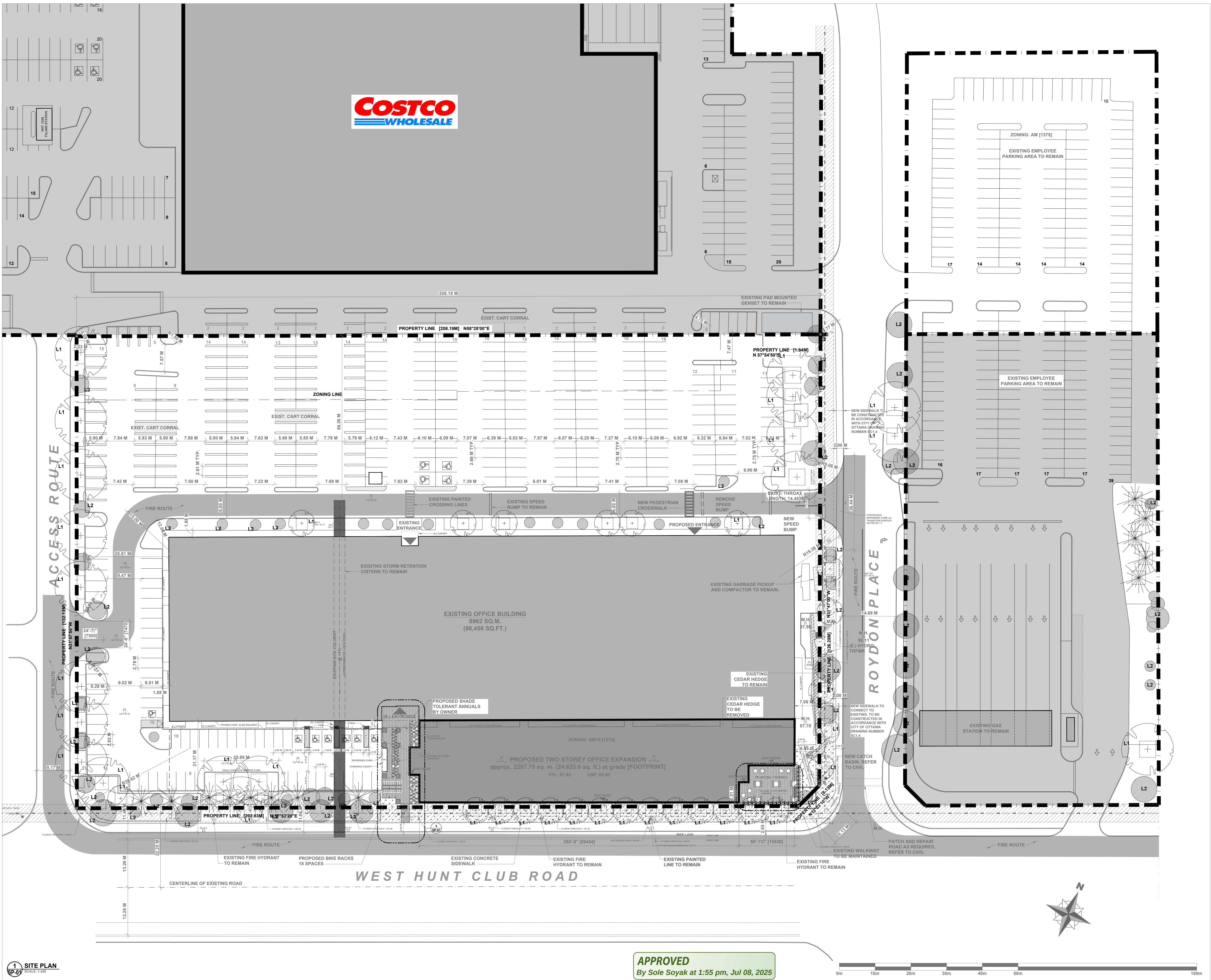




LEGEND:

