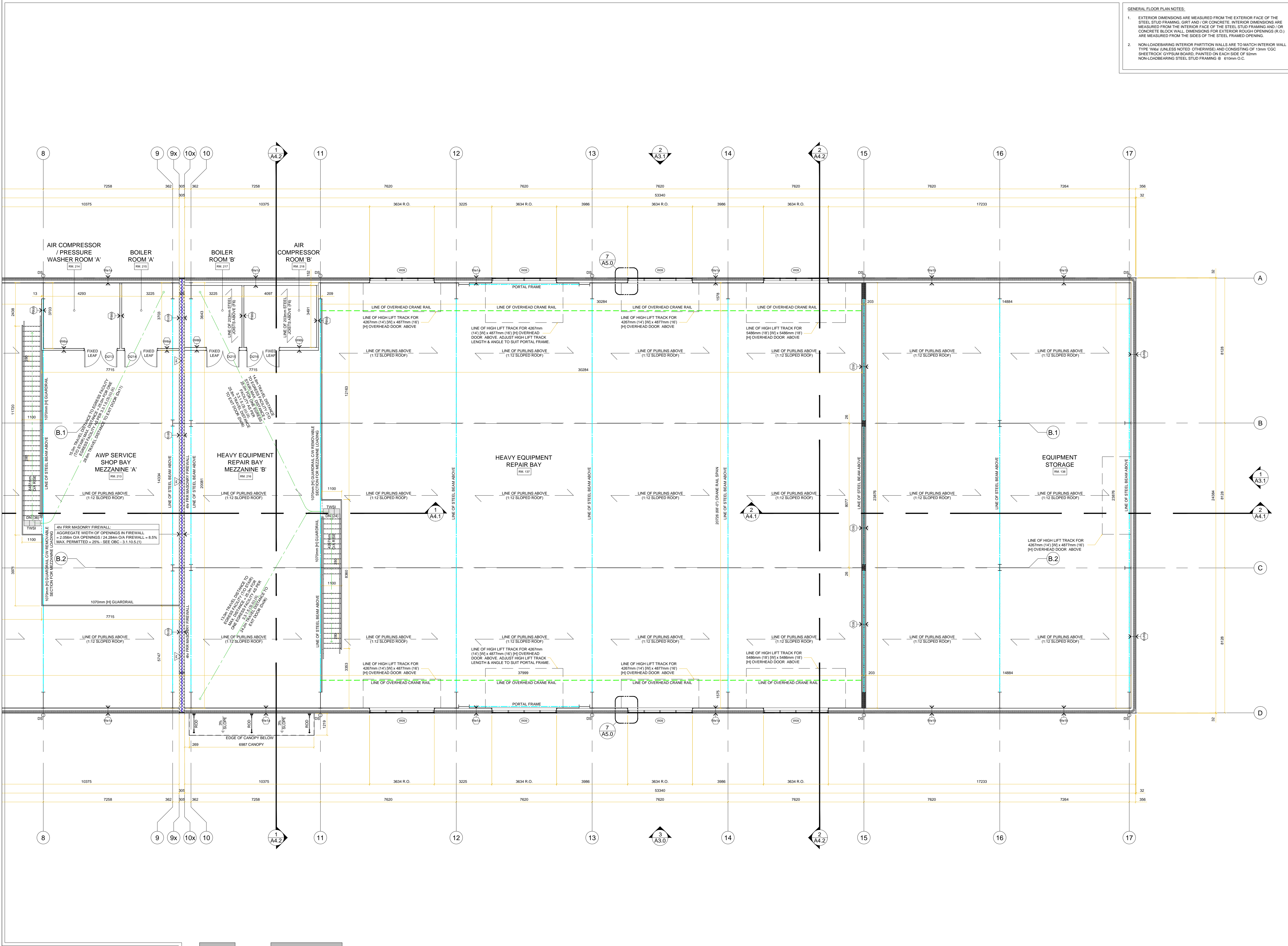
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Project Title:
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151 - 159 Wescar Lane, Carp ON

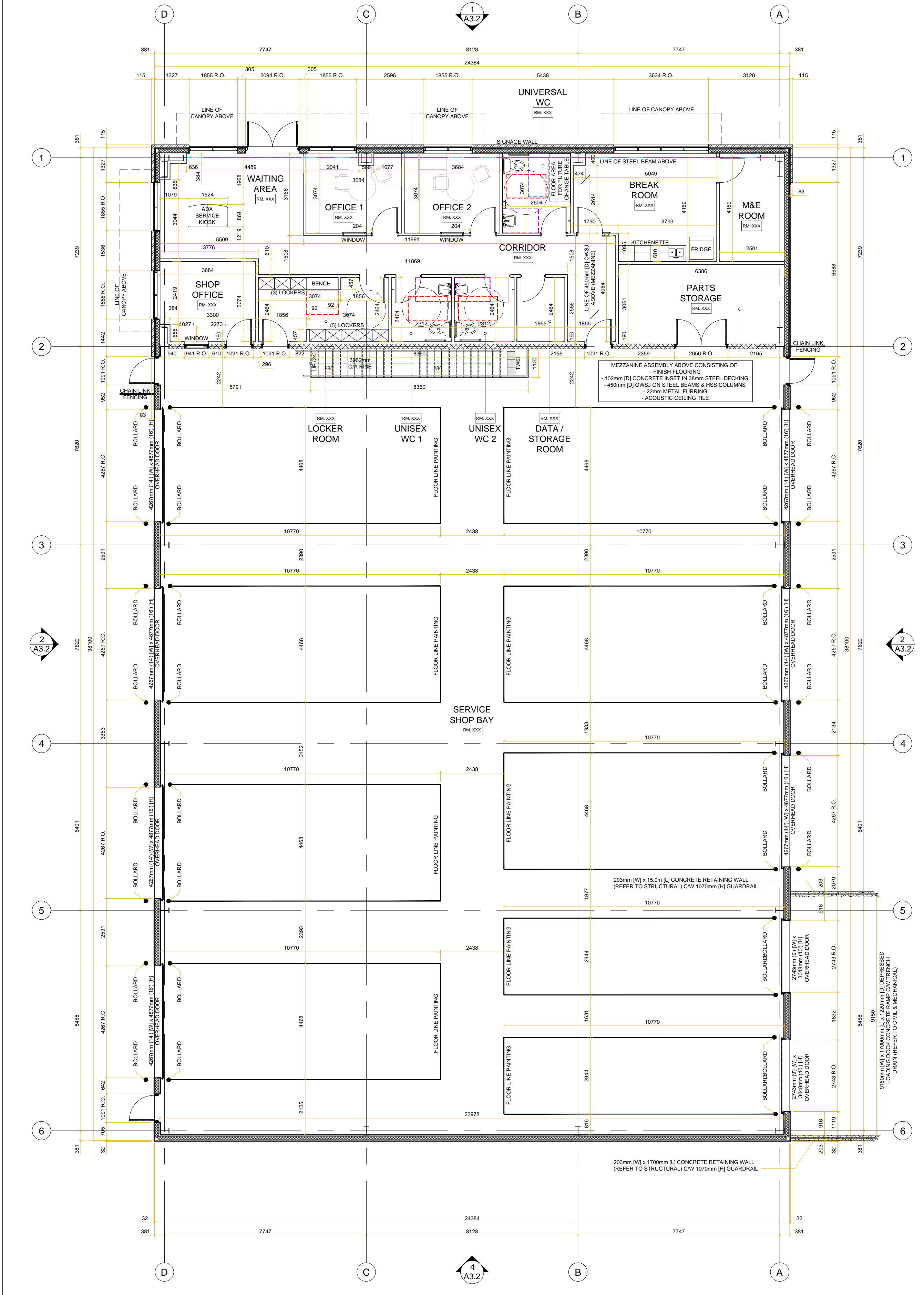
Drawing List:
Mezzanine Plan - Rear
Phase 1 Building

