

Design Brief

Submitted to:

Development Review, Planning, Infrastructure and
Economic Development Department,
City of Ottawa

In Consideration for the Project at:

415 West Hunt Club, Ottawa
Costco Head Office Expansion
2 storey commercial addition



Design Brief

415 West Hunt Club - Costco Head Office
2 storey commercial addition

September 19th, 2024

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Section 1

Application Submission - Site Plan Control (non-residential complex)

Legal description - Part of the South half Lot 29, Concession A (Rideau Front),
Geographic Township of Nepean, City of Ottawa (PIN 04052 - 0499).

Municipal address - 415 West Hunt Club Rd.

Purpose of application - to facilitate the expansion of the Costco Head Office located in Ottawa. The addition will replace 57 parking spaces resulting in increased frontage on West Hunt Club Rd. and Roydon Pl.

Vision statement and project goals - The development will increase the effectiveness of the land by increasing the amount of space available for employment by Costco. This development more appropriately aligns with the City's goals of locating parking away from the street edge and replacing it with quality facades. The design promotes commercial development and improves the pedestrian experience along West Hunt Club Rd and Roydon Place.

Response to City documents - Official Plan

The subject property is designated as a Neighbourhood in the Outer Urban transect. Merivale Rd is designated as a Mainstreet Corridor and West Hunt Club Rd is identified as a Scenic Route. Schedule C4 identifies both streets as existing Arterials Roads.

2.2.2 Economic development

4) Integrate economic activities with residential and other land uses. Office and knowledge-based employment areas should not be segregated from other uses and should be allowed to evolve into mixed-use areas. This also provides more flexibility in responding to the impacts of how people live within and move through neighbourhoods post-COVID-19 pandemic.

- *While this portion of West Hunt Club does not feature any residential uses, it does feature many other types of land uses. The Industrial and Logistics designation is located one block to the south on Jamie Ave. By consequence, that area contains a mix of industrial uses. Intensifying the development on this site and enhancing the mixed-use nature of the area conforms with the intent of this policy.*

3.5 Meet Employment Needs

2) Employment uses within Neighbourhoods are service oriented and are limited in size or area. These uses tend to be office-based, institutional or in the retail sector.

- *The Official Plan states that employment in the Inner and Outer Urban transect Neighbourhoods will see a 25% increase in the number of jobs by 2046. While this site is surrounded by mixed-use industrial and logistics areas, it is technically classified as a Neighbourhood in the Official Plan. Enhancing the office use in this area will support the growing need for employment in the knowledge-based employment sector.*

4.1.3 Support growth management and a greener and more resilient city

1) The street and road network shall support multi-modal travel, the movement of goods and services, access to properties, public space functions, street trees and/or shade corridors and contribute to the overall quality of the urban environment.

- *The West Hunt Club and Roydon streetscapes provide a sidewalk and the West Hunt Club streetscape includes a bike lane. The trees to be removed from these frontages are being replaced on site where the soil volumes and heights allow. The presence of overhead wires limits the size of tree planting along the two streets but they will still contribute shade and buffering for the public ROW and will have a positive impact on the urban environment.*

4.6.2 Protect views and enhance Scenic Routes including those associated with national symbols

4) Development abutting Scenic Routes, as identified on Schedule C13, shall contribute to conserving or creating a desirable context by such means as: a) Protecting the opportunity to view natural and cultural heritage features; b) Preserving and restoring landscaping, including but not limited to distinctive trees and vegetation along the right of way; c) Orienting buildings towards the Scenic Route and providing direct pedestrian access, where appropriate; and d) Providing screening by way of opaque fencing or landscape buffers to hide surface parking lots or outside storage; and e) Managing the intensity and spill-over of lighting on adjacent parcels.

- *The Official Plan identifies West Hunt Club as a Scenic Route as per Schedule C13. The intent of the Official Plan for Scenic Routes is to provide a pleasant experience for all users (vehicular, pedestrian, cyclist, etc.). This proposal is contributing to the desirable context by bringing the building closer to the street, replacing a 16.9m wide parking area with a building addition. The trees that are removed due to the location of this addition are to be replaced by tree planting along West Hunt Club, Roydon Place, and around the existing parking areas to*

increase screening where soil volumes allow. This includes the western edge of the parking lot, the north facade of the existing office building, the south facade along West Hunt Club, and the east side along the property line. It should be noted that section 4.6.2 4(d) refers to surface parking lots which only occur on the western portion of the Scenic Route frontage where we are proposing to retain all existing trees and propose 4 new trees. The eastern side of the Scenic Route frontage will contain 13 new trees to replace the ones removed, and the proposed building design will enhance the pedestrian experience along West Hunt Club. The new trees in front of the building addition and the proximity of the building to the street edge aligns with the policies of the Scenic Route section of the Official Plan.

6.2.1 Define the Corridors and set the stage for their function and change over the life of this Plan

1) Corridors are shown as linear features in the B-series of schedules. The Corridor designation applies to any lot abutting the Corridor, subject to: a) Generally, a maximum depth of: i) In the case of Mainstreet Corridors, a maximum depth of 220 metres from the centreline of the street identified as a Mainstreet Corridor; iii) Where part of a lot lies beyond the maximum depths specified in Policies i) and ii), that part of the lot is excluded from the Corridor designation; and c) Despite a) and b), where a secondary plan defines a Corridor differently, the boundaries in the secondary plan prevail.

- *The Mainstreet Corridor designation applies to lots along Merivale Rd and includes properties such as 1849 Merivale Rd to a maximum of 220m. The existing Costco office building is approximately 220m from the centerline of Merivale Rd, therefore 415 West Hunt Club, including the area subject to the proposed addition, is designated as “Neighbourhood” as per the Official Plan.*

4.8.2 Provide residents with equitable access to an urban forest canopy

2) The City shall pursue an urban forest canopy cover target of 40 per cent with equity as a guiding principle, in part through the development of sub-targets based on evolving urban form, climate resiliency, and environmental factors.

