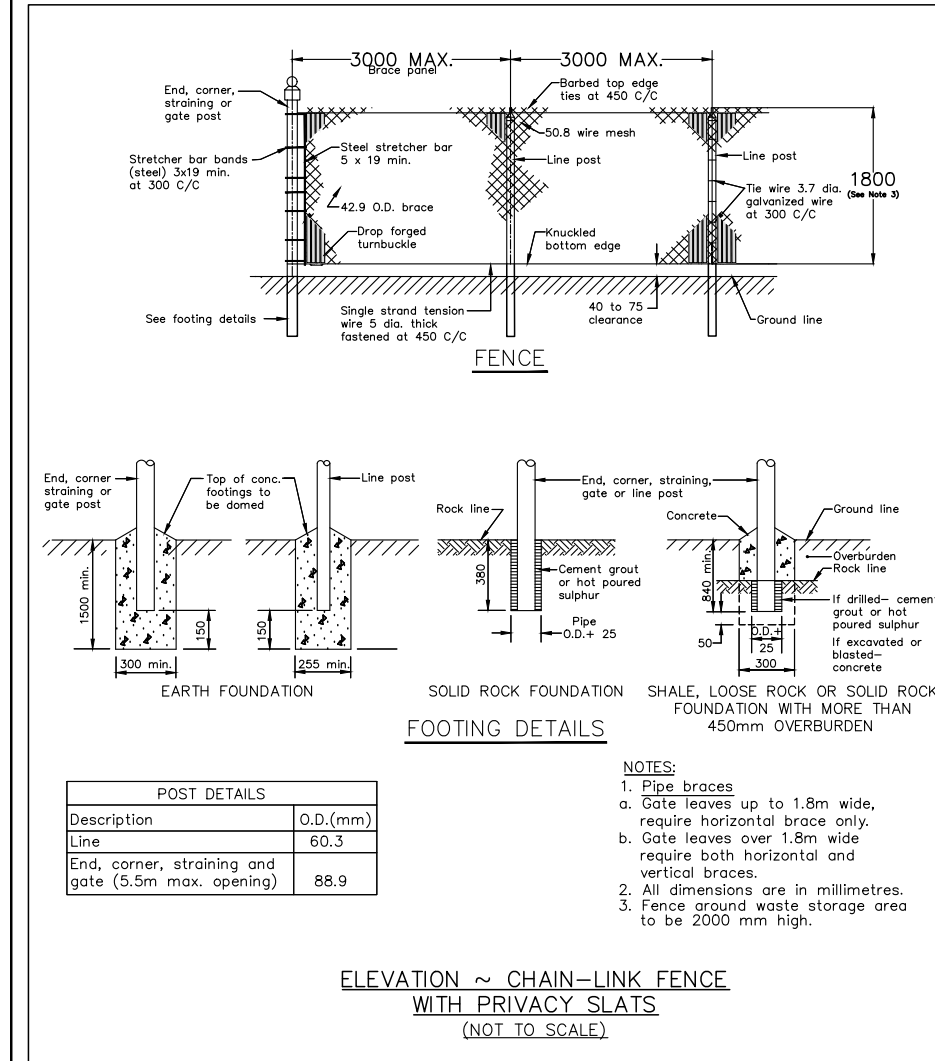


SITE STATISTICS:		
TOTAL AREA	60190	m <sup>2</sup>
AREA OF NEW DEVELOPMENT	22423	m <sup>2</sup>
EXISTING BUILDING FOOTPRINT	2517	m <sup>2</sup>
NEW BUILDING FOOTPRINT	4348	m <sup>2</sup>
GROSS FLOOR AREA (TOTAL)		
WAREHOUSE	4094	m <sup>2</sup>
ACCESSORY OFFICE	174	m <sup>2</sup>

PARKING REQUIREMENTS			
VEHICULAR PARKING		REQUIRED	PROVIDED
WAREHOUSE (0.8 per 100m <sup>2</sup> OF GFA)		33	35
ACCESSORY OFFICE (2.4 per 100m <sup>2</sup> OF GFA)		4	4
TOTAL		37	39
ACCESSIBLE PARKING TYPE A		1	1
ACCESSIBLE PARKING TYPE B		1	1
TOTAL		39	39
LOADING SPACE		1	5

RH3 (RURAL HEAVY INDUSTRIAL ZONE) PROVISIONS:		
ZONING MECHANISMS	REQUIRED	PROVIDED
(a) MINIMUM LOT WIDTH (m)	30	233.23
(b) MINIMUM LOT AREA (m <sup>2</sup> )	1,000	60,190.00
(c) MINIMUM FRONT YARD SETBACK (m)	15	27.91
(d) MINIMUM REAR YARD SETBACK (m)	15	79.60
(e) MINIMUM INTERIOR SIDE YARD SETBACK (m)	3	29.37
(f) MINIMUM CORNER SIDE YARD SETBACK (m)	15	N/A
(g) MAXIMUM PRINCIPAL BUILDING HEIGHT (m)	15	8.3
(h) MAXIMUM LOT COVERAGE (%)	50	11.41%
(i) OUTDOOR STORAGE		

