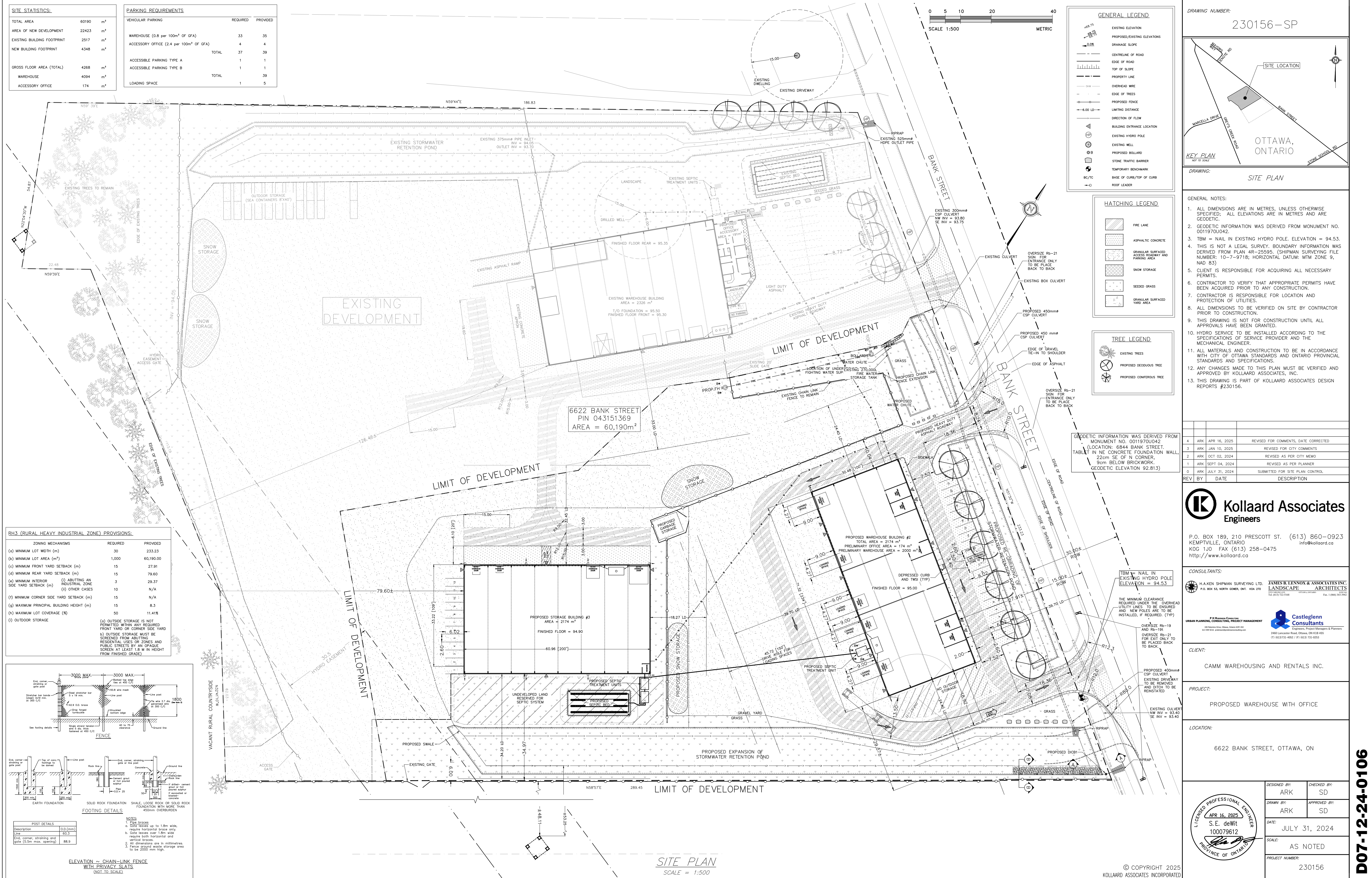




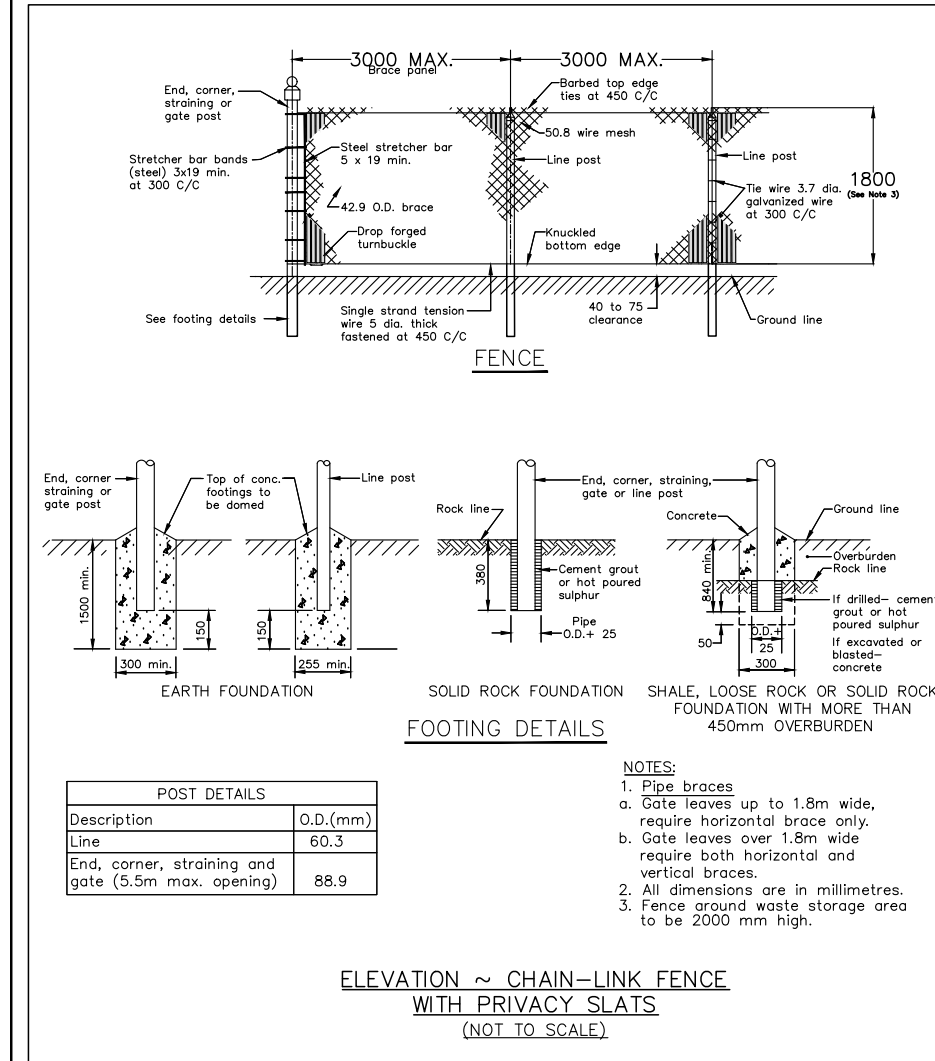
SITE STATISTICS:		
TOTAL AREA	60190	m ²
AREA OF NEW DEVELOPMENT	22423	m ²
EXISTING BUILDING FOOTPRINT	2517	m ²
NEW BUILDING FOOTPRINT	4348	m ²
GROSS FLOOR AREA (TOTAL)		
WAREHOUSE	4094	m ²
ACCESSORY OFFICE	174	m ²