3) Growth, development and intensification shall maintain the urban forest canopy and its ecosystem services, in accordance with Subsection 4.8.2, Policy 6) and the following: d) When considering impacts on individual trees, planning and development decisions, including Committee of Adjustment decisions, shall give priority to the retention and protection of large, healthy trees over replacement plantings and compensation

6) When considering impacts on the urban forest and trees, approvals and Tree Permits shall not be denied for development that conforms to the Zoning By-law or for Zoning By-law amendments, variances and consents that conform to the Official Plan. Council or the Committee of Adjustment may refuse a planning application if it fails to provide space and adequate volume of soil for existing and/or new tree(s).

- *The subject site has a proposed tree canopy of 20% which is significantly higher than the abutting properties along West Hunt Club. Significant effort has been made into creating a street-facing facade worthy of West Hunt Club and the proposed planting is meant to accent this facade and provide screening where possible. Where planting was not possible along the facade, additional planting around the site's western and northern parking lots is proposed. The trees in front of the building addition are to be replaced by tree planting that is more appropriate for the site conditions (i.e overhead wires). The west side of the West Hunt Club frontage has no trees proposed for removal and includes 4 new trees to buffer the existing parking from the street. It is understood that retention is preferred over tree compensation. However, tree retention is not possible with proposed building location and as discussed in the TCR addendum included in this application, the existing trees will grow to create conflicts with the overhead wires. If these trees were retained, they would need significant pruning and would not result in an enhanced Scenic route. All of the trees in front of the west existing parking area are to remain and the area is proposed to have an additional 4 trees planted. The eastern side of the frontage is proposed to have 13 trees planted. As per this section of the cover letter, the proposed development meets the intent of the Official Plan and the landscape plan indicates we are providing adequate soil volumes for the proposed and existing trees to remain.*

6.3 Neighbourhoods

4) The Zoning By-law and approvals under the Planning Act shall allow a range of residential and non-residential built forms within the Neighbourhood designation, including: e) Limited large-scale non-residential uses and include office-based employment, greenspace, large-scale institutions and facilities and other smaller institutional functions.

- *The majority of this lot is designated as a Neighbourhood. This policy validates the expansion of office uses within the Neighbourhood designation for employment growth in this area.*

Response to City documents - Urban Design Guidelines for Development along Arterial Mainstreets

Under the new Official Plan, both Merivale and West Hunt Club are considered Arterial - Existing as per Schedule C4 of the Official Plan. The design guidelines outlined in the document “Urban Design Guidelines for Development along Arterial Mainstreets” has been interpreted to apply to both Merivale and West Hunt Club. Since the 415 West Hunt Club and the proposed addition only front on and face West Hunt Club, that is the location where the design guidelines have been applied.

Streetscape

1. Locate new buildings along the public street edge
 - *The proposed development will be located between the existing building and the main street frontage therefore bringing the building closer to the public street.*

2. Provide or restore a 2.0 metre wide unobstructed concrete sidewalk. Locate the sidewalk to match the approved streetscape design plans for the area.
 - *This proposal includes provisions for a 2m wide sidewalk along the west side of Roydon Place to facilitate pedestrian and cyclist access to the site. The proposed sidewalk will mirror the existing sidewalk on the east side of Roydon Place. The existing sidewalk along West Hunt Club is approximately 2.5m wide.*

6. Set new buildings 0 to 3.0 metres back from the front property line, and 0 to 3.0 metres back from the side property line for corner sites, in order to define the street edge and provide space for pedestrian activities and landscaping.
 - *The proposed addition will be set back 1.01 m from the corner side lot line (West Hunt Club) whereas previously, the building was setback 24.23 m. The proposal features a slightly smaller setback along the rear yard (Roydon) at 6.95 m.*

Built Form

15. Landscape the area in front of a building wall and use projections, recesses, arcades, awnings, colour and texture to reduce the visual size of any unglazed walls.
 - *The proposal uses a variety of elements to create visual interest along the public street frontages. There will be a mix of coloured metal panels, canopies, and vegetation.*

17. Orient the front façade to face the public street and locate front doors to be visible, and directly accessible, from the public street.

- *The building is primarily accessed from the north facade for employees, however the visitor's entrance with reception area is accessed from the southern facade immediately west of the addition which faces the public street. The visitor's entrance is also directly accessible from the street via an improved pathway.*

27. Locate surface parking spaces at the side or rear of buildings. Provide only the minimum number of parking spaces required by the Zoning By-law.

- *All parking is located west, north, and northeast of the building. This addition is proposing to remove 57 parking stalls that abut the West Hunt Club Frontage.*

Landscape and Environment

32. Select trees, shrubs and other vegetation considering their tolerance to urban conditions, such as road salt or heat. Give preference to native species of the region of equal suitability.

- *The proposed tree species selected are maple, lilac, crabapple, and hackberry. These species of tree were chosen due to soil availability, height limitations such as hydro wires, and the subject property's proximity to the Airport.*

Response to City Documents - Zoning By-Law 2008-250, as amended

The property subject to this Site Plan Control application is 415 West Hunt Club which is owned and managed by Costco Wholesale Canada LTD. This company also owns and manages 1849 Merivale Rd which directly abuts the subject property. This triggers Section 93 - One Lot for Zoning Purposes in the Zoning By-Law 2008-250. 415 West Hunt Club is zoned AM10[1374] - Arterial Mainstreet Subzone 10, exception clause [1374], and 1849 Merivale is zoned AM10 - Arterial Mainstreet Subzone 10.

Below is an excerpt from the Zoning Confirmation Report which details the Zoning By-Law requirements. The proposed conditions shown compare the lot as one for zoning purposes and 415 West Hunt Club separately for reference.