(a) OUTSIDE STORAGE IS NOT PERMITTED WITHIN ANY REQUIRED FRONT YARD OR CORNER SIDE YARD  
(b) OUTSIDE STORAGE MUST BE SCREENED FROM ADJACENT RESIDENTIAL USES OR ZONES AND PUBLIC STREETS BY AN OPAQUE SCREEN AT LEAST 1.8 M IN HEIGHT FROM FINISHED GRADE



DRAWING NUMBER:  
**230156-SP**

KEY PLAN  
NOT TO SCALE

DRAWING:  
SITE PLAN

GENERAL NOTES:

- ALL DIMENSIONS ARE IN METRES, UNLESS OTHERWISE SPECIFIED. ALL ELEVATIONS ARE IN METRES AND ARE GEODETIC.
- GEODETIC INFORMATION WAS DERIVED FROM MONUMENT NO. 0011970042.
- TBM = NAIL IN EXISTING HYDRO POLE. ELEVATION = 94.53.
- THIS IS NOT A LEGAL SURVEY. BOUNDARY INFORMATION WAS DERIVED FROM PLAN 4R-25595, (SHIPMAN SURVEYING FILE NUMBER: 10-7-9718; HORIZONTAL DATUM: MTM ZONE 9, NAD 83)
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- THIS DRAWING IS PART OF KOLLAARD ASSOCIATES DESIGN REPORTS #230156.

3	ARK	JAN 10, 2024	REVISED FOR CITY COMMENTS
2	ARK	OCT 02, 2024	REVISED AS PER CITY MEMO
1	ARK	SEPT 04, 2024	REVISED AS PER PLANNER
0	ARK	JULY 31, 2024	SUBMITTED FOR SITE PLAN CONTROL
REV	BY	DATE	DESCRIPTION

**Kollaard Associates**  
Engineers

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K0G 1J0 FAX (613) 258-0475  
info@kollaard.ca  
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Castleglen  
Consultants  
Engineers, Project Managers & Planners  
2480 LANSBURG RD., OTTAWA, ON K1B 4S5  
TEL: (613) 723-3368

CLIENT:  
CAMM WAREHOUSING AND RENTALS INC.

PROJECT:  
PROPOSED WAREHOUSE WITH OFFICE

LOCATION:  
6622 BANK STREET, OTTAWA, ON

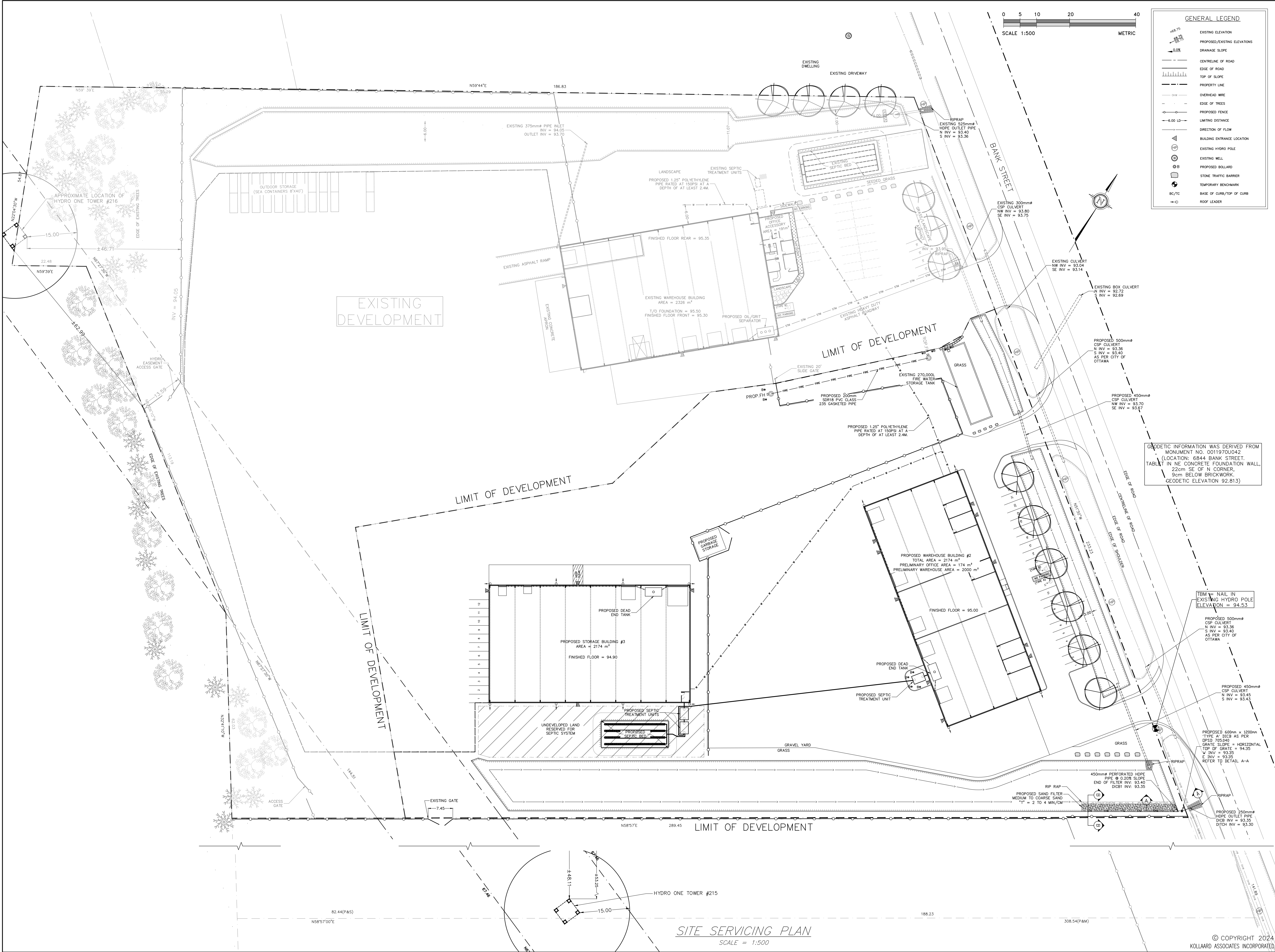
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DRAWN BY:  
ARK  
DATE:  
JULY 31, 2024  
SCALE:  
AS NOTED  
PROJECT NUMBER:  
230156