PARKING REQUIREMENTS			
VEHICULAR PARKING		REQUIRED	PROVIDED
WAREHOUSE (0.8 per 100m ² OF GFA)		33	35
ACCESSORY OFFICE (2.4 per 100m ² OF GFA)		4	4
TOTAL		37	39
ACCESSIBLE PARKING TYPE A		1	1
ACCESSIBLE PARKING TYPE B		1	1
TOTAL		2	2
LOADING SPACE		1	5

RH3 (RURAL HEAVY INDUSTRIAL ZONE) PROVISIONS:		
ZONING MECHANISMS	REQUIRED	PROVIDED
(a) MINIMUM LOT WIDTH (m)	30	233.23
(b) MINIMUM LOT AREA (m ²)	1,000	60,190.00
(c) MINIMUM FRONT YARD SETBACK (m)	15	27.91
(d) MINIMUM REAR YARD SETBACK (m)	15	79.60
(e) MINIMUM INTERIOR SIDE YARD SETBACK (m)	3	29.37
(f) MINIMUM CORNER SIDE YARD SETBACK (m)	15	N/A
(g) MAXIMUM PRINCIPAL BUILDING HEIGHT (m)	15	8.3
(h) MAXIMUM LOT COVERAGE (%)	50	11.41%
(i) OUTDOOR STORAGE		

(a) OUTSIDE STORAGE IS NOT PERMITTED WITHIN ANY REQUIRED FRONT YARD OR CORNER SIDE YARD

(b) OUTSIDE STORAGE MUST BE SCREENED FROM ADJACENT RESIDENTIAL USES OR ZONES AND PUBLIC STREETS BY AN OPAQUE SCREEN AT LEAST 1.8 M IN HEIGHT FROM FINISHED GRADE



DRAWING NUMBER: 230156-SP

KEY PLAN
NOT TO SCALE

DRAWING: SITE PLAN

GENERAL NOTES:

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- GEODETIC INFORMATION WAS DERIVED FROM MONUMENT NO. 0011970042.
- TBM = NAIL IN EXISTING HYDRO POLE. ELEVATION = 94.53.
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- THIS DRAWING IS PART OF KOLLAARD ASSOCIATES DESIGN REPORTS #230156.

REV	BY	DATE	DESCRIPTION
4	ARK	APR 16, 2025	REVISED FOR COMMENTS, DATE CORRECTED
3	ARK	JAN 10, 2025	REVISED FOR CITY COMMENTS
2	ARK	OCT 02, 2024	REVISED AS PER CITY MEMO
1	ARK	SEPT 04, 2024	REVISED AS PER PLANNER
0	ARK	JULY 31, 2024	SUBMITTED FOR SITE PLAN CONTROL

Kollaard Associates Engineers

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CONSULTANTS:

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JAMES E. LENNOX & ASSOCIATES INC. ARCHITECTS
CASTLEGLINN CONSULTANTS PROJECT MANAGEMENT
CASTLEGLINN CONSULTANTS
Engineers, Project Managers & Planners
2480 Lancaster Road, Ottawa, ON K1B 4S5
(613) 833-7000 / (613) 833-7000

CLIENT:

CAMM WAREHOUSING AND RENTALS INC.

PROJECT:

PROPOSED WAREHOUSE WITH OFFICE

LOCATION:

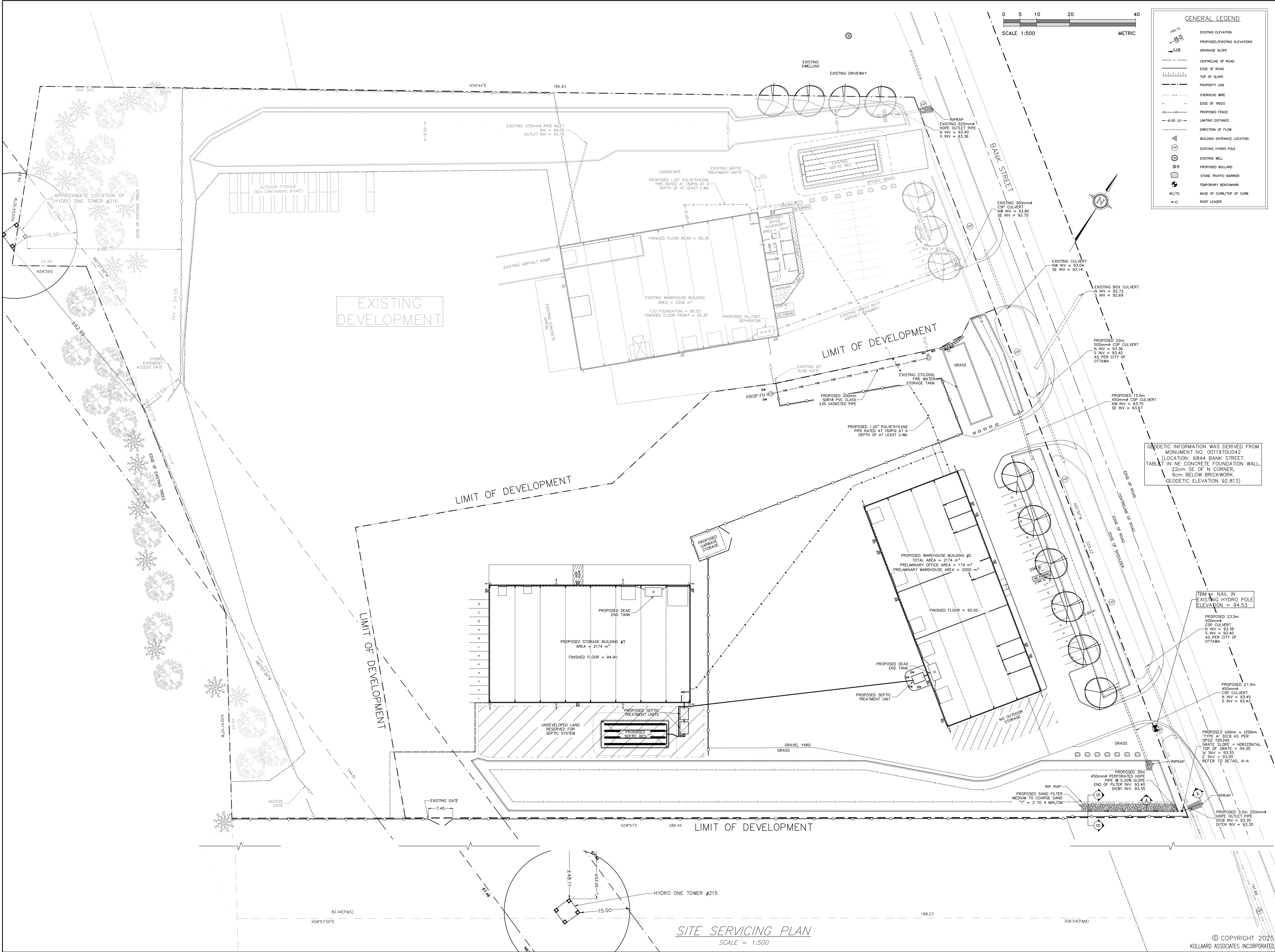
6622 BANK STREET, OTTAWA, ON

DESIGNED BY: ARK
CHECKED BY: SD
DRAWN BY: ARK
APPROVED BY: SD
DATE: JULY 31, 2024
SCALE: AS NOTED
PROJECT NUMBER: 230156

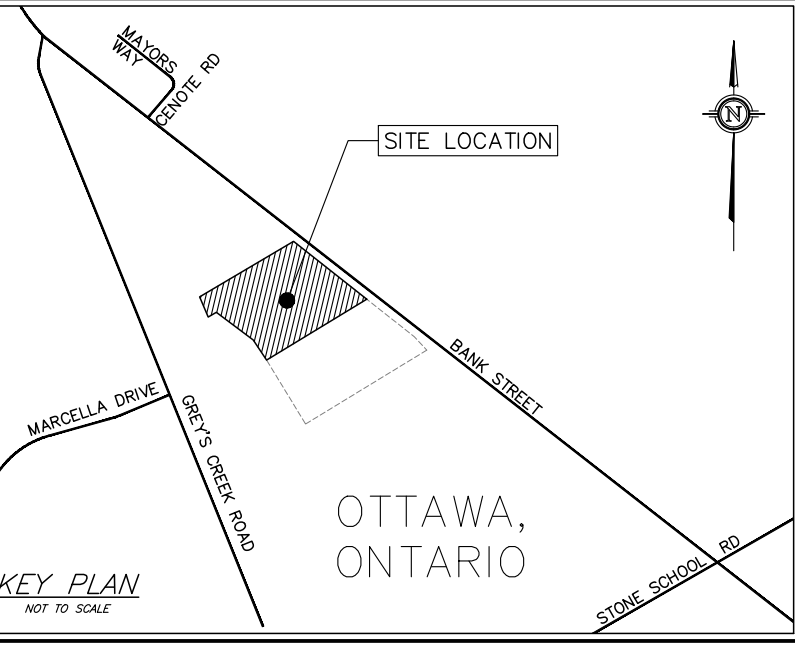
LICENSED PROFESSIONAL ENGINEER
APR 16, 2025
S.E. deWit
100079612
PROVINCE OF ONTARIO

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D07-12-24-0106



DRAWING NUMBER:
230156-SER



DRAWING:
SITE SERVICING PLAN

- GENERAL NOTES:
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0	ARK	JULY 31, 2024	SUBMITTED FOR SITE PLAN CONTROL

Kollaard Associates
Engineers

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CONSULTANTS:

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188 Dundas Street East, Suite 400, Toronto, Ontario M5G 1L5 2460 Lancaster Road, Ottawa, ON K1S 4S5
TEL (613) 833-1111 FAX (613) 833-1111

CLIENT:
CAMM WAREHOUSING AND RENTALS INC.