Performance Standard Review

Provision	Section	Requirement	Proposed (whole site)	Proposed (office)	Compliant? (Y / N)
Permitted use	S. 185, (1)	Office, Retail	Office, Retail	Office	Y
Minimum lot width	T. 185, (b)	No minimum	15.48 m	202.03 m	Y
Minimum lot area	T. 185, (a)	No minimum	73,453.81 m ²	25,109.52 m ²	Y
Minimum front yard setback	S. 186, (10)(b)(i)	0 m	181.1 m (Merivale)	1.01 m (West Hunt Club)	Y
Minimum percentage of building wall	S. 186, (10)(b)(i)	50% within 3 m of the front and corner side yard	0% (Merivale) 61.4% (West Hunt Club) (non compliant existing condition)	61.4% (West Hunt Club)	Y
Minimum corner side yard setback	S. 186, (10)(b)(i)	0 m	1.01 m (West Hunt Club)	6.95 m (Roydon)	Y
Minimum rear yard setback	T. 185, (e)(i)	3 m	6.95 m (Roydon)	56.26 m	Y
	T. 185, (e)(iv)	No Minimum			Y

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Minimum interior side yard setback	T. 185, (d)(ii)	No minimum	21.34 m	25.80 m	Y
Maximum building height	S. 186, (10)(j)(v)	30 m	10.08 m	10.08 m	Y
Minimum building height (within 10 m of a front or corner lot line)	S. 186, (10)(e)	4.5 m for the first storey and 7.5 m total containing at least 2 storeys	4.54 m (first storey), 10.08 m (2 storeys)	4.54 m (first storey), 10.08 m (2 storeys)	Y
Maximum FSI	T. 185, (g) (ii)	None	0.34	0.54	Y
Minimum parking spaces (office)	T. 101, N59	2.4 spaces / 100 m ² GFA** = 301 spaces	602 spaces	602 spaces	Y
Minimum parking spaces (retail)	T. 101, N79	3.4 spaces / 100 m ² GFA*** = 432 spaces	491 spaces	n/a	Y
Minimum number of barrier-free parking spaces	AODA, 80.36 (5)	11 spaces and 1% of the total number of parking spaces = 20 spaces	26 spaces	10 spaces	Y
	AODA, 80.36 (4)	2 spaces and 2% of the total number of parking spaces provided = 10 spaces			Y
Minimum landscaped buffer (parking lot)	T. 110, (b)	3 m	2.07 m (non compliant existing condition)	2.23 m (non-compliant existing condition)	N
Minimum landscaped area (parking lot)	S. 110, (1)	15% of the parking lot area	11.6% (non-compliant existing condition)	12.0% (non-compliant requires variance)	N

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Minimum bike parking spaces	T. 111A, (e)	1 space / 250 m ² GFA* = 14 spaces	18 spaces	18 spaces	Y
Minimum driveway width	S. 107, (1)(a)(iii)	6 m	7.56 m	7.56 m	Y
Minimum drive aisle width	T. 107, (d)	6.7 m	6.7 m	6.7 m	Y
Minimum transparent glazing facing a public street	S. 186, (10)(h)	50% of the facade from average grade to a height of 4.5 m	36.0% (West Hunt Club) 43.0% (Roydon) (non-compliant requires variance)	36.0% (West Hunt Club) 43.0% (Roydon) (non-compliant requires variance)	N
Minimum number of active entrances for a building within 4.5 m of the front or corner lot line	S. 186, (10)(g)(i)	1 active entrance per occupancy	0 active entrances (non-compliant existing condition)	0 active entrances (non-compliant requires variance)	N

* GFA for the addition is 3,571.39 m²

** GFA for the total office space is 12,533.39 m²

*** Approximate GFA for the total retail space is 12,704.1 m²

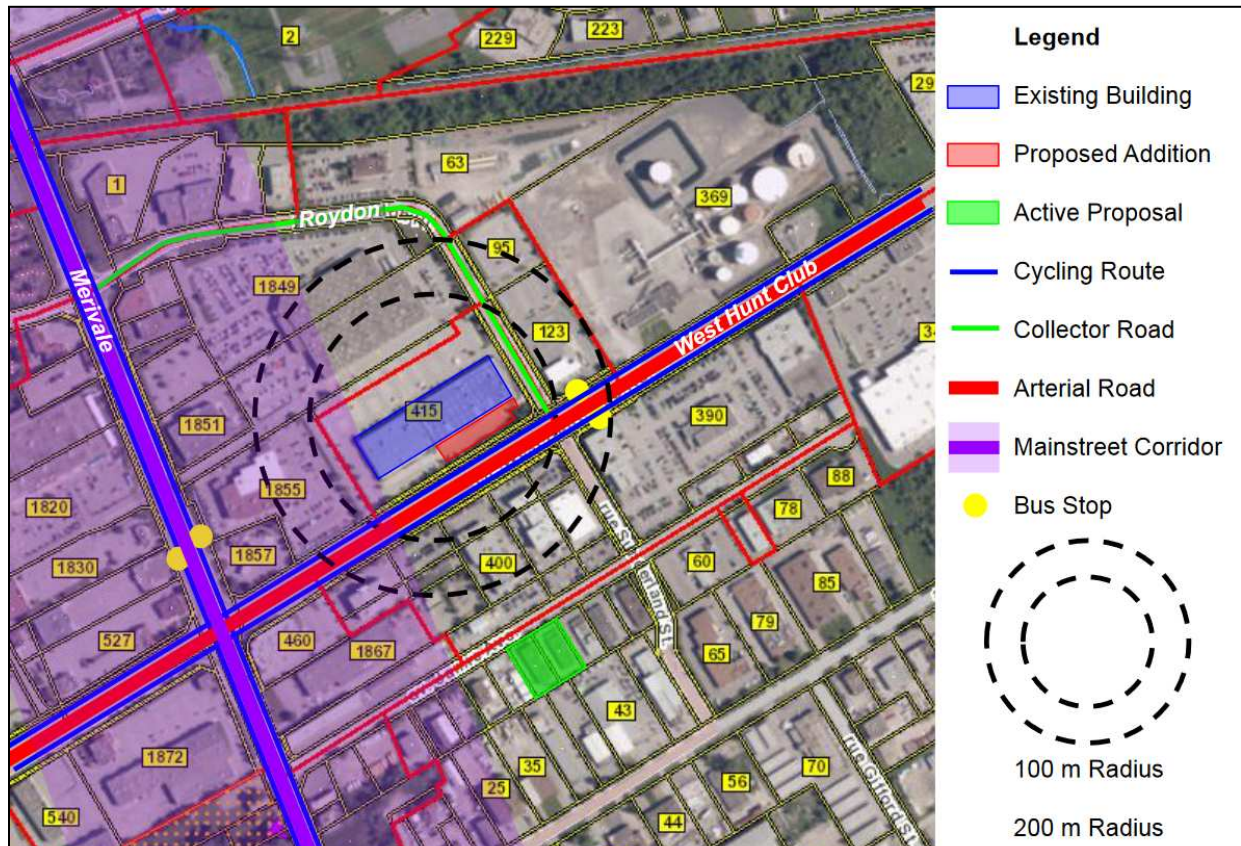
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Context Plan



Context Plan of 415 West Hunt Club Rd.