CHECKED BY:  
SD  
APPROVED BY:  
SD

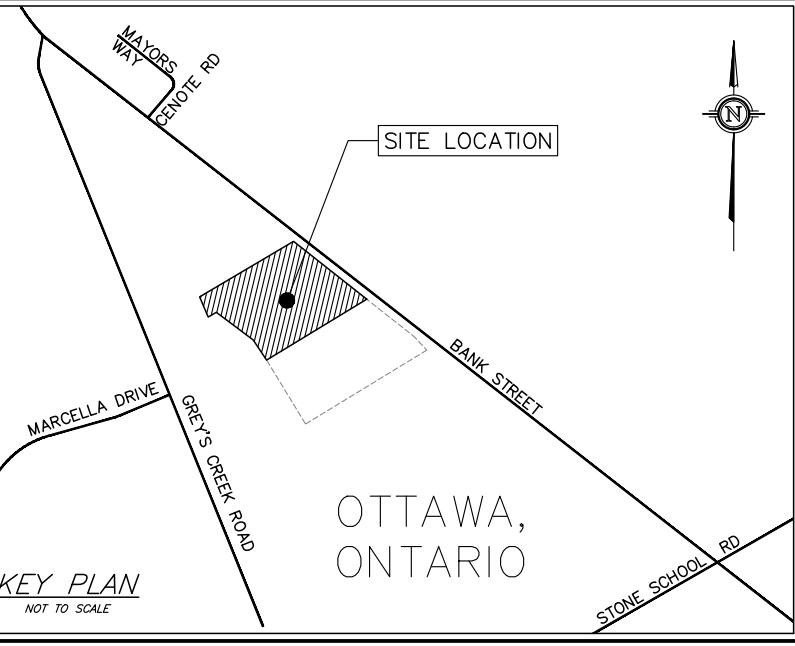
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D07-12-24-0106





DRAWING NUMBER:  
230156-SER



DRAWING:  
SITE SERVICING PLAN

- GENERAL NOTES:
- ALL DIMENSIONS ARE IN METRES, UNLESS OTHERWISE SPECIFIED. ALL ELEVATIONS ARE IN METRES AND ARE GEODETIC.
  - GEODETIC INFORMATION WAS DERIVED FROM MONUMENT NO. 0011970U042.
  - TBM = NAIL IN EXISTING HYDRO POLE. ELEVATION = 94.53.
  - THIS IS NOT A LEGAL SURVEY. BOUNDARY INFORMATION WAS DERIVED FROM PLAN 4R-255/95, (SHIPMAN SURVEYING FILE NUMBER: 10-7-9718; HORIZONTAL DATUM: MTM ZONE 9, NAD 83)
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  - THIS DRAWING IS PART OF KOLLAARD ASSOCIATES DESIGN REPORTS #230156.

REV	BY	DATE	DESCRIPTION
3	ARK	JAN 10, 2024	REVISED FOR CITY COMMENTS
2	ARK	OCT 02, 2024	NO CHANGES TO THIS SHEET
1	ARK	SEPT 04, 2024	NO CHANGES TO THIS SHEET
0	ARK	JULY 31, 2024	SUBMITTED FOR SITE PLAN CONTROL

**Kollaard Associates**  
Engineers

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Engineers, Project Managers & Planners  
2460 LANSBORO ROAD, OTTAWA, ON K1S 4S5  
(613) 831-7001 / (613) 833-733-0253

CLIENT:  
CAMM WAREHOUSING AND RENTALS INC.

PROJECT:  
PROPOSED WAREHOUSE WITH OFFICE

LOCATION:  
6622 BANK STREET, OTTAWA, ON

DESIGNED BY: ARK CHECKED BY: SD  
DRAWN BY: ARK APPROVED BY: SD  
DATE: JULY 31, 2024  
SCALE: AS NOTED  
PROJECT NUMBER: 230156