PROJECT:
PROPOSED WAREHOUSE WITH OFFICE

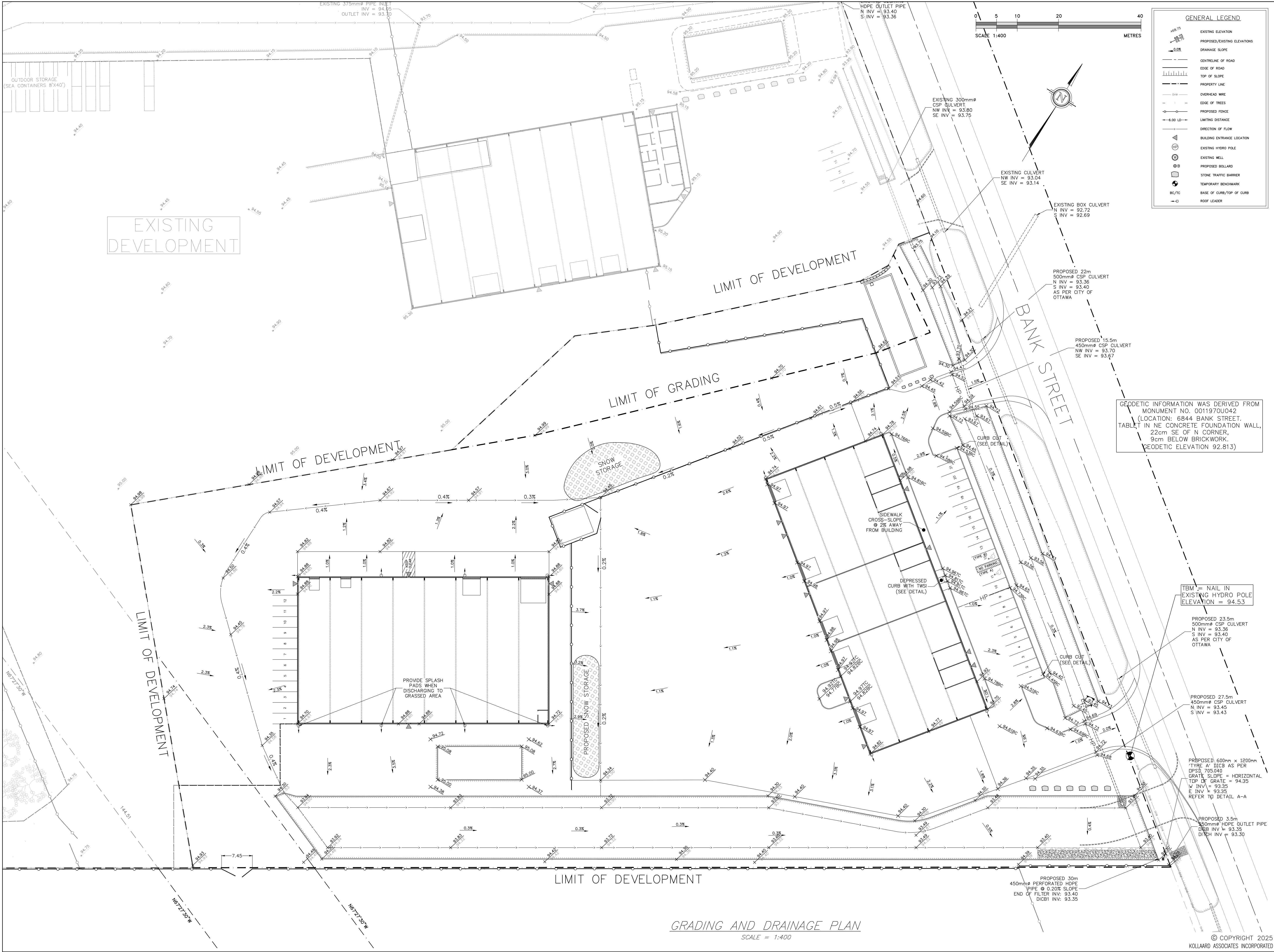
LOCATION:
6622 BANK STREET, OTTAWA, ON

DESIGNED BY: ARK CHECKED BY: SD
DRAWN BY: ARK APPROVED BY: SD
DATE: JULY 31, 2024
SCALE: AS NOTED
PROJECT NUMBER: 230156

LICENSED PROFESSIONAL ENGINEER
APR 16, 2025
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PROVINCE OF ONTARIO

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D07-12-24-0106



DRAWING NUMBER:
230156-GR

DRAWING:
GRADING AND DRAINAGE PLAN

GENERAL NOTES:

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1	ARK	SEPT 04, 2024	NO CHANGES TO THIS SHEET
0	ARK	JULY 31, 2024	ISSUED FOR SITE PLAN CONTROL

Kollaard Associates
Engineers

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Engineers, Project Managers & Planners
2480 Lancaster Road, Ottawa, ON K1B 6S5
TEL: (613) 462-1462 / (613) 432-710-625

CLIENT:
CAMM WAREHOUSING AND RENTALS INC.