This portion of West Hunt Club, between Merivale and Prince of Wales Dr., is known as a commercial, retail, office, and light industrial area with very limited residential opportunities. The land owned by Costco in this area is sizable, covering approximately 75,500 sq.m to the west of Roydon Pl and an additional 15,000 sq.m to the east of Roydon Pl. To the north of the Head Office building is a Costco retail store and its accessory parking lot, to the east of the Costco retail store is an additional parking lot for the Costco Head Office employees. South of the additional parking area and east of the Head Office Building is the Costco gas station.

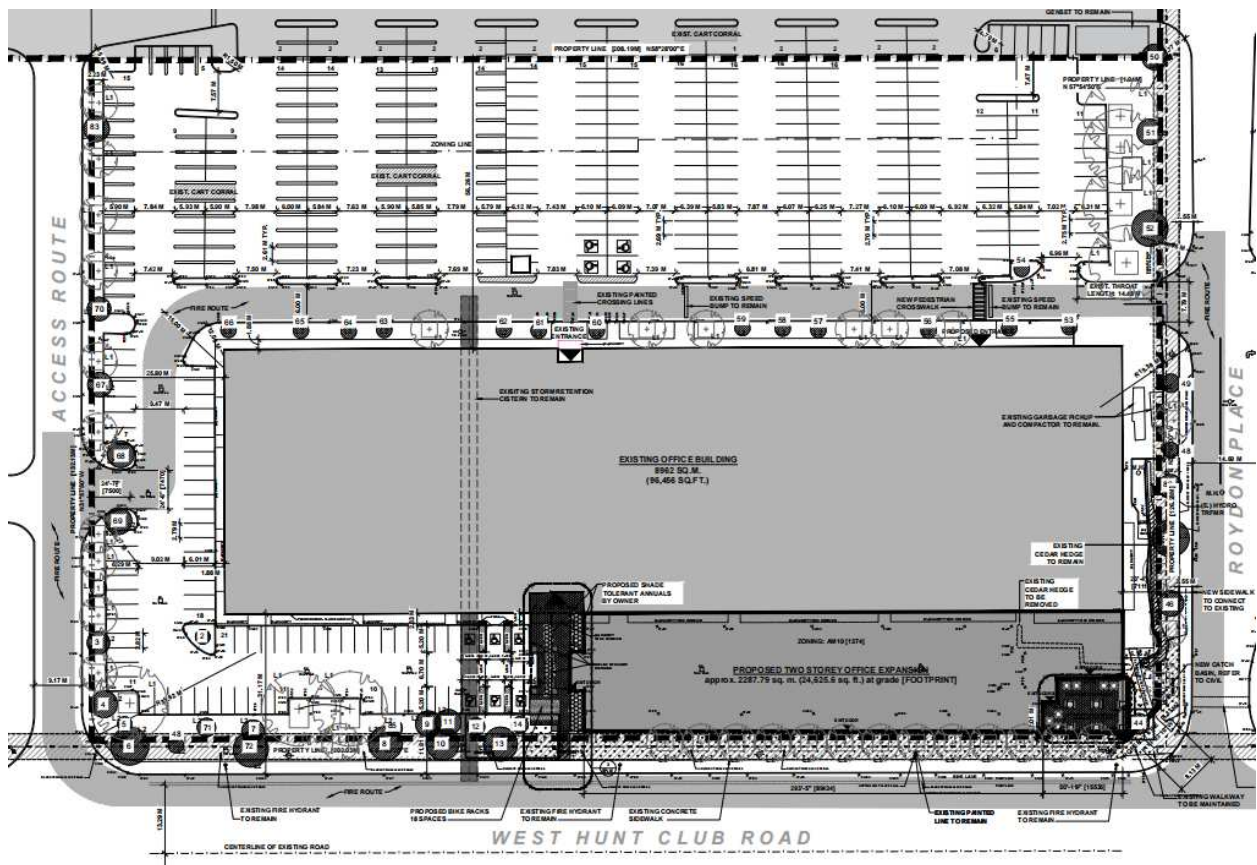
Points of interest within a 100m radius of the proposal is the existing Head Office building and its parking lot. Directly across West Hunt Club are two luxury car dealerships, namely Star Motors of Ottawa and Myers Infiniti. Within a 200m radius there are more retail and service buildings such as PetSmart, Tony Graham Toyota, the Costco Wholesale Retail store, and a Hyundai service centre. Bus routes in this area

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include lines 80, 83, 96, 186, and the 199. These routes represent a variety of north-south routes as well as east-west routes that connect to main bus stations and key areas in the City.

As per the Transportation Master Plan - Cycling Network, West Hunt Club and Merivale are cycling spine routes. Also of note, the Official Plan - Urban Road Network Schedule C4 states that West Hunt Club and Merivale are both Arterial Roads, and Roydon PI is a Collector Road.

There is an active application for the properties at 36 and 40 Jamie Ave. The two properties have been merged on title and are owned by Star Motors and are used as a collision repair centre. The proposal is to convert two separate 1-storey brick and metal sided buildings into a single building to increase area for vehicle assessment and repair bays.



Site Plan for the Costco Headquarters expansion.

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Aerial image showing the location of site photos.



1. Existing south parking lot (57 spaces) to be replaced with the building expansion.

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2. South parking lot and West Hunt Club Rd.