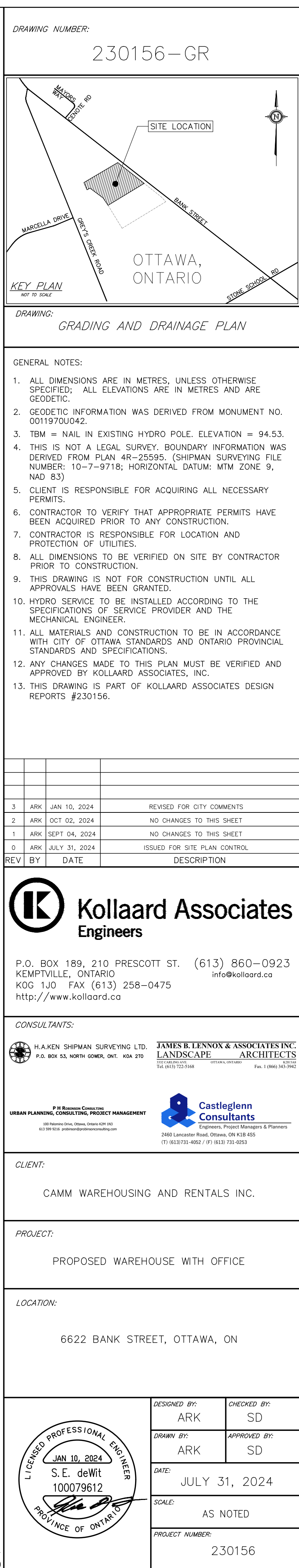
LICENSED PROFESSIONAL ENGINEER  
JAN 10, 2024  
S.E. deWit  
100079612  
PROVINCE OF ONTARIO