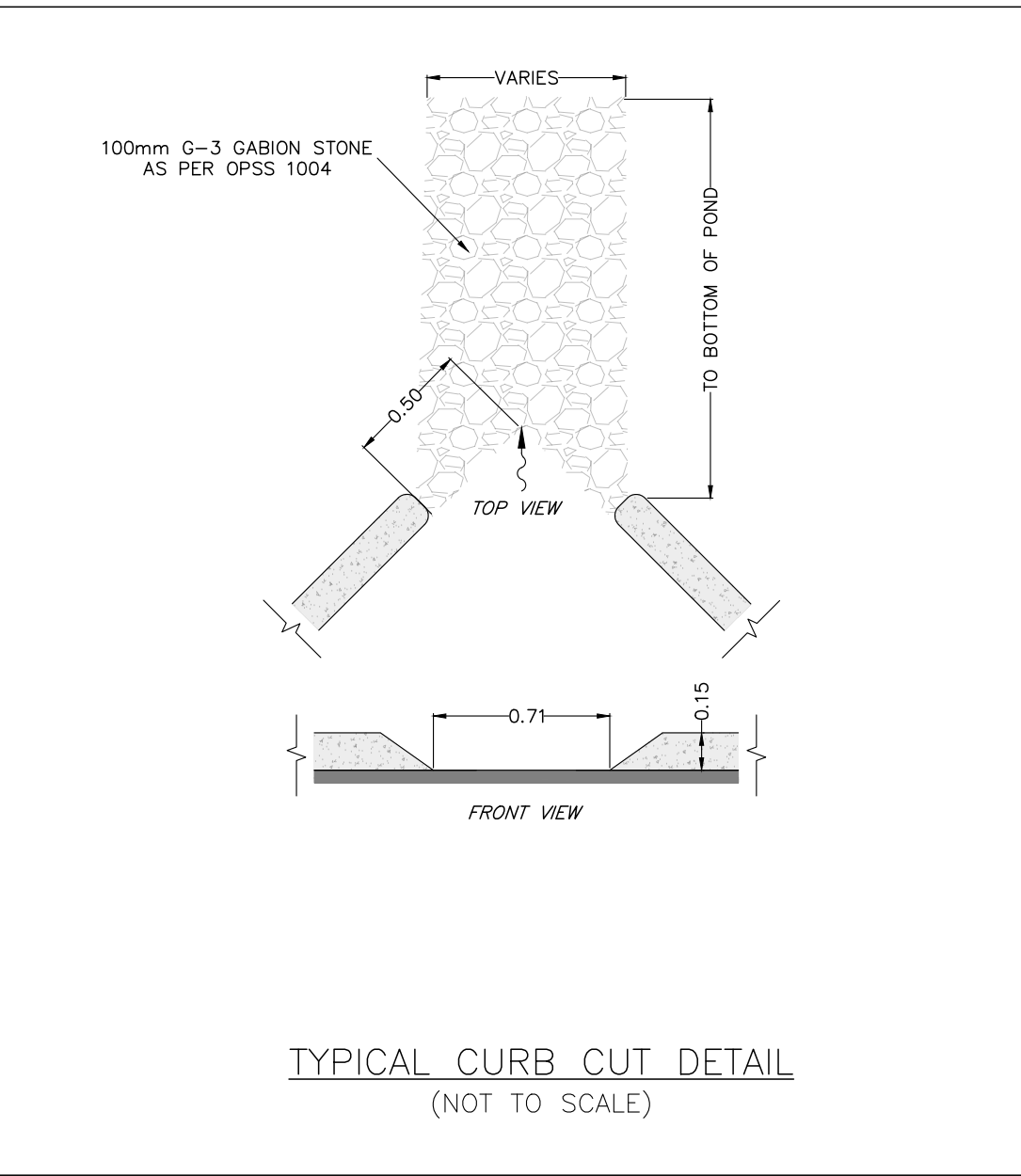
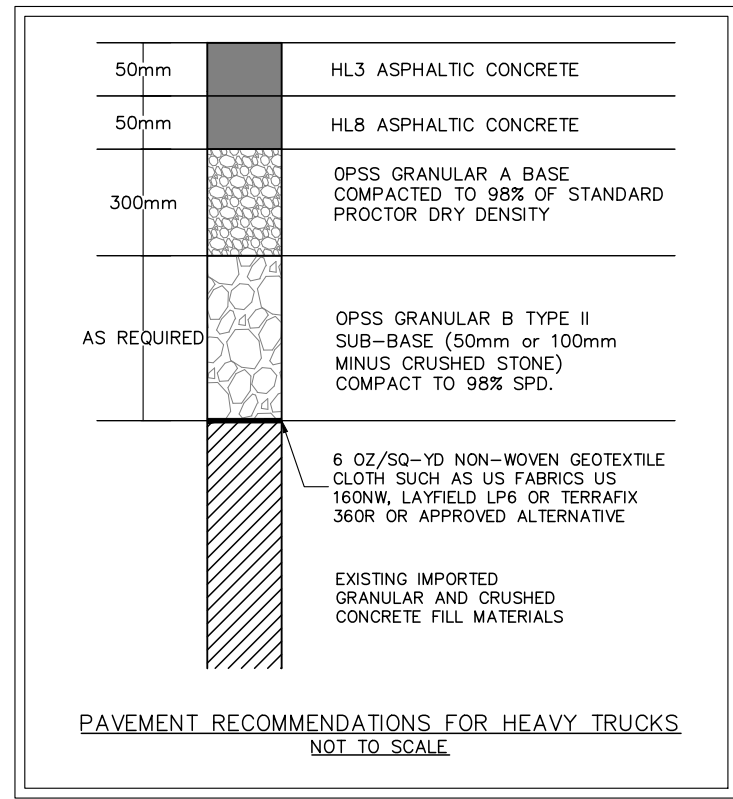
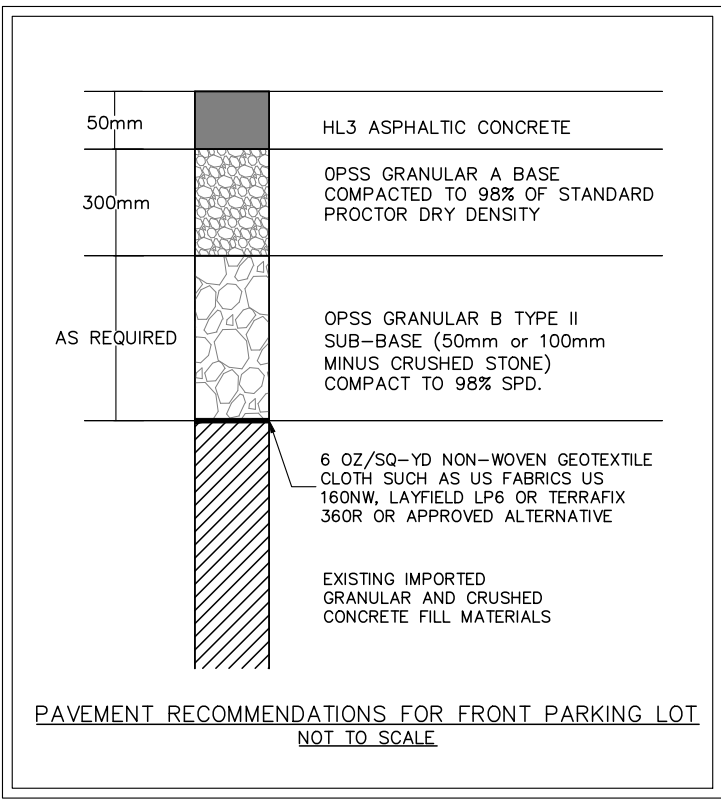
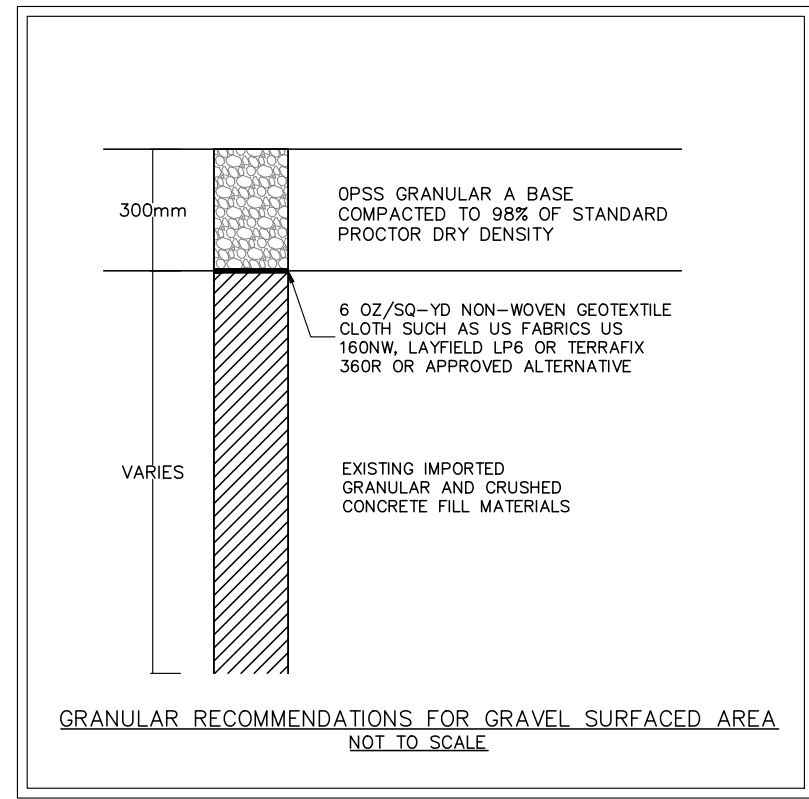
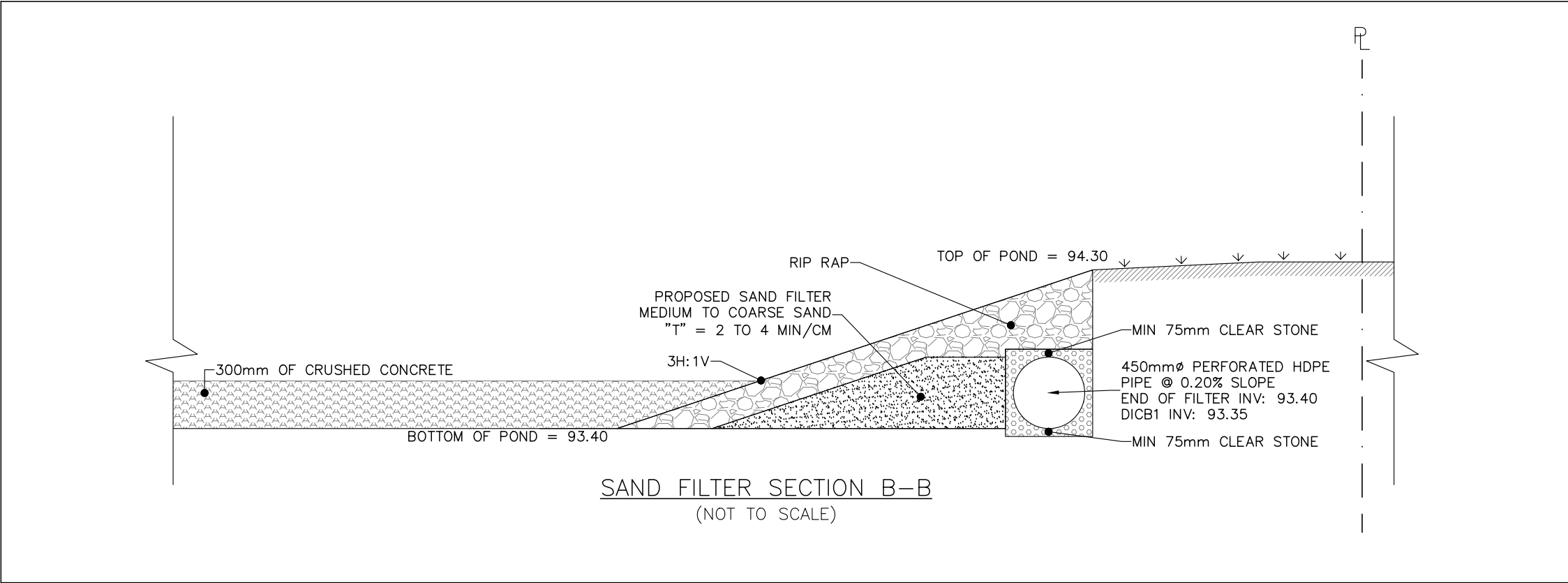
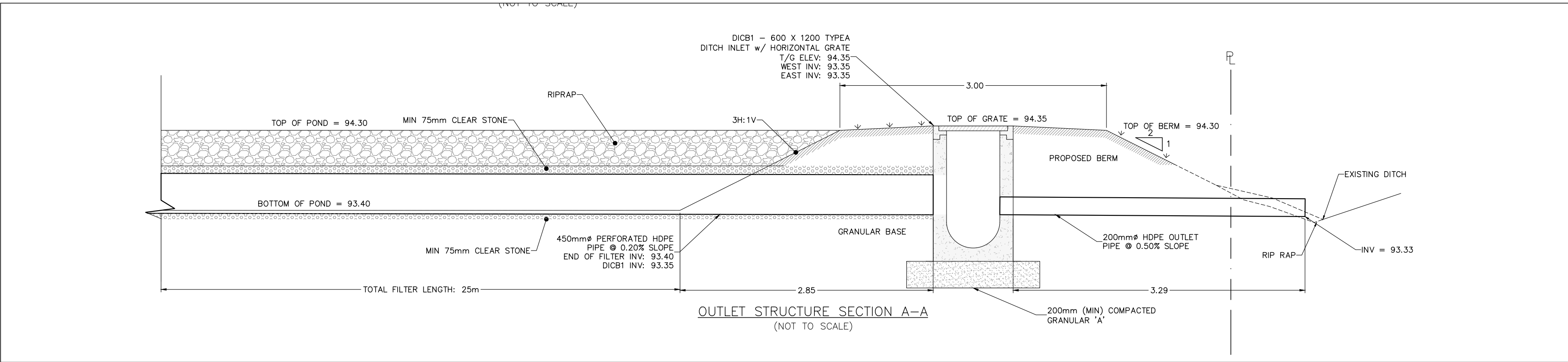
PROJECT:
PROPOSED WAREHOUSE WITH OFFICE