3. West Hunt Club frontage featuring Hydro poles, high-tension wires, a vegetation buffer, sidewalk and bike lane.

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4. View from Costco Headquarters north parking lot across Roydon PI looking at the overflow parking lot.



5. Vegetation buffer at the south east corner of the site.

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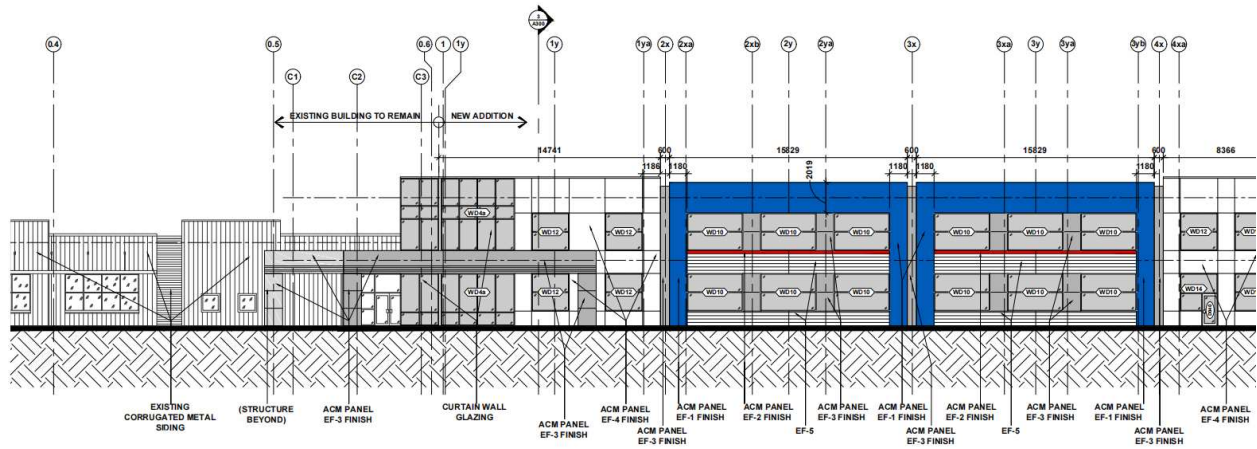


6. Existing employee amenity area to be removed and replaced.

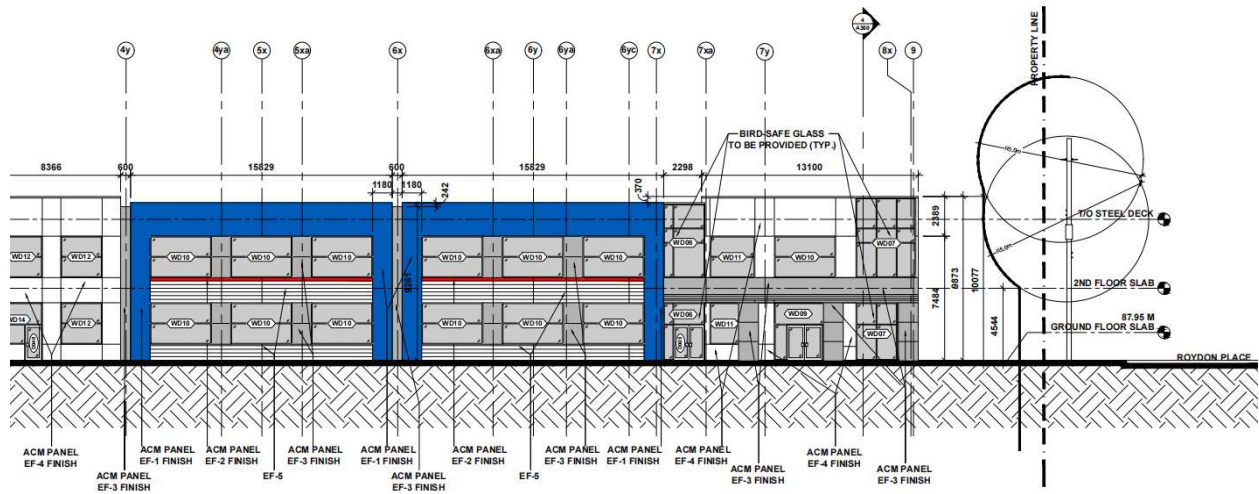
Section 2

Massing and Scale

Views



South facade of the proposed addition - west portion (fronting on West Hunt Club).



South facade of the proposed addition - east portion (fronting on West Hunt Club). Note: Roydon Place is located on the right.