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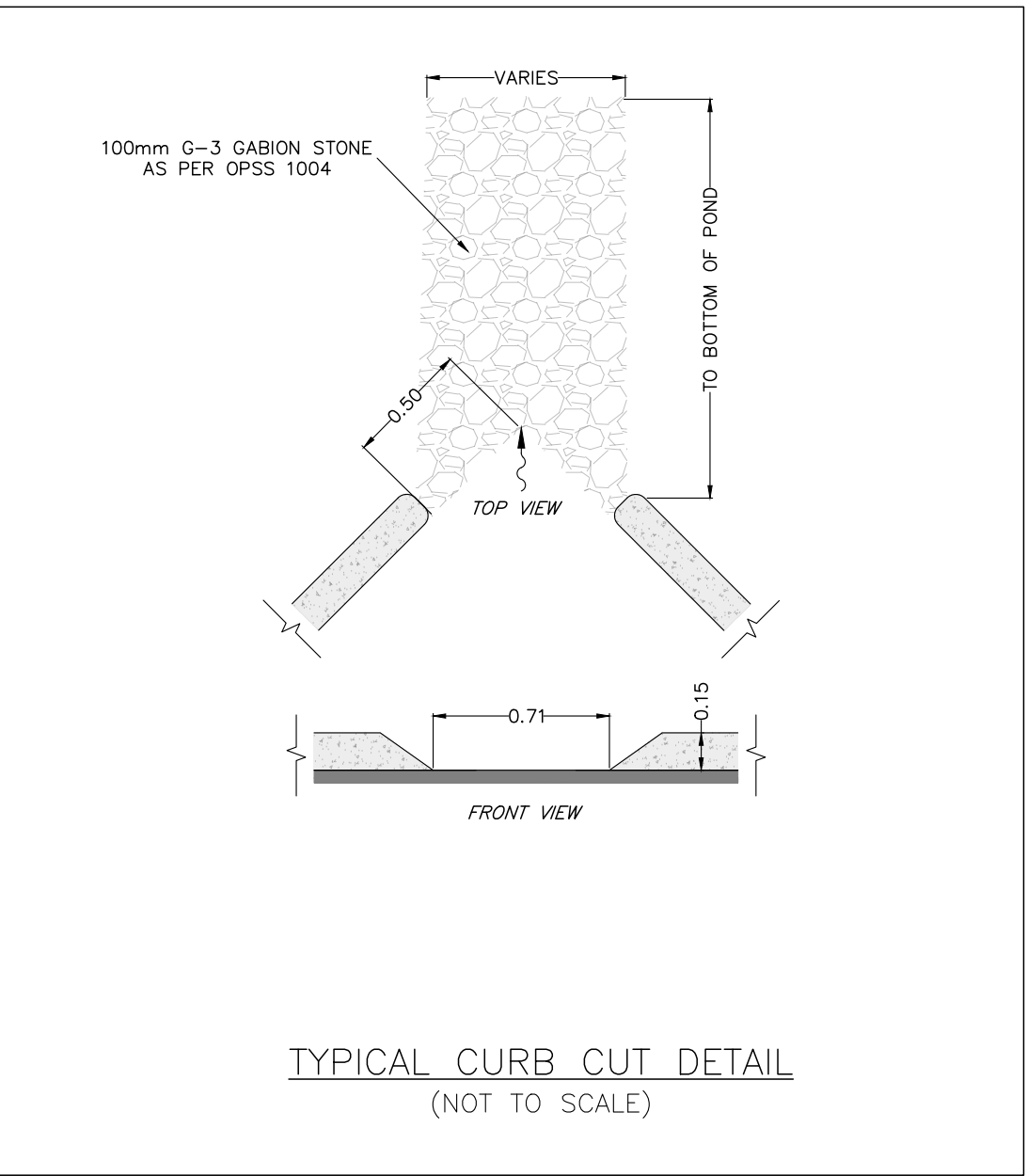
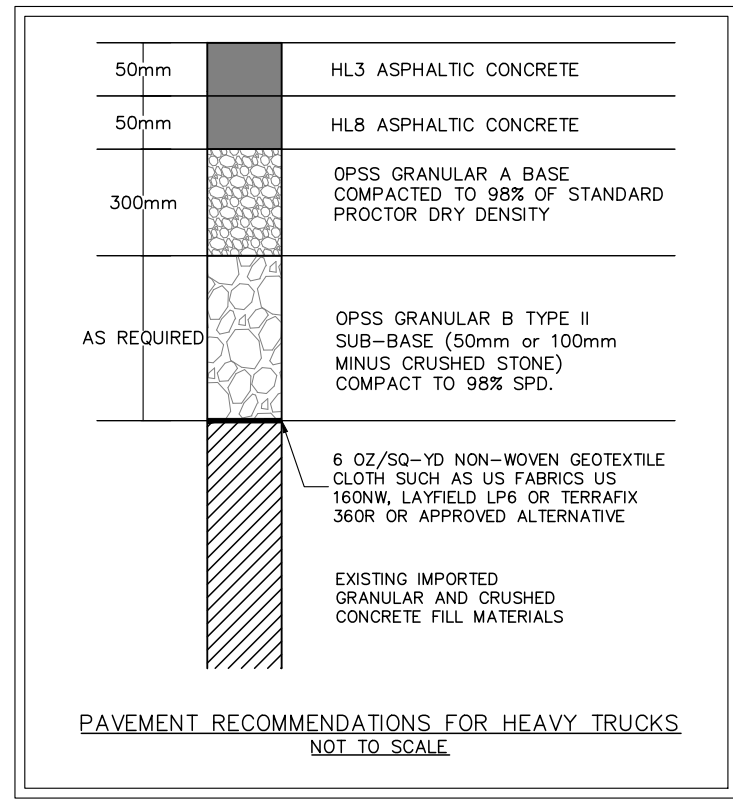
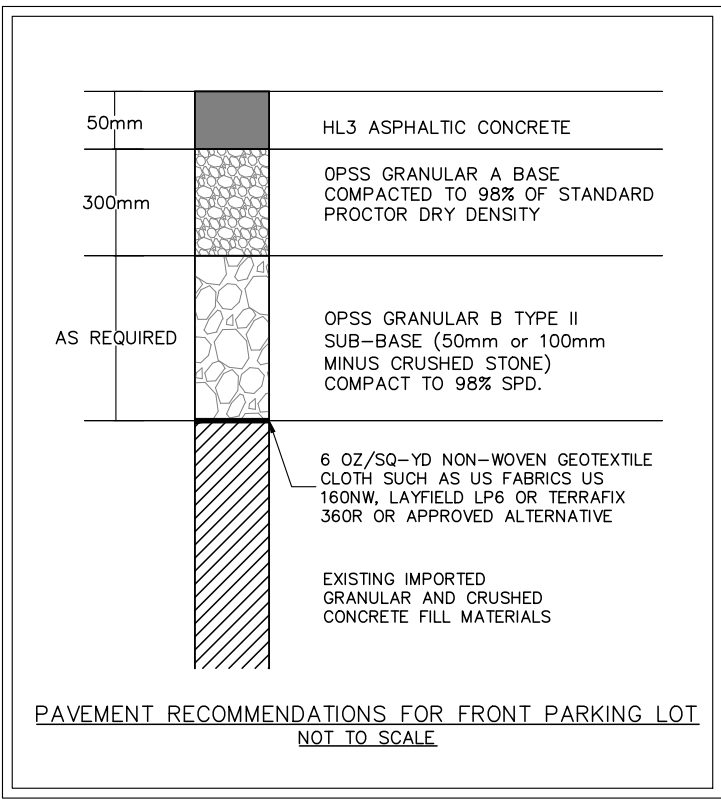