|       |                                                                                 |
|-------|---------------------------------------------------------------------------------|
| ----- | PROPERTY LINE                                                                   |
| ----  | OVERHEAD WIRES                                                                  |
| ---   | EXISTING BUILDING                                                               |
| ---   | BUILDING ENTRANCE                                                               |
| ○     | H.P. HYDRO POLE                                                                 |
| ○     | F.H. FIRE HYDRANT                                                               |
| ○     | M.H. MANHOLE                                                                    |
| ○     | C.B. CATCH BASIN                                                                |
| ---   | EXISTING CANOPY                                                                 |
| ---   | OVERHEAD WIRE HYDRO NO-BUILD ZONE                                               |
| ---   | INTERLOCK PAVERS                                                                |
| ---   | DESIGNATED FIRE ROUTE                                                           |
| ---   | TWSI PAD IN DEPRESSED CURB ADA PARKING STALL ACCESS                             |
| ---   | SURVEY MONUMENT FOUND CUT CROSS ANNIS, O'SULLIVAN, VOLLEBEKK LTD.               |
| ---   | SURVEY MONUMENT FOUND SHORT STANDARD IRON BAR ANNIS, O'SULLIVAN, VOLLEBEKK LTD. |
| ---   | SURVEY MONUMENT FOUND PLASTIC BAR                                               |
| ---   | SURVEY MONUMENT FOUND CONCRETE PIN ANNIS, O'SULLIVAN, VOLLEBEKK LTD.            |
| ---   | EXISTING TOPO MARKERS                                                           |
| ---   | D.C. DEPRESSED CURB                                                             |

2/SP-01 + 3/SP-01 LEGEND:

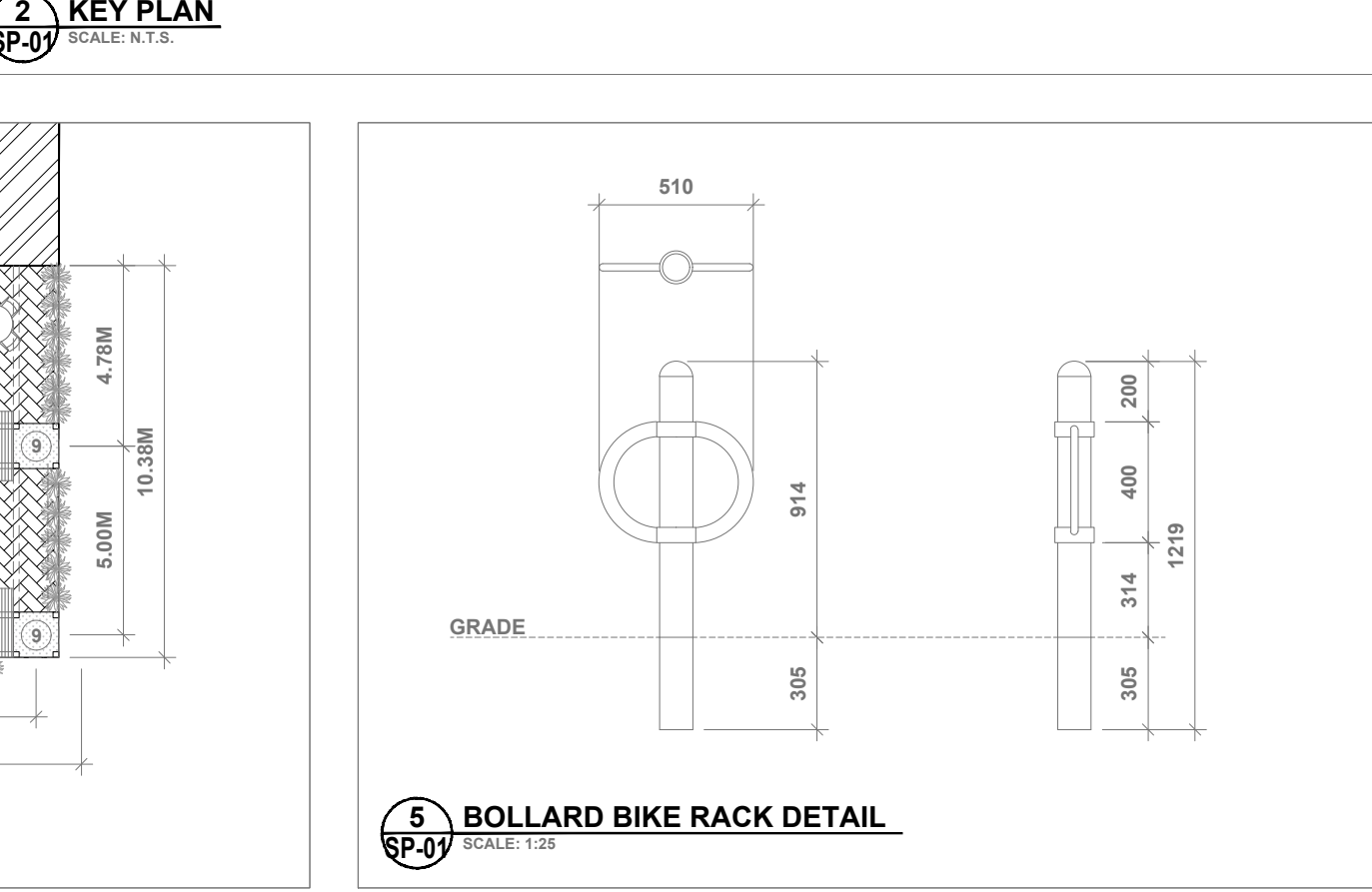
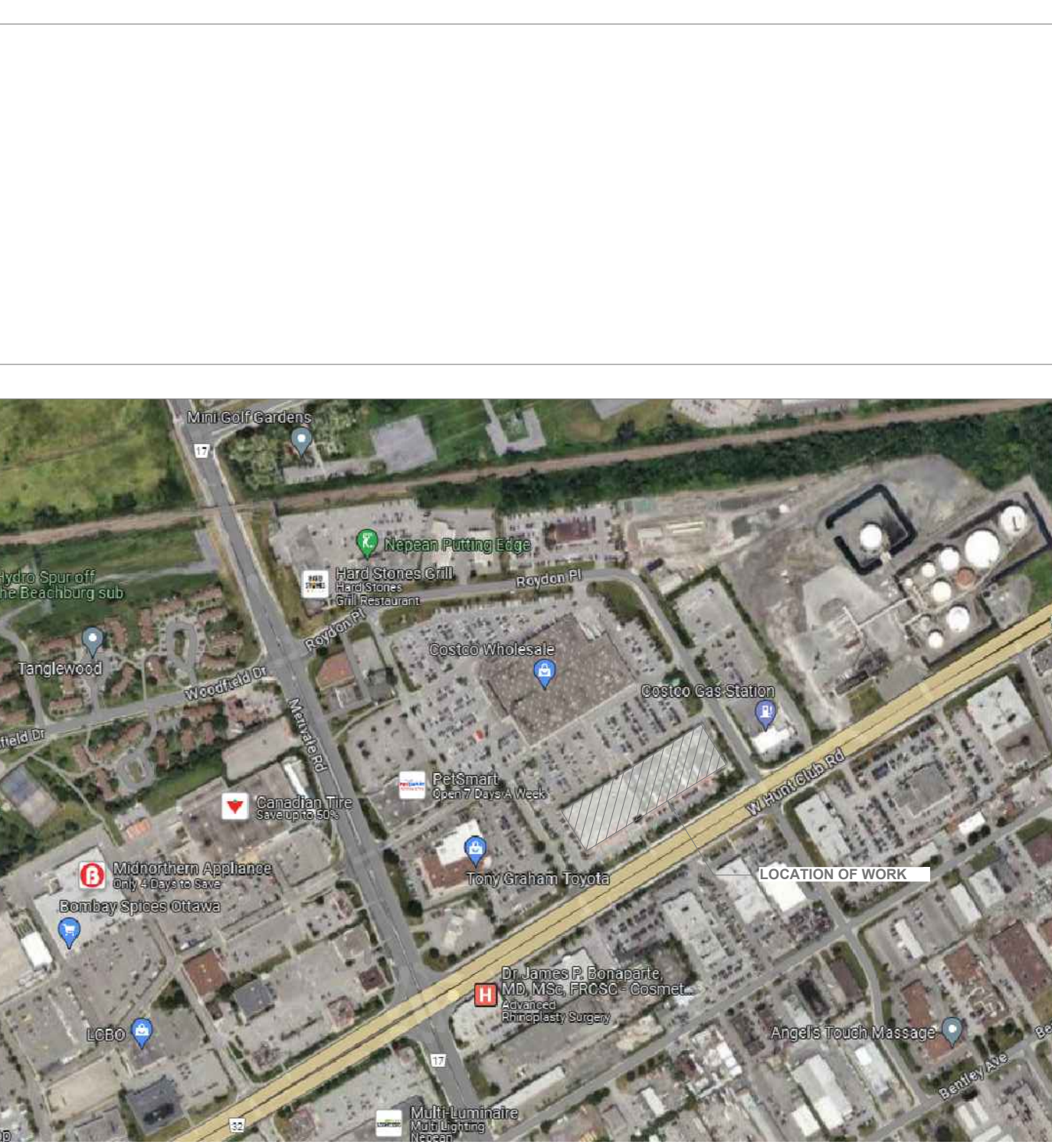
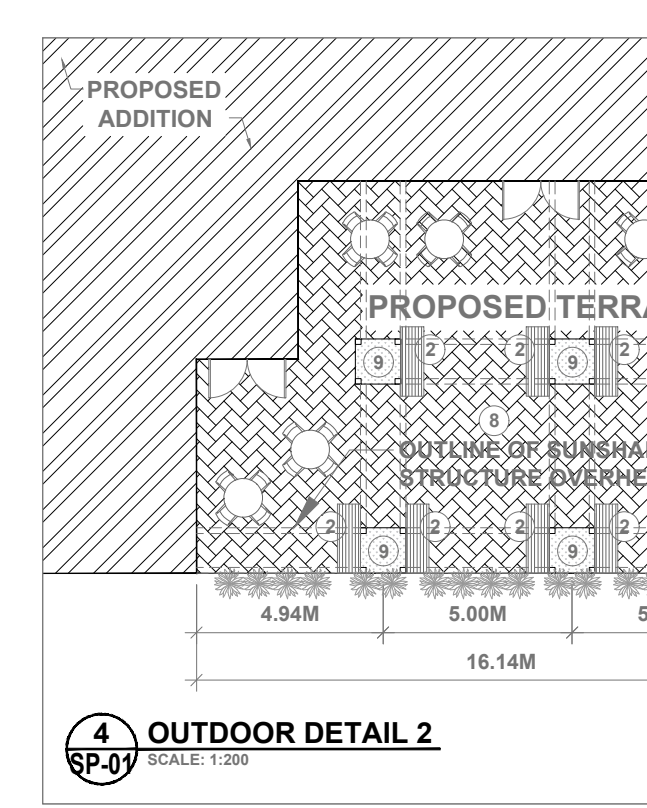
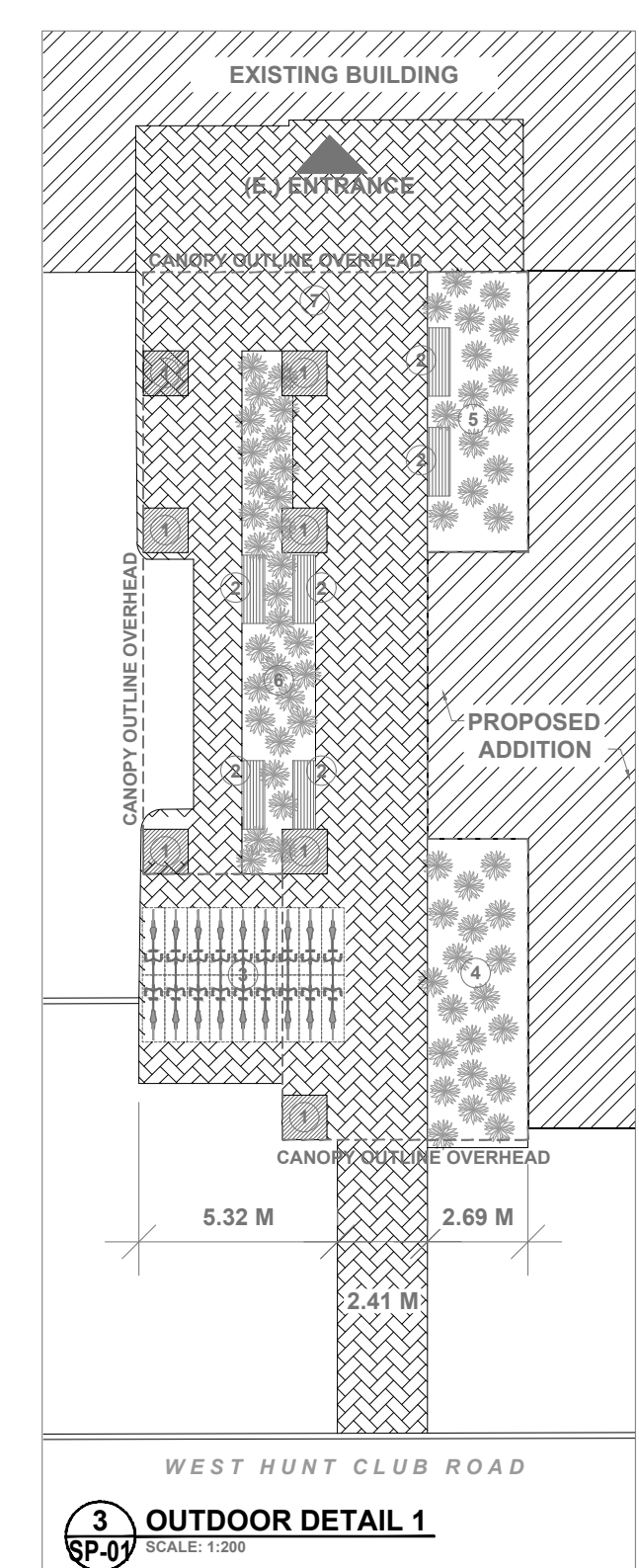
|   |                                                                                  |
|---|----------------------------------------------------------------------------------|
| 1 | 1200mm x 1200mm ACM-CLAD COLUMN                                                  |
| 2 | 1800mm x 600mm OUTDOOR PARK BENCH                                                |
| 3 | 18x 1800mm x 600mm BICYCLE RACKS REFER TO RACK EQUIPMENT SPEC.                   |
| 4 | SOFTSCAPE AREA 1 22.25 m <sup>2</sup>                                            |
| 5 | SOFTSCAPE AREA 2 25.20 m <sup>2</sup>                                            |
| 6 | SOFTSCAPE AREA 3 22.5 m <sup>2</sup>                                             |
| 7 | HARDSCAPE AREA 194.44 m <sup>2</sup> FINISH AS PER LANDSCAPING SPEC.             |
| 8 | HARDSCAPE AREA 145.50 m <sup>2</sup> FINISH AS PER LANDSCAPING SPEC.             |
| 9 | 1200 x 1200mm PLANTER C/W 150 x 150mm ALUM. SUPPORT COLUMNS FOR SUN SCREEN ABOVE |