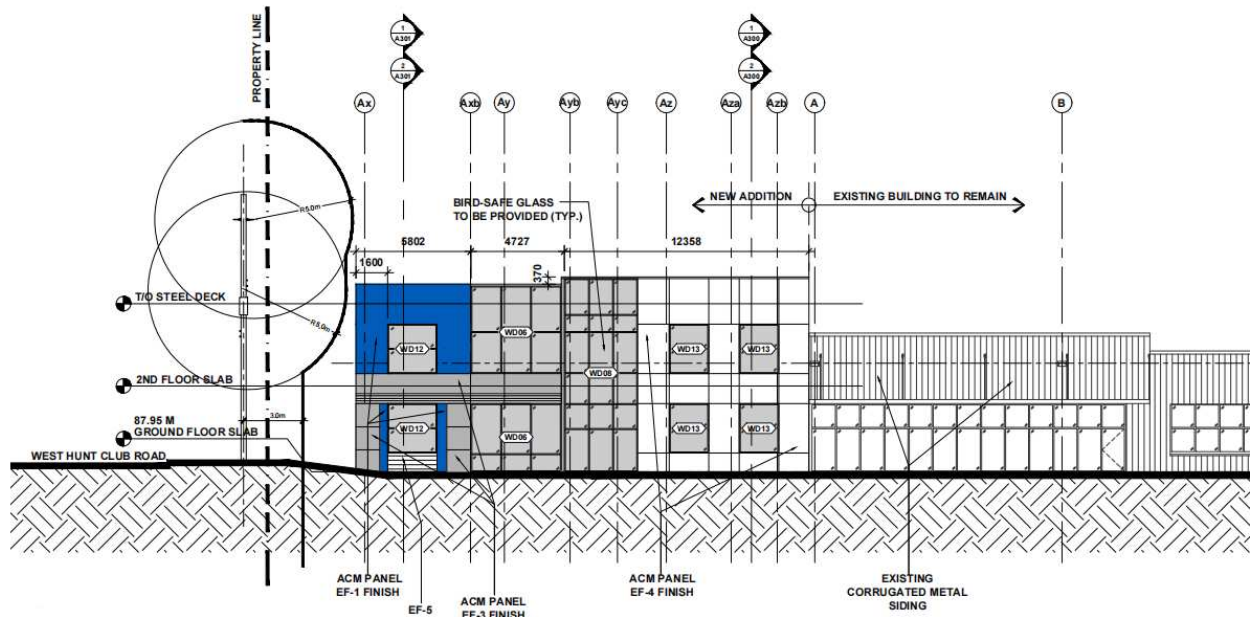
This building was setback approximately 24 m from the street and between the building and the road was a vegetated buffer, two rows of parking, and a drive aisle. As per the current proposal, we are eliminating the parking so the only barrier between the building and the street is the proposed vegetated buffer. The pedestrian access from West Hunt Club is through a new mid-block sidewalk connection that leads pedestrians directly to the visitor’s entrance on the southern side of the building adjacent to the proposed addition (existing sidewalk seen on the south facade - west portion image above). The other way pedestrians will access the building is by walking along West Hunt Club to the proposed sidewalk on the western side of Roydon Place, and walking west to the existing employee entrance doors. The existing asphalt path located at the intersection of West Hunt Club and Roydon Place is proposed to remain and will be used for emergency building access in the case of fire.

Changes to the Roydon Place frontage are minimal as the proposed addition only represents about one third of the building’s frontage along that street. The pedestrian experience will be improved by the addition of the sidewalk along the west side of Roydon Place which connects West Hunt Club Road to the office building entrances. We are proposing to enhance the small vegetated buffer between the street and the building. The proposed setback for the addition from the Roydon PI lot line is 6.95m whereas the current building setback is 7.11m.

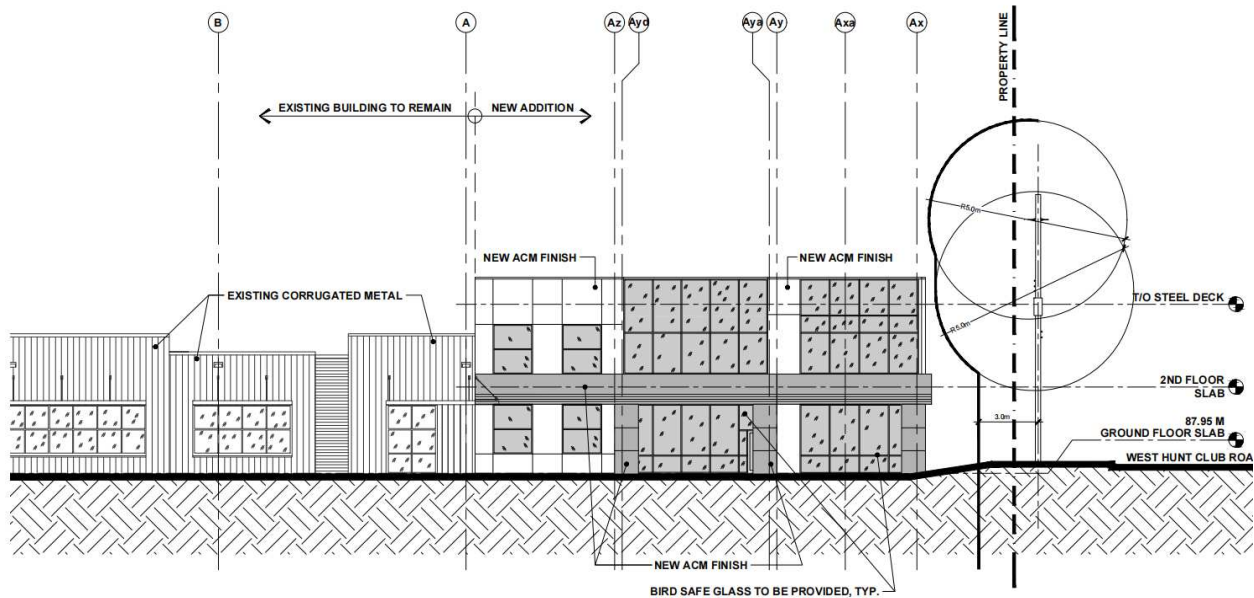
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East facade of the proposed addition - south portion (fronting on Roydon Place) Note: West Hunt Club is on the left.



West elevation of the proposed addition from the access route between the Costco Office building and the Tony Graham Toyota dealership parking lot.

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Render showing the proposed addition and the mid-block pedestrian path from West hunt Club Rd.



Render showing the proposed addition and the existing walkway from the intersection of West hunt Club Rd and Roydon Pl.

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Public Realm

Streetscape



Existing streetscape of West Hunt Club Road looking southwest.



Existing streetscape of West Hunt Club Road looking northeast.

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Existing streetscape of West Hunt Club Road looking northwest.

Relationship to the Public Realm

As shown in the perspective images above, the surrounding land uses are primarily commercial and retail. West Hunt Club is characterised by low-rise commercial, industrial, and retail stores with parking along the street edge. Due to the minimal presence of residential uses, it is assumed that most travel activity in this area will be via private vehicles and public transit. The proposed addition is veering from the standard streetscape conditions on West Hunt Club by bringing the building closer to the street and incorporating pedestrian connections. Roydon Place is used as a vehicular connection between West Hunt Club and Merivale Rd; therefore, there is no need for contiguous sidewalks or cycling lanes. This application proposes to add a sidewalk on Roydon from West Hunt Club to the intersection north of the subject site to improve the pedestrian and cyclist accessibility to the office building.