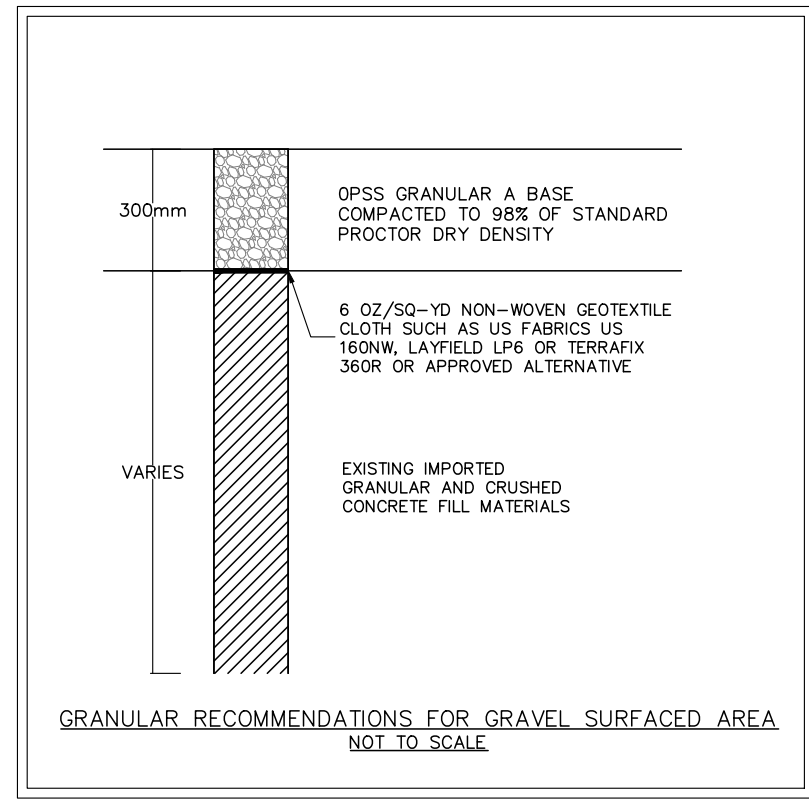
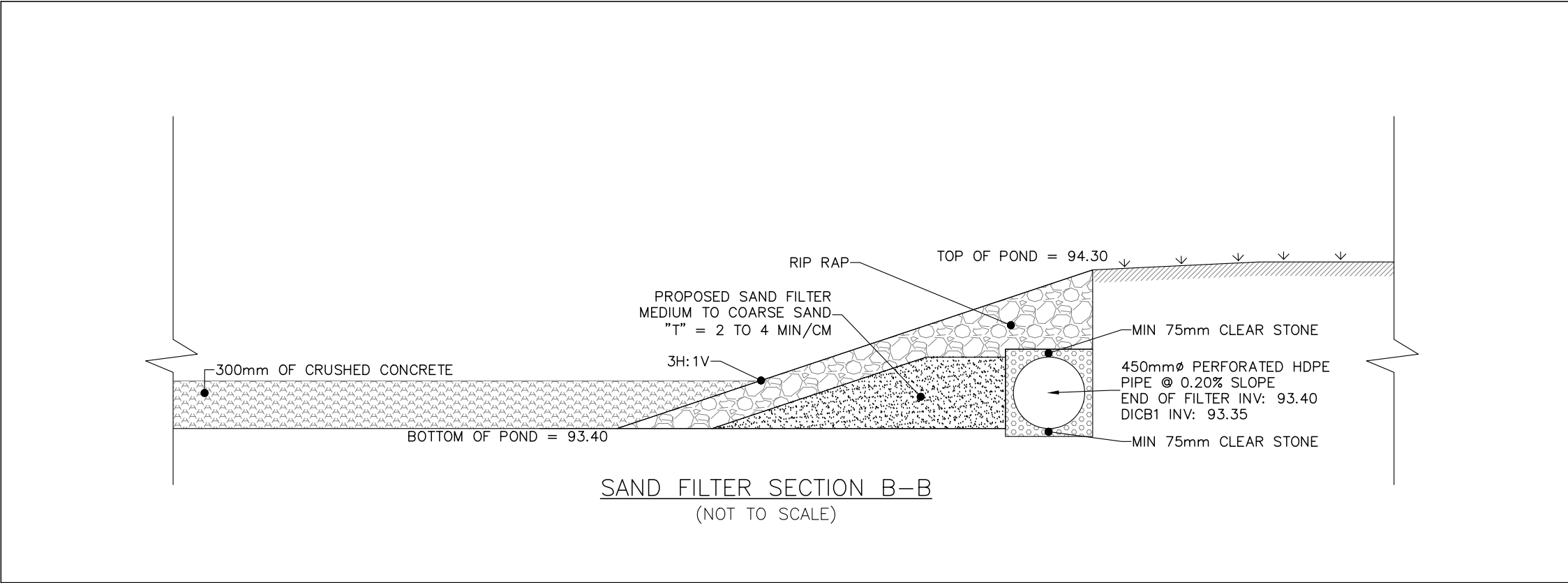
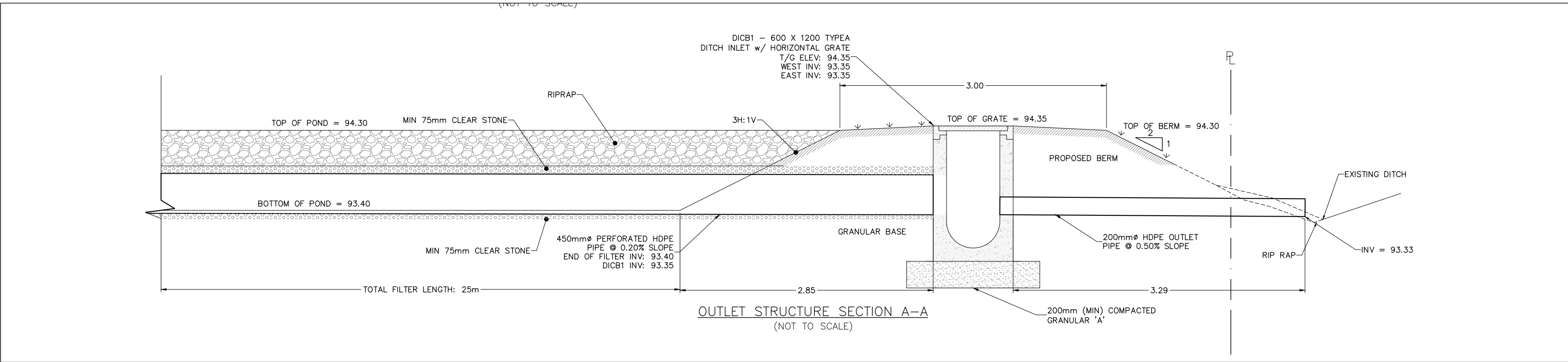
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Plan No. 19195