| 415 West Hunt Club                                           |                     | AM10 [1374]                                           |                                                       |
|--------------------------------------------------------------|---------------------|-------------------------------------------------------|-------------------------------------------------------|
| Provision                                                    | Section             | Required                                              | Proposed                                              |
| Min. Lot Area (sq.m)                                         | Table 185, (a)      | none                                                  | 25,109.52 sq. m                                       |
| Min. Lot Width (m)                                           | Table 185, (b)      | none                                                  | 202.03 m                                              |
| Min. Front Yard Setback (m)                                  | S. 186, (10)(b)(i)  | 0 m                                                   | 1.01 m                                                |
| Min. Corner Yard Setback (m)                                 | S. 186, (10)(b)(ii) | 0 m                                                   | 5.88 m                                                |
| Min. Interior Yard Setback (m)                               | Table 185, (d)(ii)  | 0 m                                                   | 25.81 m                                               |
| Min. Rear Setback (m)                                        | Table 185, (e)(iv)  | 0 m                                                   | 66.26 m                                               |
| Min. Landscaped Buffer (parking lot)(m)                      | Table 110, (a)(b)   | 3 m                                                   | 2.23 m (EXISTING CONDITION)                           |
| Max. Building Height (m)                                     | S. 186, (10)(j)(v)  | 30 m                                                  | 10.88 m - 2 storeys                                   |
| Max. Building Height - 15m from front or corner lot line (m) | S. 186, (10)(e)     | 4.5m for the ground floor AND 7.5m or 2 storeys total | 4.54 m for the ground floor 10.88 m (2 storeys) total |
| Min. Glazing (West Hunt Club) (%)                            | S. 186, (10)(h)     | 50% from grade to a height of 4.5m                    | 36%                                                   |
| Min. Glazing (Roydon Place) (%)                              | S. 186, (10)(h)     | 50% from grade to a height of 4.5m                    | 43.4%                                                 |
| Min. Percentage of Building Wall                             | S. 186, (10)(b)(i)  | 50% within 3m of corner lot line                      | 61.4%                                                 |
| Max. FSI                                                     | Table 185, (g)(ii)  | none                                                  | 0.54                                                  |
| GFA (sq.m)                                                   | -                   | -                                                     | 4575.98 m <sup>2</sup> (expansion)                    |
| PROPOSED ADDITION TOTAL: 4575.98m <sup>2</sup>               | -                   | -                                                     | 2287.79 m <sup>2</sup> (expansion)                    |
| Footprint Area (sq.m)                                        | -                   | -                                                     | 11249.79 m <sup>2</sup> (total)                       |