Job No.:	2302	Drawing No.:	A2.5
Scale:	As Noted		
Drawn By:	Reviewed By:		
TB	PM		



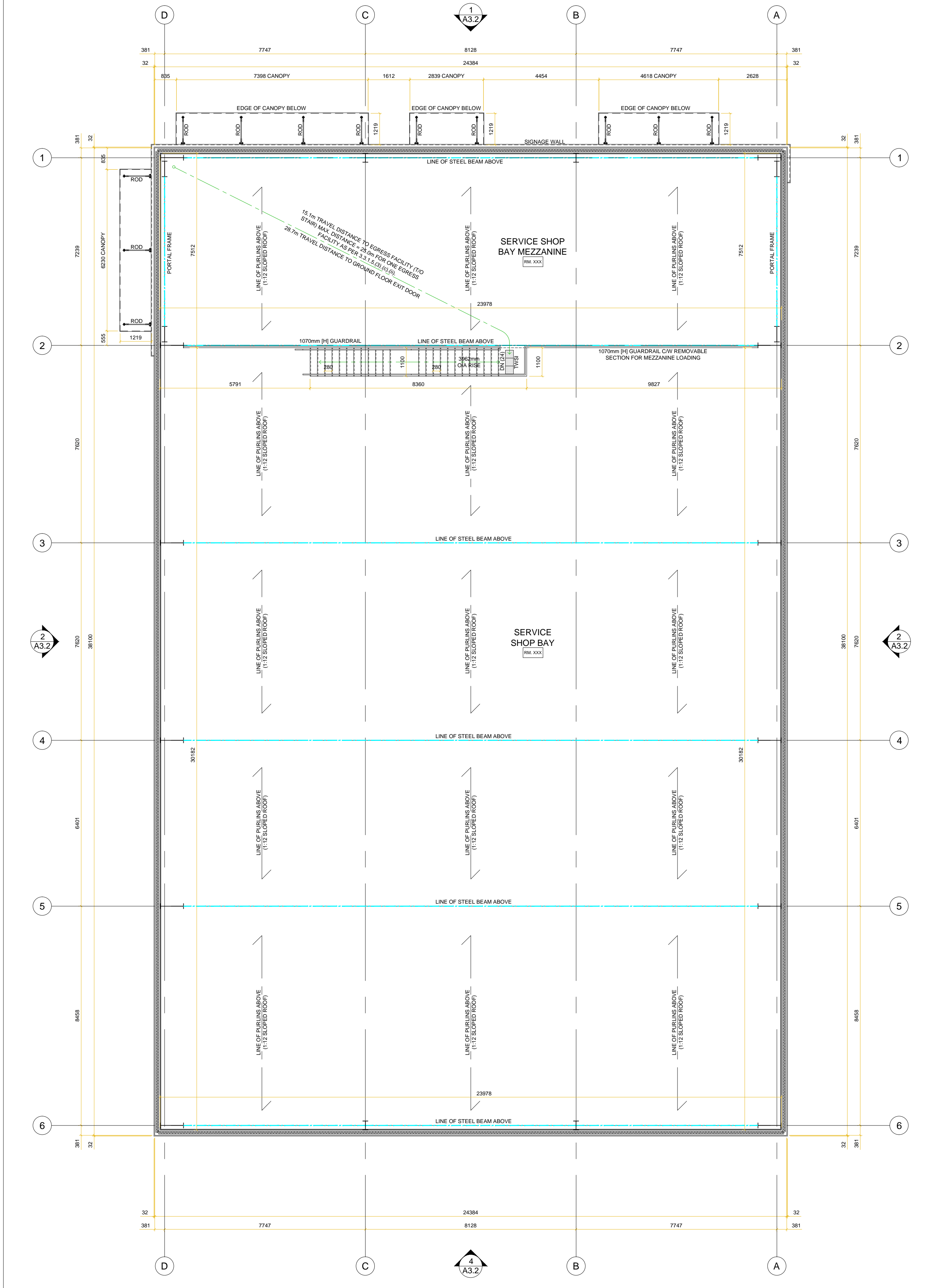
1 Mezzanine Plan - Rear
A2.5 1:100

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1 Ground Floor Plan
 A2.8 1:100

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2 Mezzanine Plan
 A2.8 1:100

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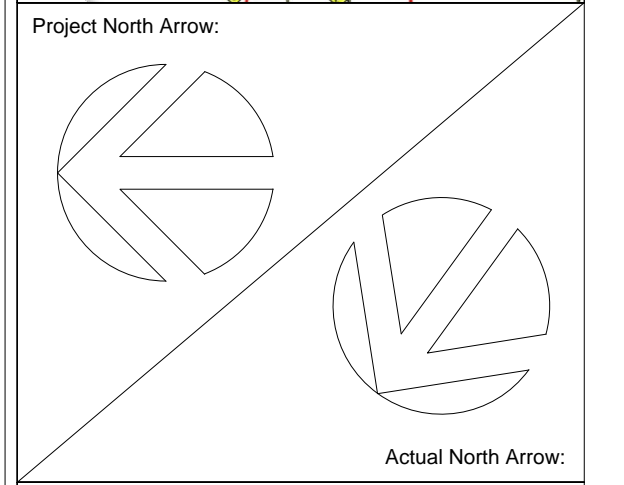
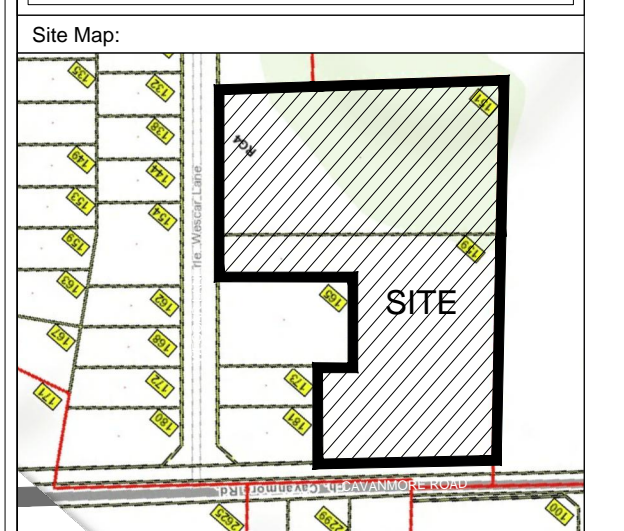
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Architect:

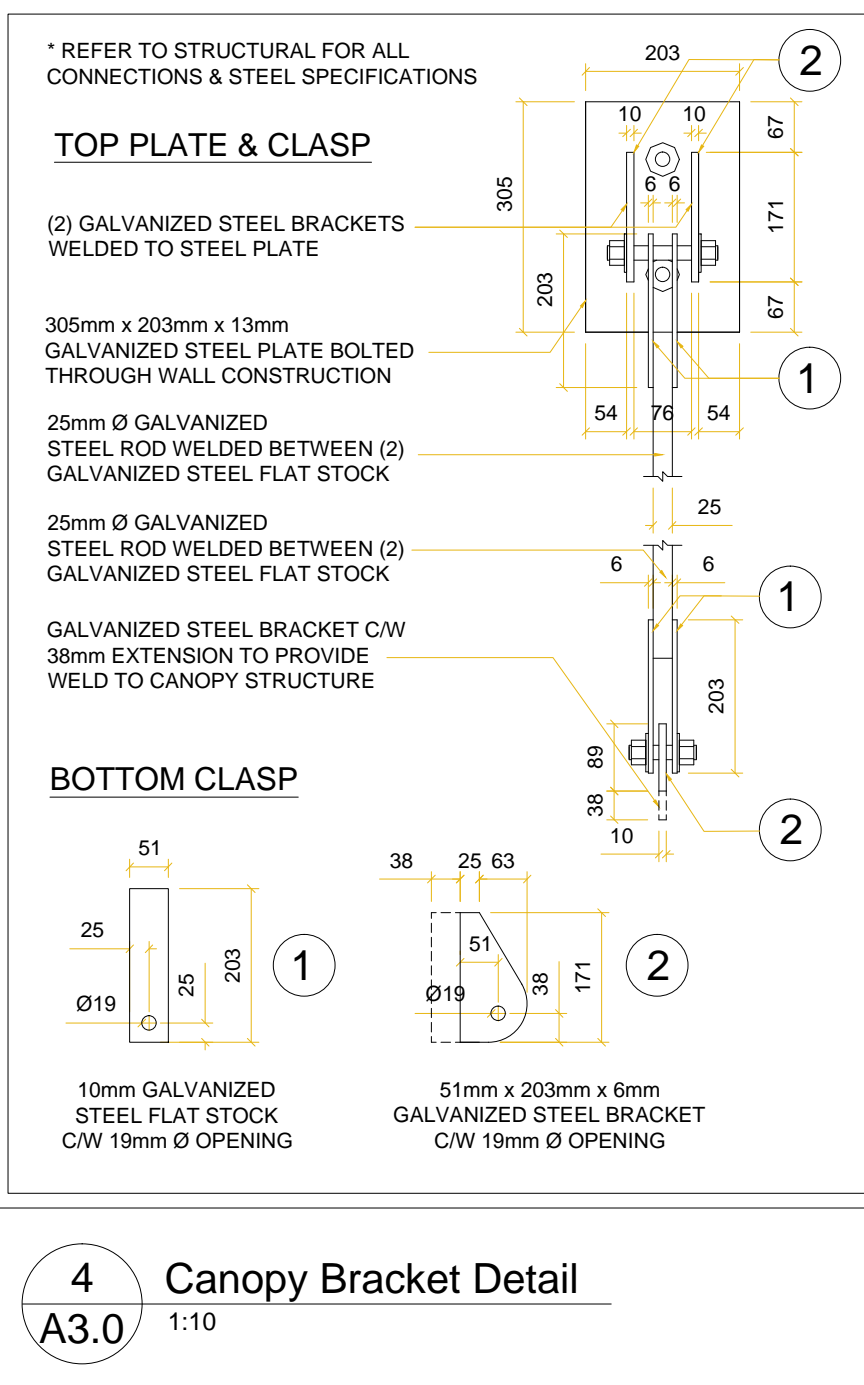
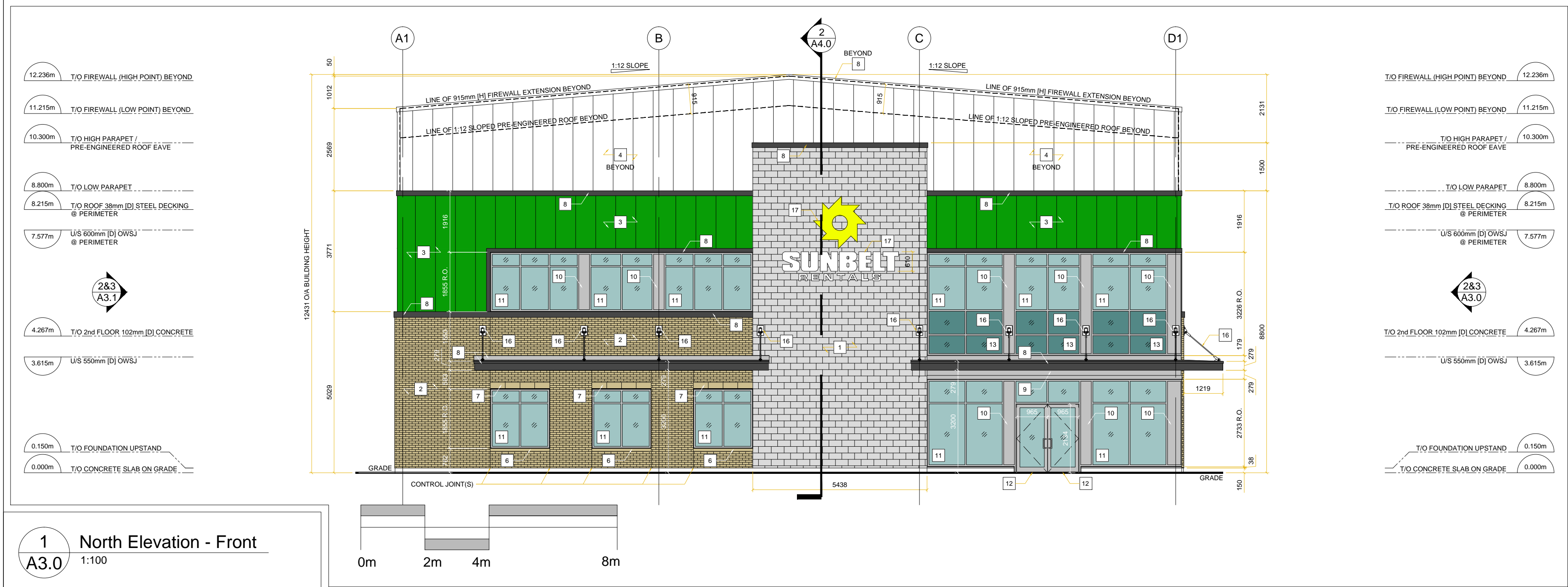
 Peter Mansfield, Architect
 B. Tech., M. Arch., O.A.A.
 122 Bridge Street, Almonte, ON
 613-715-0431