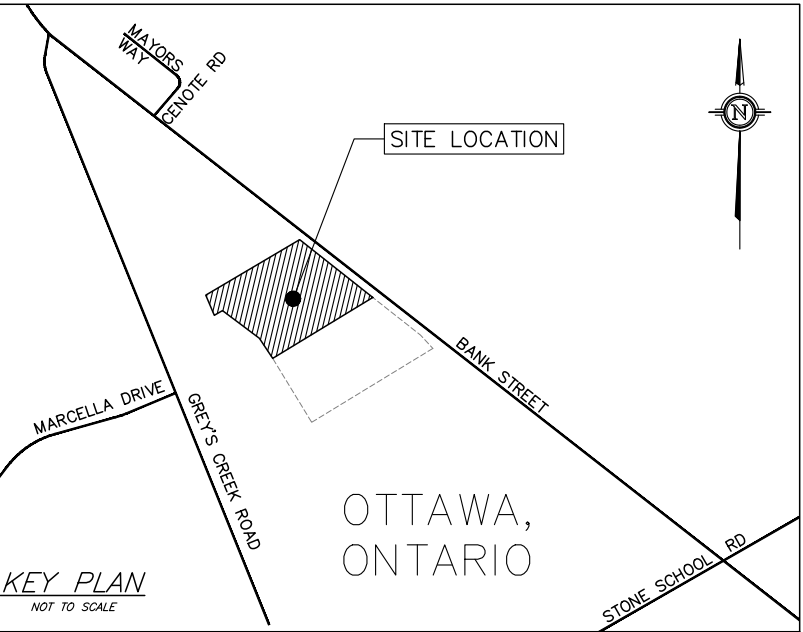








DRAWING NUMBER:  
230156-DET



DRAWING:  
DETAILS

- GENERAL NOTES:
- ALL DIMENSIONS ARE IN METRES, UNLESS OTHERWISE SPECIFIED. ALL ELEVATIONS ARE IN METRES AND ARE GEODETIC.
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  - THIS DRAWING IS PART OF KOLLAARD ASSOCIATES DESIGN REPORTS #230156.

REV	BY	DATE	DESCRIPTION
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0	ARK	JULY 31, 2024	SUBMITTED FOR SITE PLAN CONTROL

**K Kollaard Associates**  
Engineers

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KOG 1J0 FAX (613) 258-0475  
http://www.kollaard.ca

CONSULTANTS:

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P.H. BROWN CONSULTANTS  
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TEL (613) 722-5188 FAX (613) 722-5188

Castleglenn  
Consultants  
Engineers, Project Managers & Planners  
2480 Lancaster Road, Ottawa, ON K1B 4S5  
TEL (613) 722-5188 / (613) 722-5188

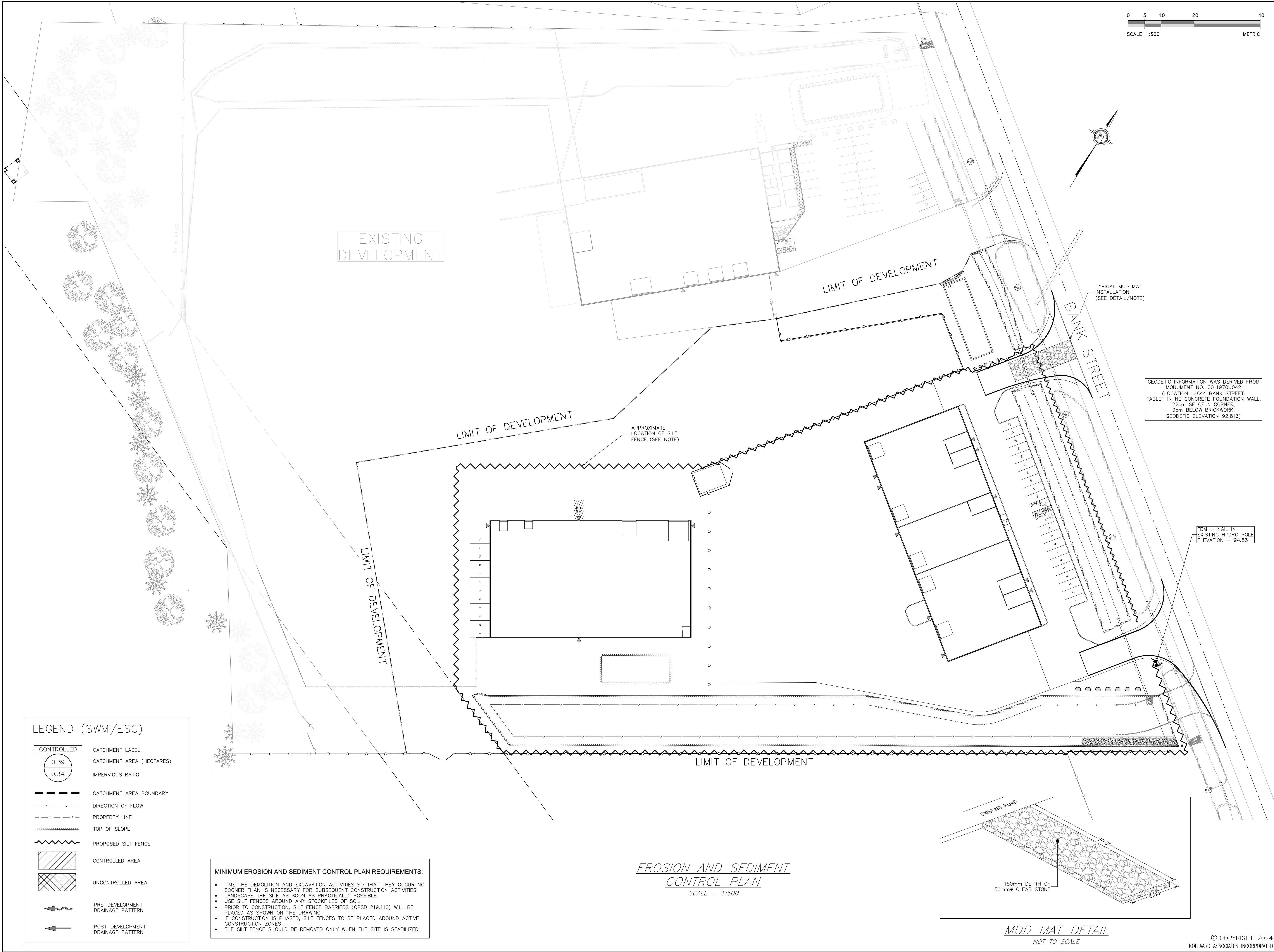
CLIENT:  
Camm Warehousing and Rentals Inc.