The majority of the trees identified in the landscape plan will remain; however, trees along the West Hunt Club frontage and proposed amenity area will be removed due to conflicts with the proposed building, amenity space, and/or proposed servicing. West Hunt Club is an Arterial Road that produces a large amount of noise; therefore, the proposed vegetation and soft landscaping will provide a buffer for the noise. The presence of trees and other soft landscaping will maintain and improve the site's drainage. The trees and shrubs will also provide visual interest for drivers, pedestrians, and cyclists along West Hunt Club.

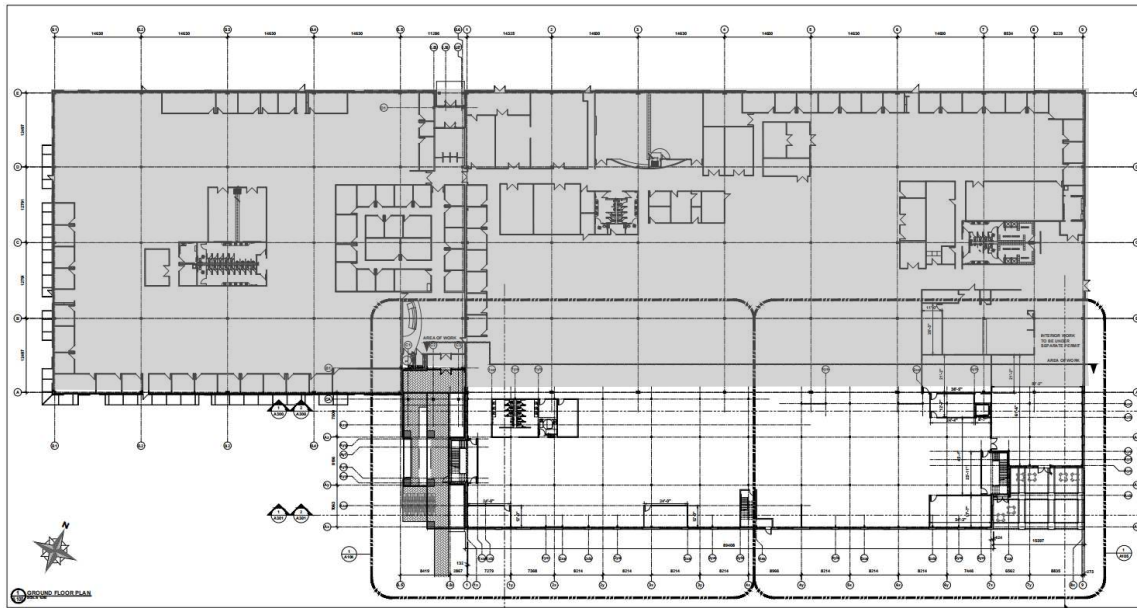
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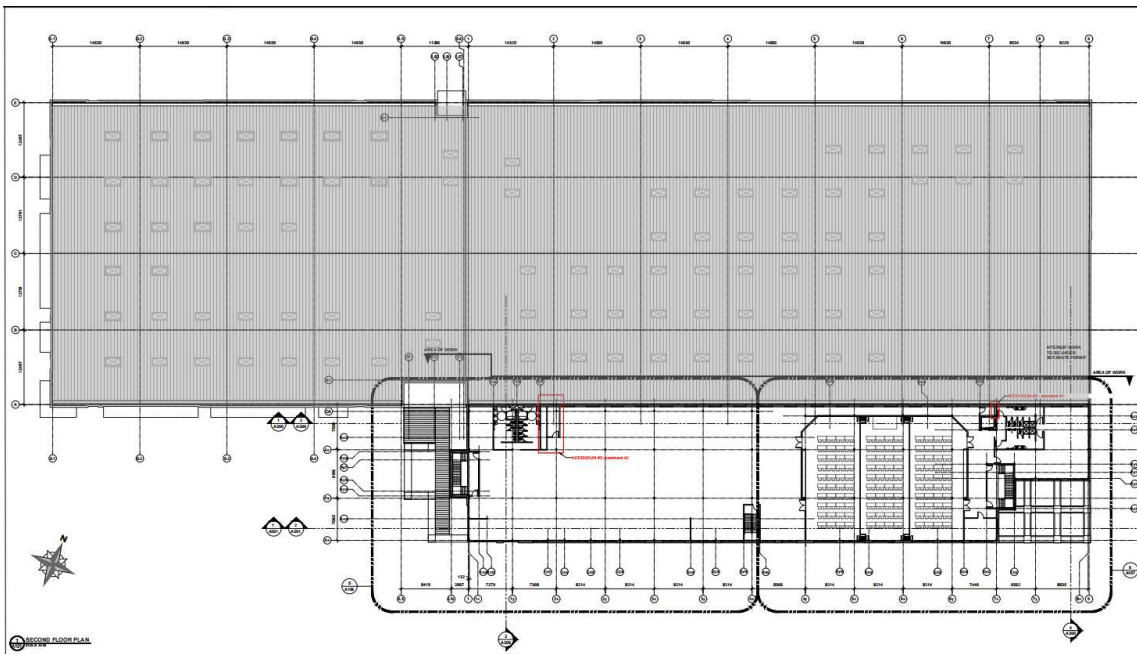
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Building Design

Floor Plans



Proposed first level floor plan of the existing building and proposed addition.



Proposed second level floor plan of the existing building and proposed addition.

The proposed addition is intended to serve as an expansion to the existing workspace area and cafeteria, as well as provide new meeting rooms and washrooms.

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Sustainability

General

The proposed development aims to retain as much soft landscaping and vegetation as possible to minimise changes to the site's drainage and infiltration capacity. The proposed civil works have been designed to be as efficient as possible with minimal impact on existing trees along the front and corner property lines.

This proposal is located in close proximity to various public transit routes and contains bike parking above the minimum Zoning By-Law requirement which provides employees and visitors with alternatives to private transport.

The building will contain LED light fixtures, recycling facilities, and an improved HVAC system. The site's lighting will be designed to limit spillage onto adjacent properties and the City's Right-Of-Way.