Project Title:
 Sunbelt Rentals Inc. - Equipment Maintenance Facility
 151 - 159 Wescar Lane, Carp ON

Drawing List:
 Ground Floor & Mezzanine Plans
 Phase 2 Building

Job No.: 2302
Scale: As Noted
Drawn By: TB
Reviewed By: PM

Drawing No.:
A2.8



MATERIAL LEGEND	
1	90mm x 190mm x 390mm STANDARD BRAMPTON BRICK PROFILE SERIES CONCRETE BLOCK VENEER C/W MINERAL GRAY QUARTZ FINISH (OR APPROVED ALTERNATE)
2	90mm x 57mm x 257mm METRIC NORMAN BRAMPTON BRICK PROFILE SERIES CLAY BRICK VENEER C/W MOUNTAIN GRAY FINISH (OR APPROVED ALTERNATE)
3	32mm 26ga VERTICAL VICWEST PRE-FINISHED METAL CLADDING C/W SUNBELT GREEN COLOUR FINISH (OR APPROVED ALTERNATE)
4	32mm 26ga VERTICAL VICWEST PRE-FINISHED METAL CLADDING C/W DORIAN GRAY - SW 7017 COLOUR FINISH (OR APPROVED ALTERNATE)
5	24ga VICWEST STANDING SEAM PRE-FINISHED METAL ROOF C/W WEB GRAY - SW 7075 COLOUR FINISH (OR APPROVED ALTERNATE)
6	90mm [H] x 140mm [D] PRECAST 'SHOULDRIDGE DESIGNER STONE' 424 SLOPED SILL C/W LIGHT BROWN FINISH (OR APPROVED ALTERNATE)
7	190mm [H] x 90mm [D] PRECAST 'SHOULDRIDGE DESIGNER STONE' LINTEL C/W LIGHT BROWN FINISH (OR APPROVED ALTERNATE)
8	26ga PRE-FINISHED ALUMINUM FLASHING C/W WEB GRAY - SW 7075 COLOUR FINISH
9	32mm PRE-FINISHED ALUMINUM PANEL ADHERED TO PLYWOOD SHEATHING C/W WEB GRAY - SW 7075 COLOUR FINISH
10	26ga PRE-FINISHED ALUMINUM PANEL ADHERED TO 6mm PLYWOOD SHEATHING C/W CLEAR ANODIZED COLOUR FINISH
11	ALUMICOR 2200 SERIES ALUMINUM CURTAIN WALL SYSTEM C/W CLEAR ANODIZED FINISH & GLAZING (OR APPROVED ALTERNATE)
12	ALUMICOR 400A INSULCLAD SERIES DOOR C/W CLEAR ANODIZED FINISH & GLAZING (OR APPROVED ALTERNATE)
13	SPANDREL GLAZING C/W 'OPACI-COAT 300 - CHARCOAL' COLOUR TINT (OR APPROVED ALTERNATE)
14	PAINTED STEEL DOOR & FRAME C/W WEB GRAY - SW 7075 COLOUR FINISH
15	PRE-FINISHED ALUMINUM INSULATED OVERHEAD DOOR C/W WEB GRAY - SW 7075 COLOUR FINISH
16	GALVANIZED STEEL CANOPY SUPPORT ROD & BRACKET C/W WEB GRAY - SW 7075 COLOUR FINISH
17	OFFSET SIGNAGE C/W RAISED LETTERING (BY OTHERS)