|                                                                                   |                     |                                                             |                                        |
|-----------------------------------------------------------------------------------|---------------------|-------------------------------------------------------------|----------------------------------------|
| Parking - Office                                                                  | Table 101, N59 (v)  | 2.4 spaces/100 sq.m GFA                                     | 599 spaces (parking lot total)         |
| Minimum Number of Barrier-Free Parking Spaces                                     | AOA 80.36 (4)       | 2.4 spaces + 2% total number of spaces provided = 10 spaces | 10 spaces                              |
| Bicycle Parking - Office                                                          | Table 111A, (a)     | 1 space / 250 sq.m GFA                                      | 18 spaces (exterior)                   |
| Minimum Driveway                                                                  | S. 107, (1)(d)(iii) | 6m                                                          | 7.56m                                  |
| Minimum Drive Aisle Width                                                         | T. 107, (d)         | 6.7m                                                        | 6.7m                                   |
| Minimum Number of Active Entrances for Building Within 4.5m of the Front Lot Line | S. 186, (10)(g)(i)  | 1 active entrances                                          | 0 active entrances                     |
| Minimum Landscaped Area - Parking Lot                                             | S. 110 (1)          | 15% of parking lot area                                     | 12% (non-compliant requiring variance) |

| 415 West Hunt Club                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                           |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| SITE PIN:                                                                                                                                                                                                                                                                           | 04052 - 0811 (EXISTING STRUCTURE)<br>04052 - 0437 (R.R. 032 - WEST HUNT CLUB ROAD)<br>04052 - 0809 (ROAD WIDENING BY-LAW 2013-7, INST. OC1450402)<br>04052 - 0487 (BY-LAW 15-1986, INST. LT1372670)<br>04052 - 0496 (ROYDON PLACE - BY-LAWS 121-1997, INST. LT1101028)<br>04052 - 0810 (ROAD WIDENING BY-LAW 2013-7, INST. OC1450402)<br>04052 - 0430 (ACCESS ROUTE ROAD) |
| LEGAL DESCRIPTION:                                                                                                                                                                                                                                                                  | SOUTH HALF OF LOT 29, CONCESSION "A" (RIDEAU FRONT) (NEPEAN)                                                                                                                                                                                                                                                                                                              |
| STATEMENT:                                                                                                                                                                                                                                                                          | PROPERTY BOUNDARY INFORMATION FOR THIS SUBMISSION IS DERIVED FROM THE:                                                                                                                                                                                                                                                                                                    |
| Topographic Plan of Survey of Southerly Limit of Pin 04052-0811 being PART of LOT 29, CONCESSION "A" (Rideau Front) Geographic Township of Nepean City of Ottawa Surveyed by Annis, O'Sullivan, Vollebekk Ltd. ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM # V-69279 |                                                                                                                                                                                                                                                                                                                                                                           |
| ADDITIONAL NOTES:                                                                                                                                                                                                                                                                   | COMMENT: RESPONSE:                                                                                                                                                                                                                                                                                                                                                        |
| # 7 - IDENTIFY LOCATION OF SNOW STORAGE                                                                                                                                                                                                                                             | # 7 - SNOW TO BE REMOVED AND STORED OFF-SITE                                                                                                                                                                                                                                                                                                                              |

| Landscaping Legend (showing to-remain + proposed vegetation) coordinate with Tree Conservation Report + Landscape Plan |        |                                                                                                                                                  |
|------------------------------------------------------------------------------------------------------------------------|--------|--------------------------------------------------------------------------------------------------------------------------------------------------|
| REF. #                                                                                                                 | SYMBOL | DESCRIPTION                                                                                                                                      |
| L1                                                                                                                     |        | PROPOSED DECIDUOUS TREE<br>40 yr. CANOPY PROJECTION<br>REQUIRES SOIL VOLUME:<br>(30m <sup>2</sup> / large tree), (20m <sup>2</sup> / small tree) |
| L2                                                                                                                     |        | EXISTING TREE TO REMAIN<br>(COORDINATE REFERENCE # WITH LANDSCAPING PLAN FOR VEGETATION DETAILS)                                                 |



**1 SITE PLAN**  
SCALE: 1:500

**APPROVED**  
By Sole Soyak at 1:55 pm, Jul 08, 2025

*S. Soyak*

SOLE SOYAK  
PLANNER II  
PLANNING, DEVELOPMENT AND BUILDING SERVICES  
DEPARTMENT, CITY OF OTTAWA

D07-12-24-0113