LOCATION:
6622 BANK STREET, OTTAWA, ON

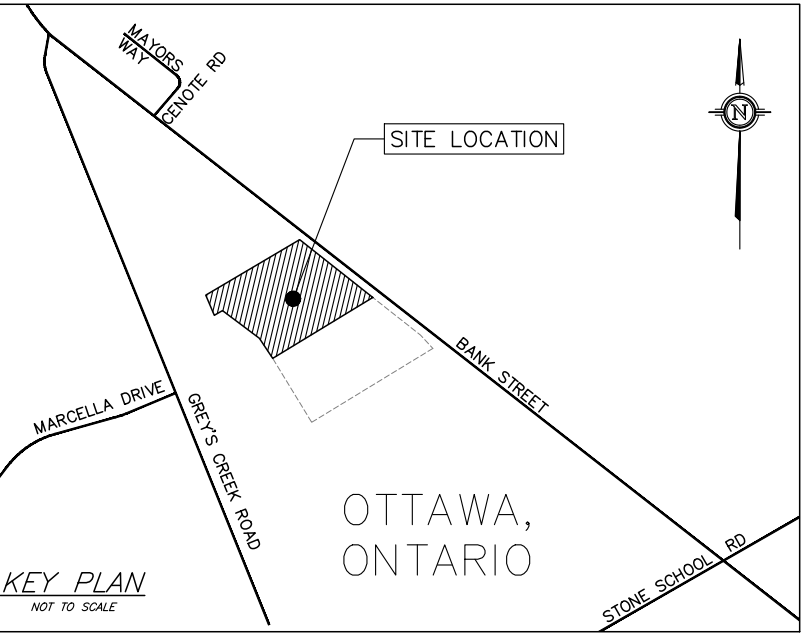
DESIGNED BY:
ARK
DRAWN BY:
ARK
DATE:
JULY 31, 2024
SCALE:
AS NOTED
PROJECT NUMBER:
230156

CHECKED BY:
SD
APPROVED BY:
SD

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DRAWING NUMBER:
230156-DET



DRAWING:
DETAILS

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1	ARK	SEPT 04, 2024	NO CHANGES TO THIS SHEET
0	ARK	JULY 31, 2024	SUBMITTED FOR SITE PLAN CONTROL

K Kollaard Associates
Engineers

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KEMPVILLE, ONTARIO info@kollaard.ca
KOG 1J0 FAX (613) 258-0475
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Castleglenn
Consultants
Engineers, Project Managers & Planners
2480 Lancaster Road, Ottawa, ON K1B 4S5
TEL (613) 722-5188 FAX (613) 722-5188

CLIENT:
CAMM WAREHOUSING AND RENTALS INC.