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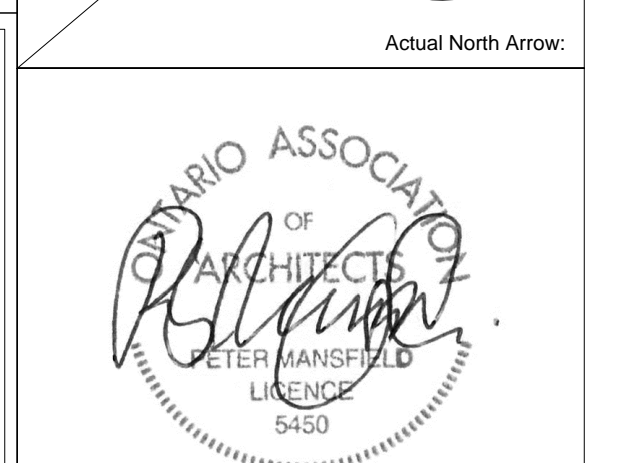
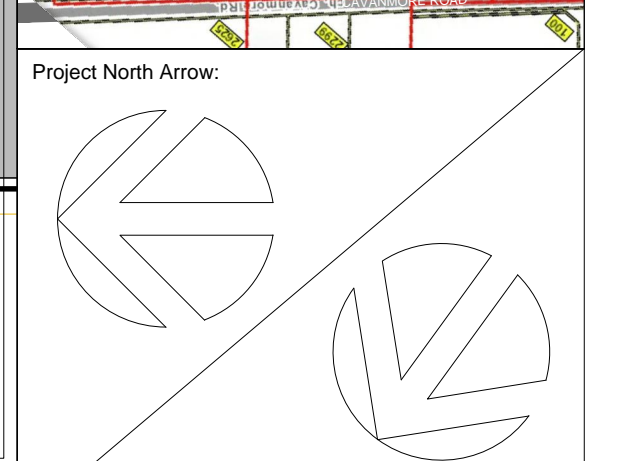
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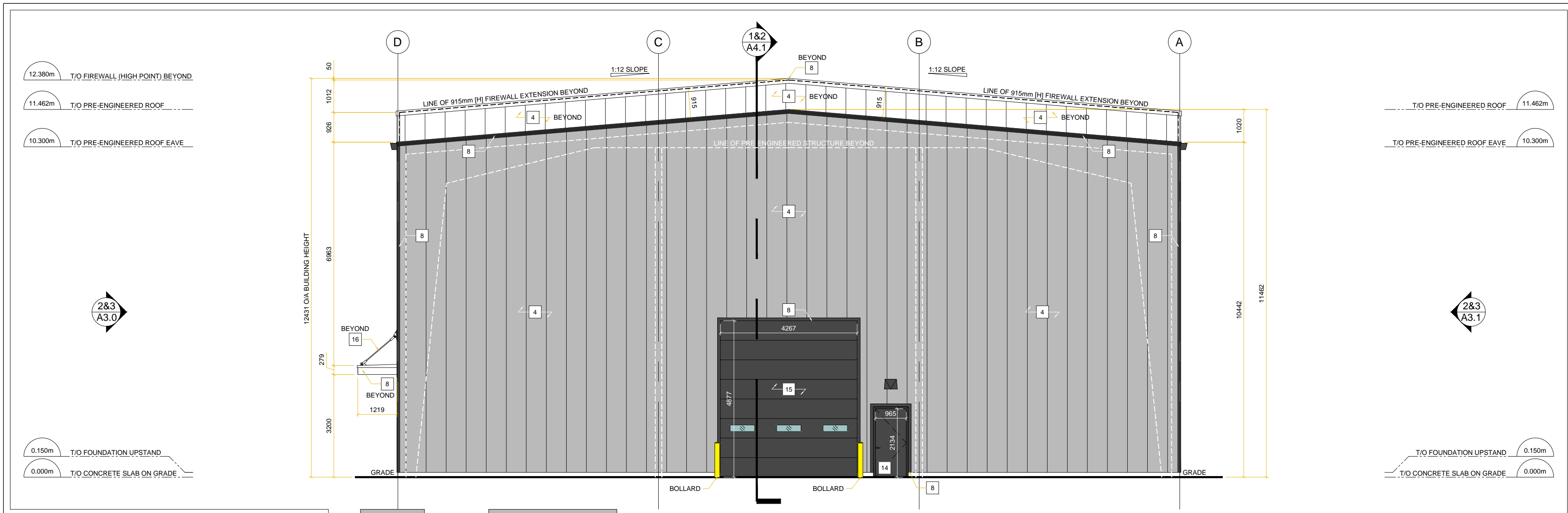
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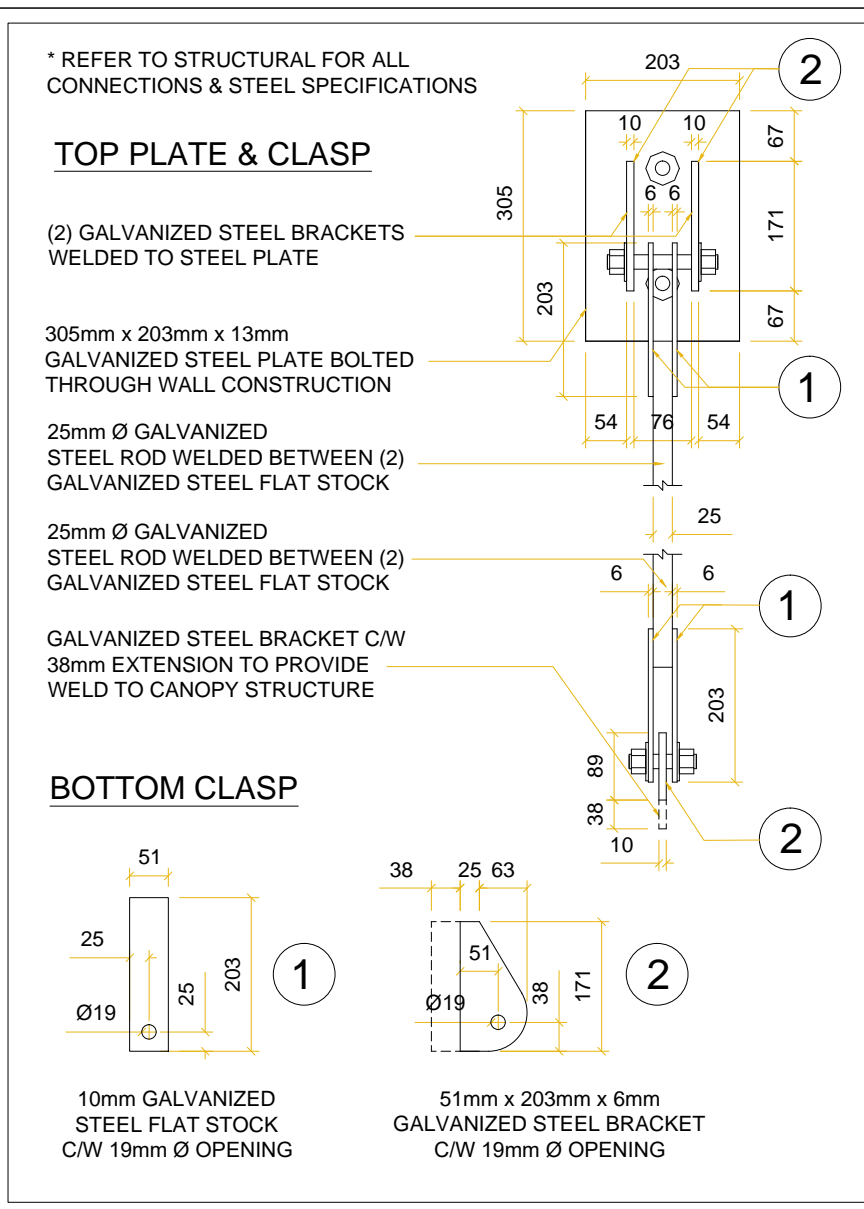
Landscape Architect:
Levstek Consultants Inc.
5871 Hugh Crescent, Ottawa, ON K0A 2W0
levstek@larocquelevstek.com



Project Title: Sunbelt Rentals Inc. - Equipment Maintenance Facility 151 - 159 Wescar Lane, Carp ON	
Drawing List: Building Elevations - North & West Phase 1 Building	
Job No.: 2302	Drawing No.: A3.0
Scale: As Noted	
Drawn By: TB	Reviewed By: PM