PROJECT:  
PROPOSED WAREHOUSE WITH OFFICE

LOCATION:  
6622 Bank Street, Ottawa, ON

	DESIGNED BY: ARK	CHECKED BY: SD
	DRAWN BY: ARK	APPROVED BY: SD
	DATE: JULY 31, 2024	
	SCALE: DETAILS	
	PROJECT NUMBER: 230156-DET	





DRAWING NUMBER:  
230156-ESC

KEY PLAN  
NOT TO SCALE

SITE LOCATION

OTTAWA, ONTARIO

DRAWING:  
EROSION AND SEDIMENT  
CONTROL PLAN

EROSION AND SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE, DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.

2. THE CONTRACTOR AGREES TO PREPARE AND IMPLEMENT AN EROSION AND SEDIMENT CONTROL PLAN AT LEAST EQUAL TO THE STATED MINIMUM REQUIREMENTS AND TO THE SATISFACTION OF THE CITY OF OTTAWA, APPROPRIATE TO THE SITE CONDITIONS, PRIOR TO UNDERTAKING ANY SITE ALTERATIONS (FILLING, GRADING, REMOVAL OF VEGETATION, ETC.) AND DURING ALL PHASES OF SITE PREPARATION AND CONSTRUCTION IN ACCORDANCE WITH THE CURRENT BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL.

3. ALL EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL SITE WORKS ARE COMPLETE.

4. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF THE EROSION CONTROL MEASURES DURING CONSTRUCTION. INSPECTION IS TO BE CARRIED OUT ON A WEEKLY BASIS AND AFTER SIGNIFICANT RAINFALL OR SNOWMELT EVENT. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF THE MEASURES ONCE DEVELOPMENT IS COMPLETE AND THE VEGETATION IS ESTABLISHED.

5. THE CONTRACTOR IS TO ENSURE THAT THE SITE ACCESS POINTS AND STREETS ADJACENT TO THE ACCESS POINTS ARE MAINTAINED AND KEPT CLEAN OF CONSTRUCTION MATERIALS SUCH AS, BUT NOT LIMITED TO MUD, DIRT, CLAY AND GRANULARS ON A DAILY BASIS OR AS NECESSARY, TO THE SATISFACTION OF THE CITY OF OTTAWA. A MUD MAT IS TO BE UTILIZED AT ANY LOCATION WHERE THE SITE IS ACCESSED FOR CONSTRUCTION.

6. EVERY EFFORT WILL BE MADE TO ENSURE THAT ALL DISTURBED AREAS ARE TOPSOILED AND SEEDS AS SOON AS REASONABLY POSSIBLE.

7. THE SEDIMENT AND EROSION CONTROL PLAN IS A LIVING DOCUMENT WHICH MAY BE AMENDED BY ONSITE REQUIREMENTS AT THE APPROVAL OF THE MUNICIPALITY AND THE CONSERVATION AUTHORITY.

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REV	BY	DATE	DESCRIPTION

K

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Engineers

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CONSULTANTS:

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P.O. BOX 53, NORTH GOWER, ONT. K0A 2T0

JAMES R. LENNOX & ASSOCIATES INC.

LANDSCAPE ARCHITECTS

URBAN PLANNING CONSULTING PROJECT MANAGEMENT

188 Waterloo Drive, Ottawa, Ontario K1P 1G5  
(613) 581-1010 urbanplanningconsulting.com

Castleglenn  
Consultants

Engineers, Project Managers & Planners

CLIENT:

CAMM WAREHOUSING AND RENTALS INC.

PROJECT:

PROPOSED WAREHOUSE WITH OFFICE

LOCATION:

6622 BANK STREET, OTTAWA, ON

LICENSED PROFESSIONAL ENGINEER  
JAN 10, 2024  
S.E. deWit  
100079612  
PROVINCE OF ONTARIO

DESIGNED BY:  
ARK

CHECKED BY:  
SD

DRAWN BY:  
ARK

APPROVED BY:  
SD

DATE:  
JULY 31, 2024

SCALE:  
AS NOTED

PROJECT NUMBER:  
230156

Plan No. 19195

D07-12-24-0106