PROJECT:
PROPOSED WAREHOUSE WITH OFFICE

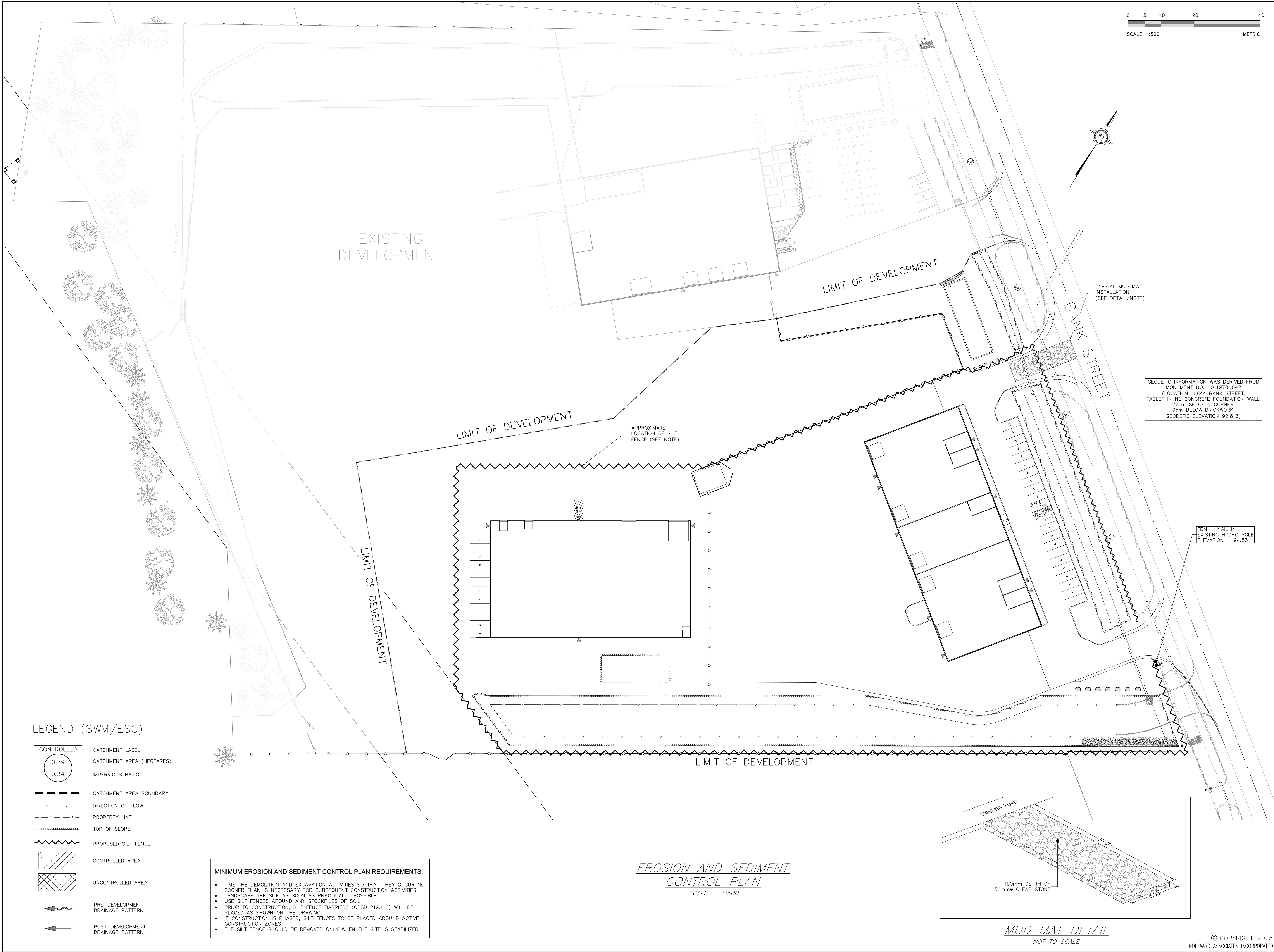
LOCATION:
6622 BANK STREET, OTTAWA, ON

	DESIGNED BY: ARK	CHECKED BY: SD
	DRAWN BY: ARK	APPROVED BY: SD
	DATE: JULY 31, 2024	
	SCALE: DETAILS	
	PROJECT NUMBER: 230156-DET	

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Plan No. 19195

D07-12-24-0106



DRAWING NUMBER:

230156-ESC

KEY PLAN

NOT TO SCALE

OTTAWA, ONTARIO

DRAWING:

EROSION AND SEDIMENT CONTROL PLAN

EROSION AND SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE, DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.
2. THE CONTRACTOR AGREES TO PREPARE AND IMPLEMENT AN EROSION AND SEDIMENT CONTROL PLAN AT LEAST EQUAL TO THE STATED MINIMUM REQUIREMENTS AND TO THE SATISFACTION OF THE CITY OF OTTAWA. APPROPRIATE TO THE SITE CONDITIONS, PRIOR TO UNDERTAKING ANY SITE ALTERATIONS (FILLING, GRADING, REMOVAL OF VEGETATION, ETC.) AND DURING ALL PHASES OF SITE PREPARATION AND CONSTRUCTION IN ACCORDANCE WITH THE CURRENT BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL.
3. ALL EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL SITE WORKS ARE COMPLETE.
4. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF THE EROSION CONTROL MEASURES DURING CONSTRUCTION. INSPECTION IS TO BE CARRIED OUT ON A WEEKLY BASIS AND AFTER SIGNIFICANT RAINFALL OR SNOWMELT EVENT. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF THE MEASURES ONCE DEVELOPMENT IS COMPLETE AND THE VEGETATION IS ESTABLISHED.
5. THE CONTRACTOR IS TO ENSURE THAT THE SITE ACCESS POINTS AND STREETS ADJACENT TO THE ACCESS POINTS ARE MAINTAINED AND KEPT CLEAN OF CONSTRUCTION MATERIALS SUCH AS, BUT NOT LIMITED TO MUD, DIRT, CLAY AND GRANULARS ON A DAILY BASIS OR AS NECESSARY, TO THE SATISFACTION OF THE CITY OF OTTAWA. A MUD MAT IS TO BE UTILIZED AT ANY LOCATION WHERE THE SITE IS ACCESSED FOR CONSTRUCTION.
6. EVERY EFFORT WILL BE MADE TO ENSURE THAT ALL DISTURBED AREAS ARE TOPSOILED AND SEEDED AS SOON AS REASONABLY POSSIBLE.
7. THE SEDIMENT AND EROSION CONTROL PLAN IS A LIVING DOCUMENT WHICH MAY BE AMENDED BY ONSITE REQUIREMENTS AT THE APPROVAL OF THE MUNICIPALITY AND THE CONSERVATION AUTHORITY.

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0	ARK	JULY 31, 2024	SUBMITTED FOR SITE PLAN CONTROL
REV	BY	DATE	DESCRIPTION

K Kollaard Associates
Engineers

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TEL (613) 725-5388 FAX (613) 725-5388

CLIENT:

CAMM WAREHOUSING AND RENTALS INC.

PROJECT:

PROPOSED WAREHOUSE WITH OFFICE

LOCATION:

6622 BANK STREET, OTTAWA, ON

DESIGNED BY:	ARK	CHECKED BY:	SD
DRAWN BY:	ARK	APPROVED BY:	SD
DATE:	JULY 31, 2024		
SCALE:	AS NOTED		
PROJECT NUMBER:	230156		

LICENSED PROFESSIONAL ENGINEER

APR 16, 2025

S. E. deWit

100079612

PROVINCE OF ONTARIO

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DRAWING NUMBER: 230156-PRE

KEY PLAN
NOT TO SCALE

OTTAWA, ONTARIO

DRAWING: PRE-DEVELOPMENT DRAINAGE PLAN

GENERAL NOTES:

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REV	BY	DATE	DESCRIPTION
4	ARK	APR 16, 2025	REVISED FOR COMMENTS, DATE CORRECTED
3	ARK	JAN 10, 2025	REVISED FOR CITY COMMENTS
2	ARK	OCT 02, 2024	SHEET ADDED TO DRAWING SET

K Kollaard Associates
Engineers

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CLIENT:

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PROJECT:

PROPOSED WAREHOUSE WITH OFFICE

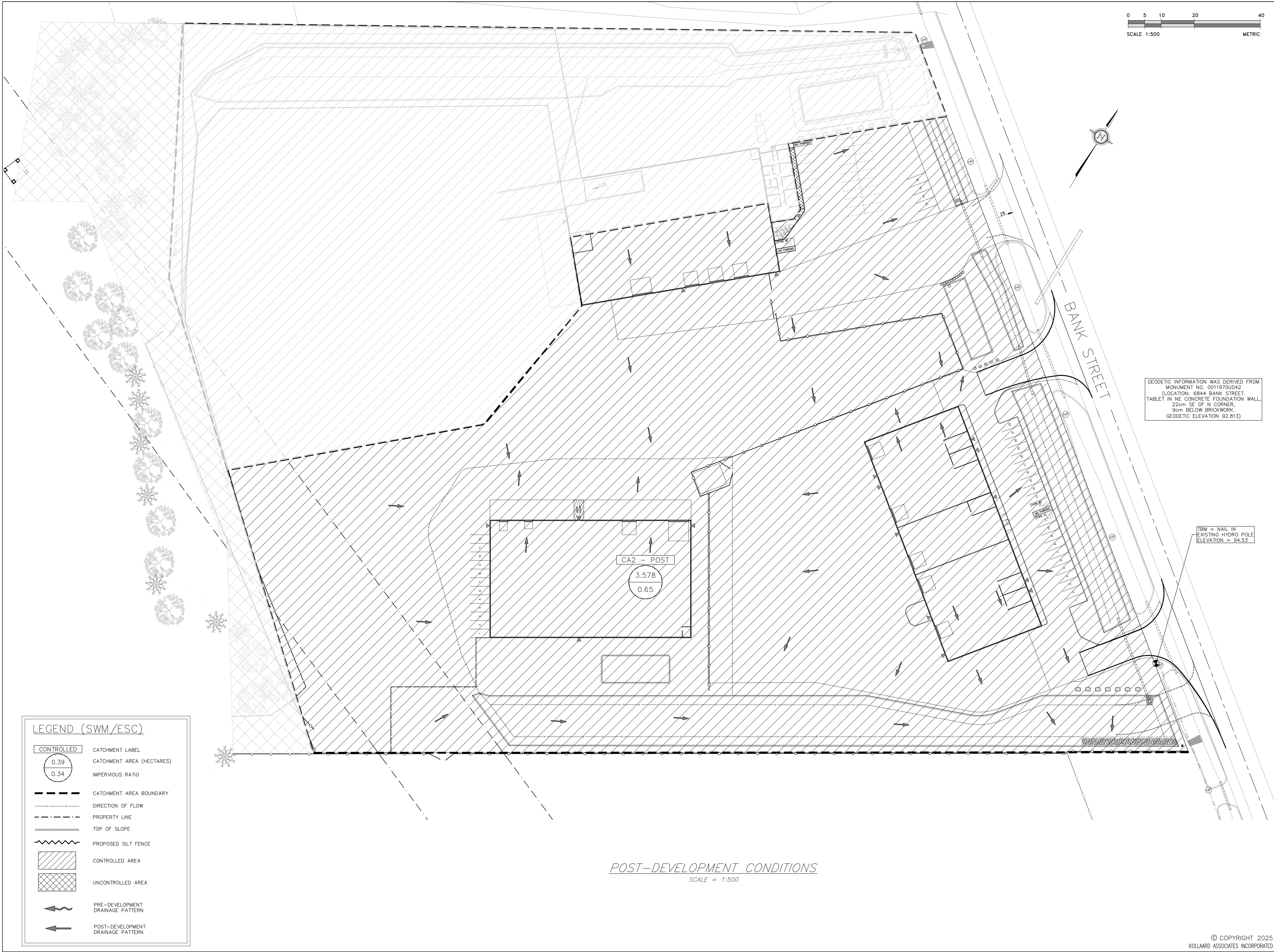
LOCATION:

6622 BANK STREET, OTTAWA, ON

DESIGNED BY: ARK CHECKED BY: SD
DRAWN BY: ARK APPROVED BY: SD
DATE: JULY 31, 2024
SCALE: AS NOTED
PROJECT NUMBER: 230156

LICENSED PROFESSIONAL ENGINEER
APR 16, 2025
S. E. deWit
100079612
PROVINCE OF ONTARIO

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KOLLAARD ASSOCIATES INCORPORATED



GEODETIC INFORMATION WAS DERIVED FROM MONUMENT NO. 0011970U042 (LOCATION: 6844 BANK STREET, 22cm SE OF N CORNER, 9cm BELOW BRICKWORK, GEODETIC ELEVATION 92.613)

TBM = NAIL IN EXISTING HYDRO POLE ELEVATION = 94.53

POST-DEVELOPMENT CONDITIONS
SCALE = 1:500

DRAWING NUMBER:
230156-POST

KEY PLAN
NOT TO SCALE

DRAWING:
POST-DEVELOPMENT
DRAINAGE PLAN

GENERAL NOTES:

- ALL DIMENSIONS ARE IN METRES, UNLESS OTHERWISE SPECIFIED. ALL ELEVATIONS ARE IN METRES AND ARE GEODETIC.
- GEODETIC INFORMATION WAS DERIVED FROM MONUMENT NO. 0011970U042.
- TBM = NAIL IN EXISTING HYDRO POLE. ELEVATION = 94.53.
- THIS IS NOT A LEGAL SURVEY. BOUNDARY INFORMATION WAS DERIVED FROM PLAN 4R-25505. (SHIPMAN SURVEYING FILE NUMBER: T0-7-9718; HORIZONTAL DATUM: MTM ZONE 9, NAD 83)
- CLIENT IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS.
- CONTRACTOR TO VERIFY THAT APPROPRIATE PERMITS HAVE BEEN ACQUIRED PRIOR TO ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR LOCATION AND PROTECTION OF UTILITIES.
- ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION.
- THIS DRAWING IS NOT FOR CONSTRUCTION UNTIL ALL APPROVALS HAVE BEEN GRANTED.
- HYDRO SERVICE TO BE INSTALLED ACCORDING TO THE SPECIFICATIONS OF SERVICE PROVIDER AND THE MECHANICAL ENGINEER.
- ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF OTTAWA STANDARDS AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.
- ANY CHANGES MADE TO THIS PLAN MUST BE VERIFIED AND APPROVED BY KOLLAARD ASSOCIATES, INC.
- THIS DRAWING IS PART OF KOLLAARD ASSOCIATES DESIGN REPORTS #230156.

4	ARK	APR 16, 2025	REVISED FOR COMMENTS, DATE CORRECTED
3	ARK	JAN 10, 2025	REVISED FOR CITY COMMENTS
2	ARK	OCT 02, 2024	SHEET ADDED TO DRAWING SET
REV	BY	DATE	DESCRIPTION

Kollaard Associates
Engineers

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KEMPVILLE, ONTARIO info@kollaard.ca
KOG 1J0 FAX (613) 258-0475
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TEL: (613) 725-1100 / (613) 725-1101

CLIENT:

CAMM WAREHOUSING AND RENTALS INC.

PROJECT:

PROPOSED WAREHOUSE WITH OFFICE

LOCATION:

6622 BANK STREET, OTTAWA, ON

DESIGNED BY:
ARK
DRAWN BY:
ARK
DATE:
JULY 31, 2024
SCALE:
AS NOTED
PROJECT NUMBER:
230156

CHECKED BY:
SD
APPROVED BY:
SD