1 South Elevation - Rear
A3.1 1:100



4 Canopy Bracket Detail
A3.1 1:10

MATERIAL LEGEND	
1	90mm x 190mm x 390mm STANDARD BRAMPTON BRICK PROFILE SERIES 'CONCRETE BLOCK VENEER C/W MINERAL GRAY QUARTZ FINISH (OR APPROVED ALTERNATE)
2	90mm x 57mm x 257mm METRIC NORMAN BRAMPTON BRICK PROFILE SERIES 'CLAY BRICK VENEER C/W MOUNTAIN GRAY' FINISH (OR APPROVED ALTERNATE)
3	32mm 26ga VERTICAL 'VICWEST' PRE-FINISHED METAL CLADDING C/W SUNBELT GREEN COLOUR FINISH (OR APPROVED ALTERNATE)
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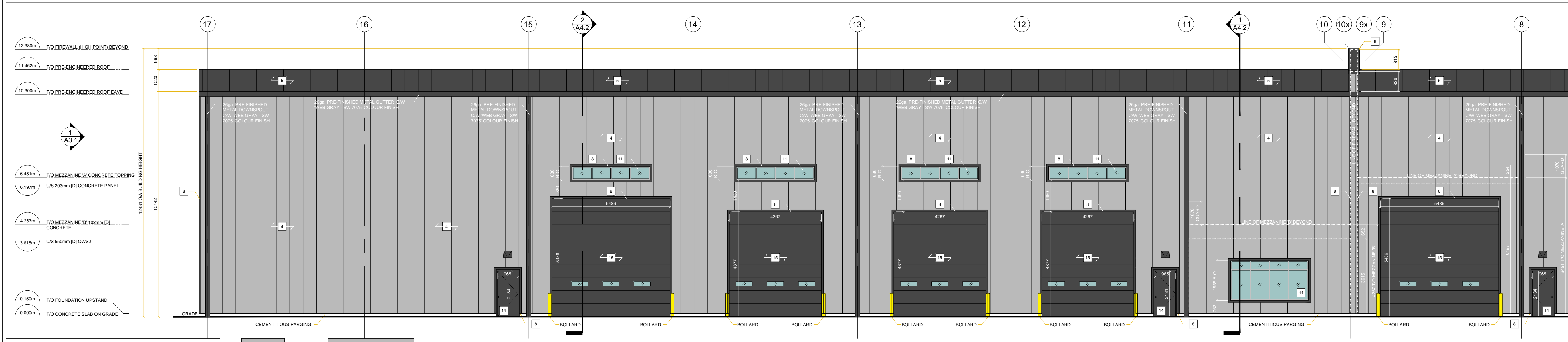
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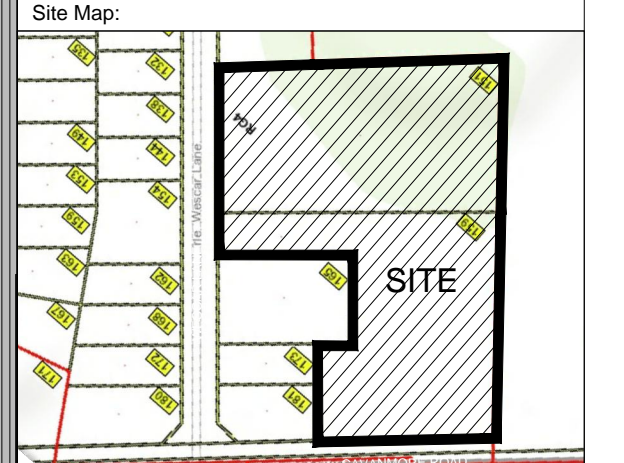
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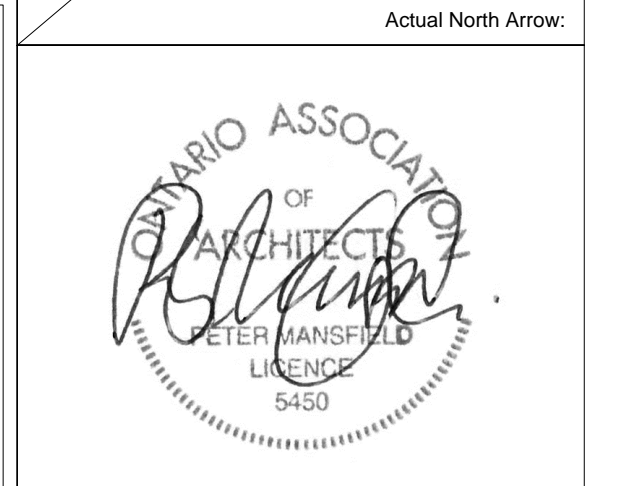
Landscape Architect:
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rlevstek@larocquelevstek.com



2 East Elevation - Rear
A3.1 1:100



3 East Elevation - Front
A3.1 1:100



Architect:

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613-715-0431

Project Title:
Sunbelt Rentals Inc. - Equipment Maintenance Facility
151 - 159 Wescar Lane, Carp ON

Drawing List:
Building Elevations - South & East
Phase 1 Building

Job No.:	2302	Drawing No.:	A3.1
Scale:	As Noted		
Drawn By:	Reviewed By:		
TB	PM		

No.:	Issued For:	Date:
01	For Site Plan Approval	08-17-2023
02	For Coordination	11-01-2023
03	For SPA Response	11-09-2023
04	For Review	04-29-2024
05	For Permit	07-16-2024
06	For SPA Response	08-15-2024

It is the responsibility of the appropriate Contractor to verify all dimensions on site and report all errors and/or omissions to the Architect. All Contractors must comply with pertinent codes & by-laws. Do not scale drawings. This drawing may not be used for construction unless signed. Architect's copyright reserved. Metric Scale Drawing. All measurements are in millimeters (mm) unless otherwise noted.

Project Team:

SUNBELT RENTALS
ARGUE CONSTRUCTION LTD.

Owner:
Sunbelt Rentals Inc.
2489 Sheffield Road, Ottawa, ON K1B 3V6
mark.watson@sunbeltrentals.com

Applicant:
Keith Riley (Argue Construction Ltd.)
2900 Carp Road, Carp, ON K0A 1L0
keith@argueconstruction.ca

Ontario Land Surveyor:
Callon Dietz
19 Roe Street, Carleton Place, ON K7C 0N3
gracken@callondietz.com

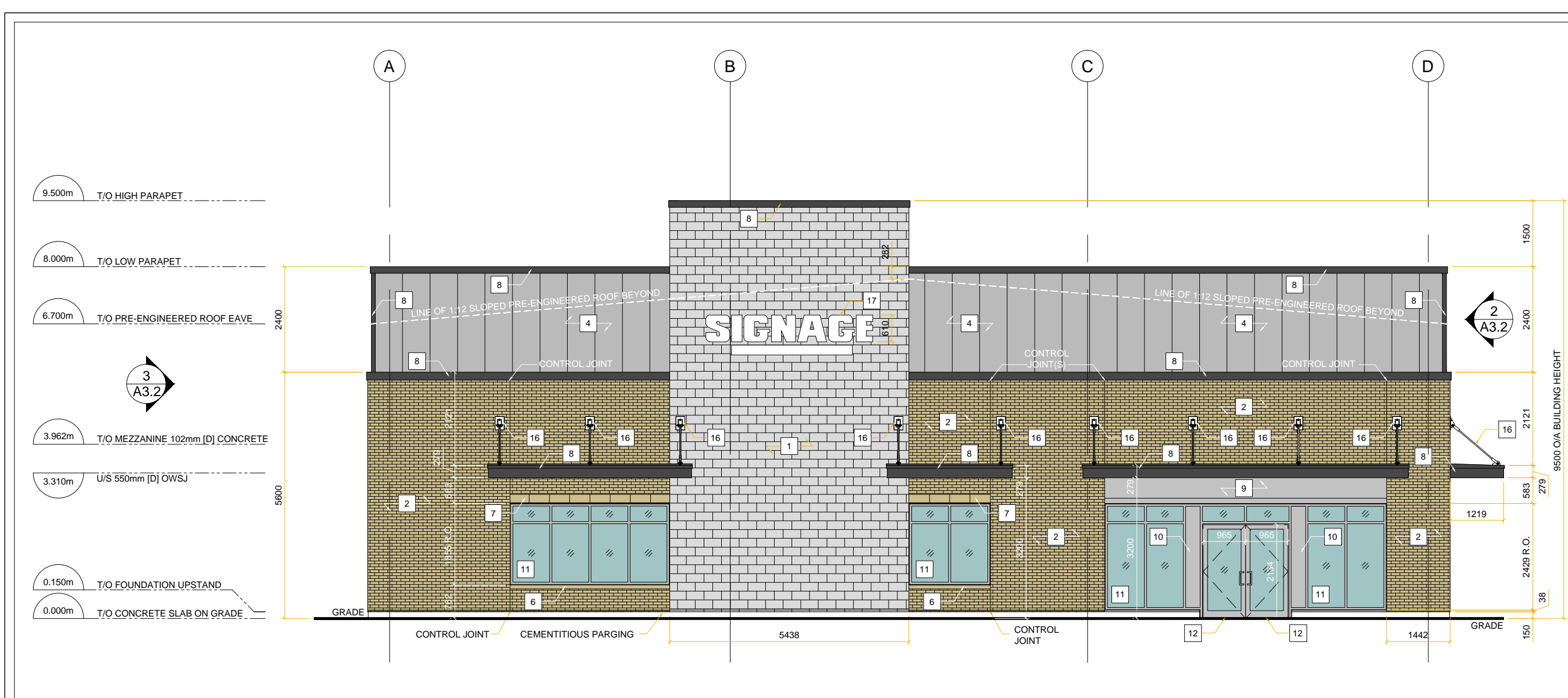
Architect:
Peter Mansfield, Architect
15 Bridge Street, Almonte, ON K0A 1A0
pmansfield@bellnet.ca

Civil Engineer:
D.B. Gray Engineering
700 Longpoint Circle, Ottawa, ON K1T 4E9
d.gray@dbgrayengineering.com

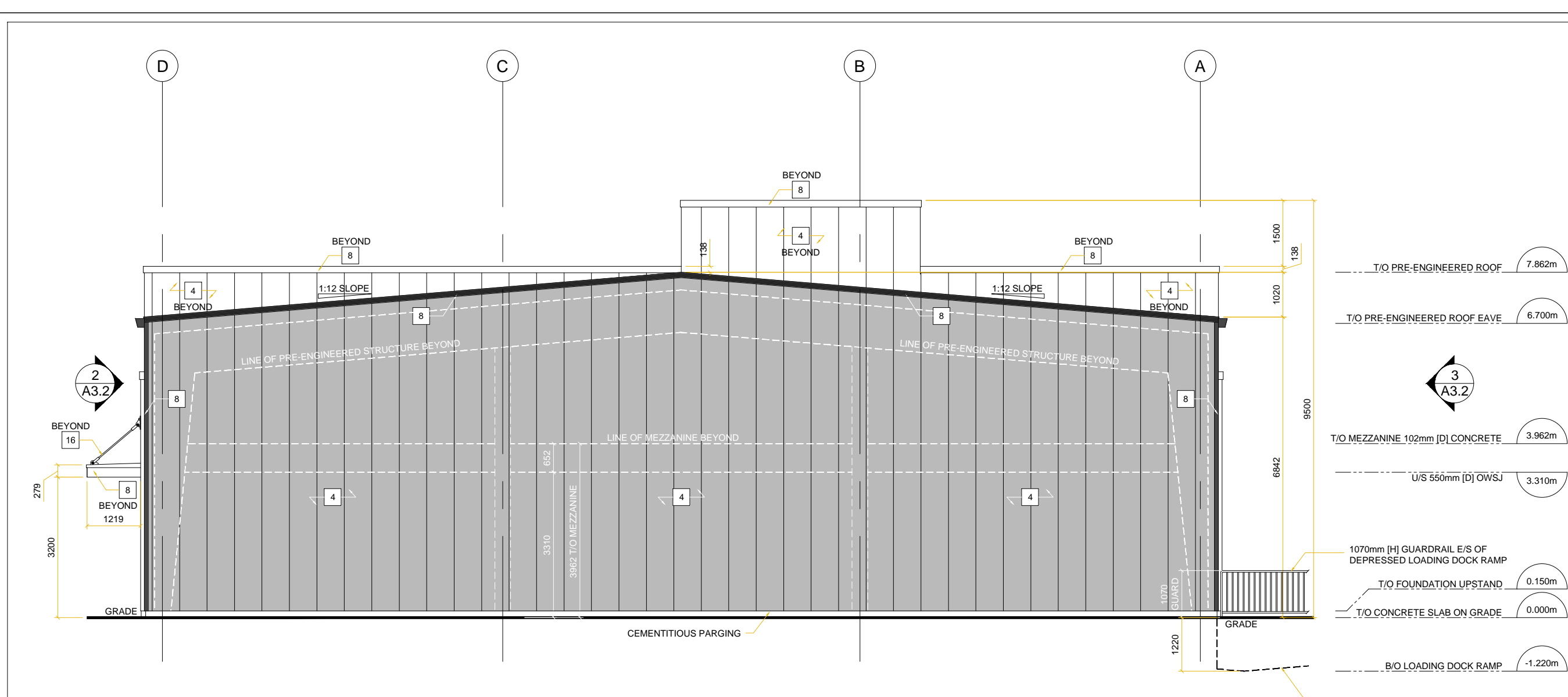
Geotechnical Engineer:
Kollaard Associates Inc.
210 Prescott Street, Kemptville, ON K0G 1J0
steve@kollaard.ca

Landscape Architect:
Levstek Consultants Inc.
5871 Hugh Crescent, Ottawa, ON K0A 2W0
levstek@larocquelevstek.com

Site Map:



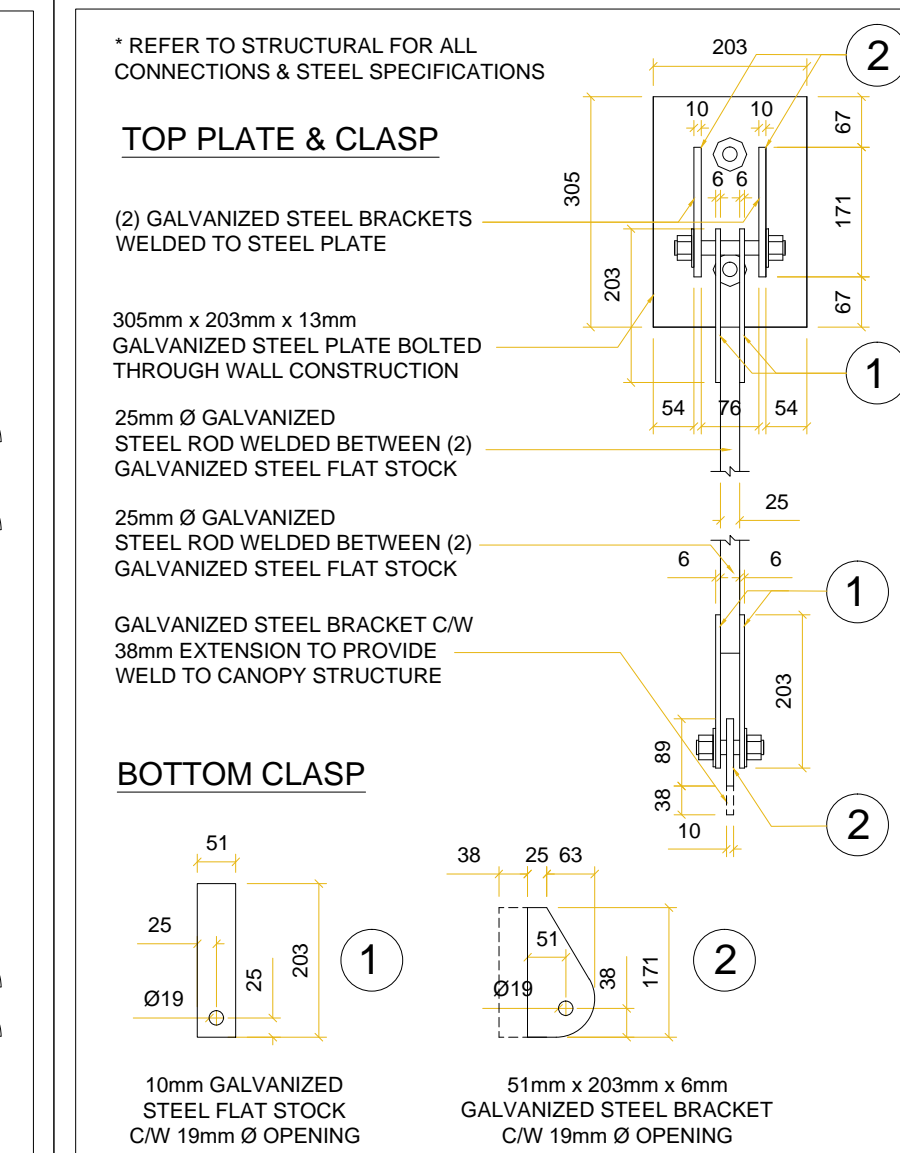
1 East Elevation
A3.2 1:100



4 West Elevation
A3.2 1:100



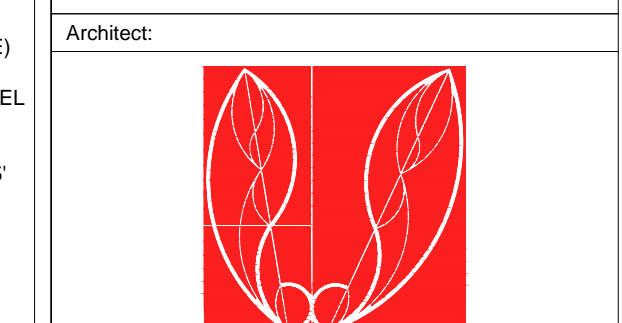
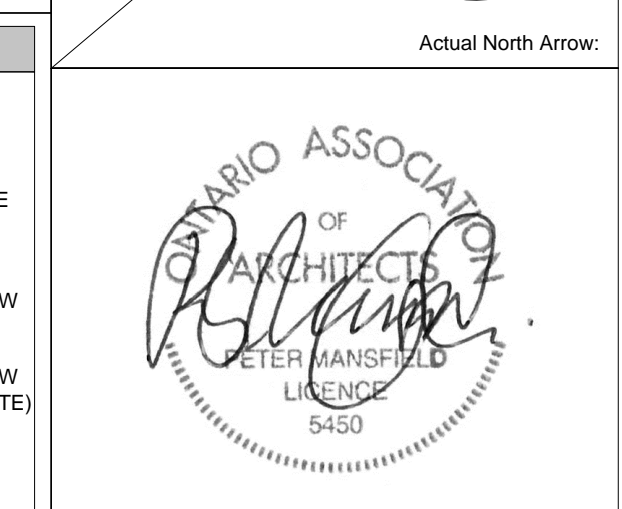
2 North Elevation
A3.2 1:100



3 South Elevation
A3.2 1:100

MATERIAL LEGEND

1	90mm x 190mm x 390mm STANDARD BRAMPTON BRICK PROFILE SERIES' CONCRETE BLOCK VENEER C/W 'MINERAL GRAY' QUARTZ FINISH (OR APPROVED ALTERNATE)
2	90mm x 57mm x 257mm METRIC NORMAN BRAMPTON BRICK PROFILE SERIES' CLAY BRICK VENEER C/W 'MOUNTAIN GRAY' FINISH (OR APPROVED ALTERNATE)
3	32mm 26ga VERTICAL 'VICWEST' PRE-FINISHED METAL CLADDING C/W 'SUNBELT GREEN' COLOUR FINISH (OR APPROVED ALTERNATE)
4	32mm 26ga VERTICAL 'VICWEST' PRE-FINISHED METAL CLADDING C/W 'DORIAN GRAY - SW 7017' COLOUR FINISH (OR APPROVED ALTERNATE)
5	24ga 'VICWEST' STANDING SEAM PRE-FINISHED METAL ROOF C/W 'WEB GRAY - SW 7075' COLOUR FINISH (OR APPROVED ALTERNATE)
6	90mm [H] x 140mm [D] PRECAST 'SHOULDRICE DESIGNER STONE' 424 SLOPED SILL C/W LIGHT BROWN FINISH (OR APPROVED ALTERNATE)
7	190mm [H] x 90mm [D] PRECAST 'SHOULDRICE DESIGNER STONE' LINTEL C/W LIGHT BROWN FINISH (OR APPROVED ALTERNATE)
8	26ga PRE-FINISHED ALUMINUM FLASHING C/W 'WEB GRAY - SW 7075' COLOUR FINISH
9	26ga PRE-FINISHED ALUMINUM PANEL ADHERED TO PLYWOOD SHEATHING C/W 'WEB GRAY - SW 7075' COLOUR FINISH
10	26ga PRE-FINISHED ALUMINUM PANEL ADHERED TO 6mm PLYWOOD SHEATHING C/W CLEAR ANODIZED COLOUR FINISH
11	'ALUMICOR 2200 SERIES' ALUMINUM CURTAIN WALL SYSTEM C/W CLEAR ANODIZED FINISH & GLAZING (OR APPROVED ALTERNATE)
12	'ALUMICOR 400A INSULCLAD SERIES' DOOR C/W CLEAR ANODIZED FINISH & GLAZING (OR APPROVED ALTERNATE)
13	SPANDREL GLAZING C/W 'OPACI-COAT 300 - CHARCOAL' COLOUR TINT (OR APPROVED ALTERNATE)
14	PAINTED STEEL DOOR & FRAME C/W 'WEB GRAY - SW 7075' COLOUR FINISH
15	PRE-FINISHED ALUMINUM INSULATED OVERHEAD DOOR C/W 'WEB GRAY - SW 7075' COLOUR FINISH
16	GALVANIZED STEEL CANOPY SUPPORT ROD & BRACKET C/W 'WEB GRAY - SW 7075' COLOUR FINISH
17	OFFSET SIGNAGE C/W RAISED LETTERING (BY OTHERS)



Peter Mansfield, Architect
B. Tech., M. Arch., O.A.A.
122 Bridge Street, Almonte, ON
613-715-0431

Project Title:
Sunbelt Rentals Inc. - Equipment Maintenance Facility
151 - 159 Wescar Lane, Carp ON

Drawing List:
Building Elevations
Phase 2 Building

Job No.: 2302 Drawing No.:
Scale: As Noted **A3.2**
Drawn By: TB Reviewed By: PM