Bird-Safe Design Guidelines

2. Minimise the transparency and reflectivity of glazing

- *All proposed glazing is divided into segments by mullions at various heights and widths to avoid monolithic glazing. The rest of the facade contains various materials and colours to provide visual interest which will also fragment reflections.*

3. Avoid or mitigate design traps

- *Design traps such as mirror mazes and the black hole effect will not be created as a result of the proposed addition. We will incorporate glass treatments on any glazing located at the southeast and southwest corners of the proposed addition where we are proposing a window wall.*

5. Create safe bird-friendly landscaping

- *The majority of the vegetation on the subject property is existing. Proposed vegetation is in line with Ottawa Airport requirements. Due to the fact that we are proposing to bring the building and glazing closer to the vegetation lining the site, we have designed the windows using mullions to break up the reflections as per Guideline 2.*

Public Consultation Strategy

A pre-consult meeting was held with City staff on October 13th, 2022 and February 8th, 2024. The proposal has been modified based on comments received from both

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meetings as demonstrated in the current submission documents. There is no community association presence in this area and the abutting properties to the north and east are also owned by Costco Canada. A brief of the project was sent to the Councillor's office on August 26th, 2024 and we will coordinate a meeting to discuss the project further if required.

Preliminary Construction Management Plan

The proposed development is not anticipated to require construction that will temporarily detour a bus route, block a bike lane or a sidewalk, or close a lane of traffic. All construction vehicular movement and material storage is expected to be located within the subject property boundaries.

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Signatures

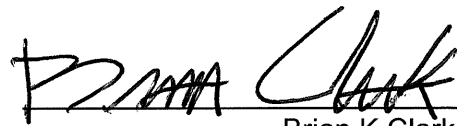
Signature of Planning Representative,
P-Squared Concepts Inc.:

Signature of Design Team Representative,
Brian K. Clark Architect:



Jasmine Paoloni,
B.A.S, LEED® Green Associate™

Date: September 19th, 2024



Brian K Clark,
Principal, OAA

Date: SEPT 24'24

P-Squared Concepts Inc.
203-2200 Thurston Dr.,
Ottawa, ON K1G 6E1
613-695-0192

brian k. clark Architect
102-141 Catherine St.,
Ottawa, ON, K2P 1C3
613-238-7412 25

Design Brief

415 West Hunt Club - Costco Head Office
2 storey commercial addition

September 19th, 2024

Appendix

Survey Plan

Site Plan

Landscape Plan

Architectural Elevations

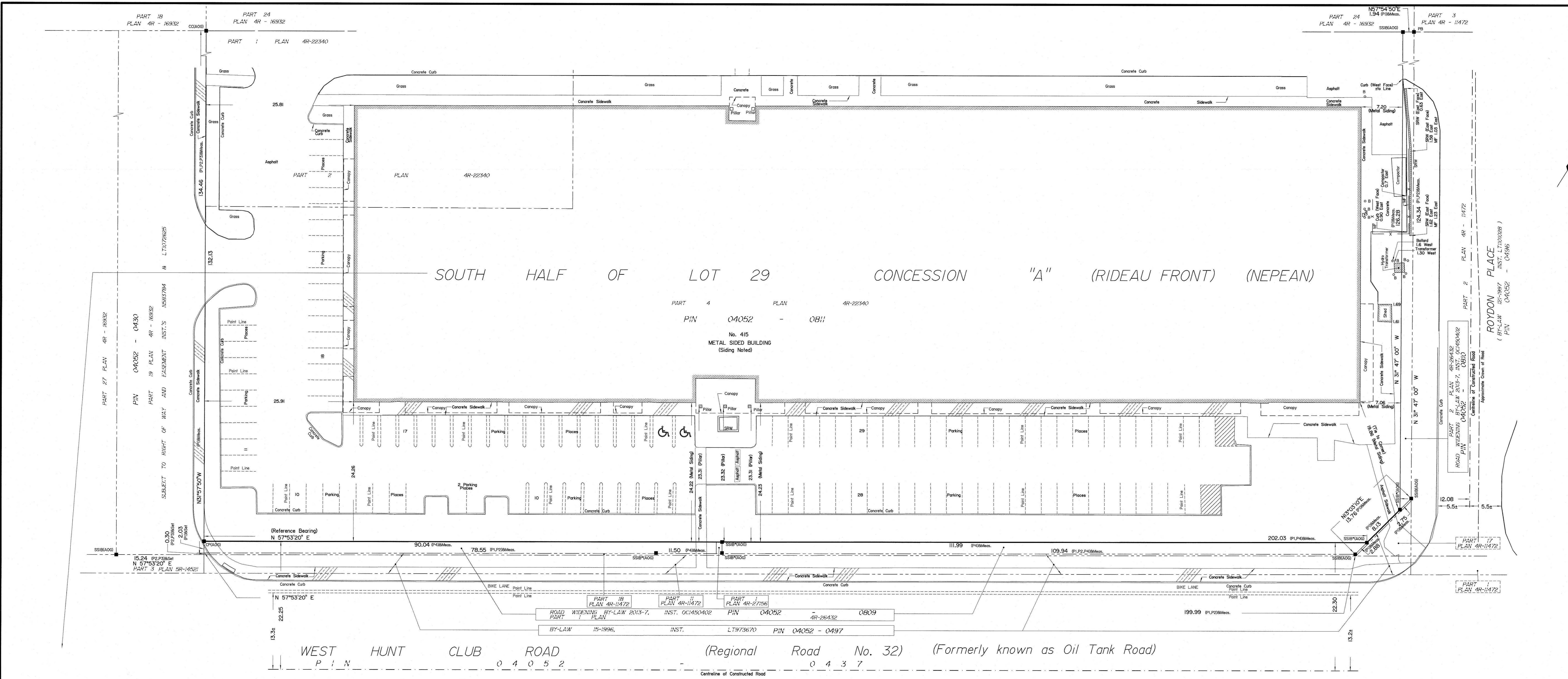
P-Squared Concepts Inc.

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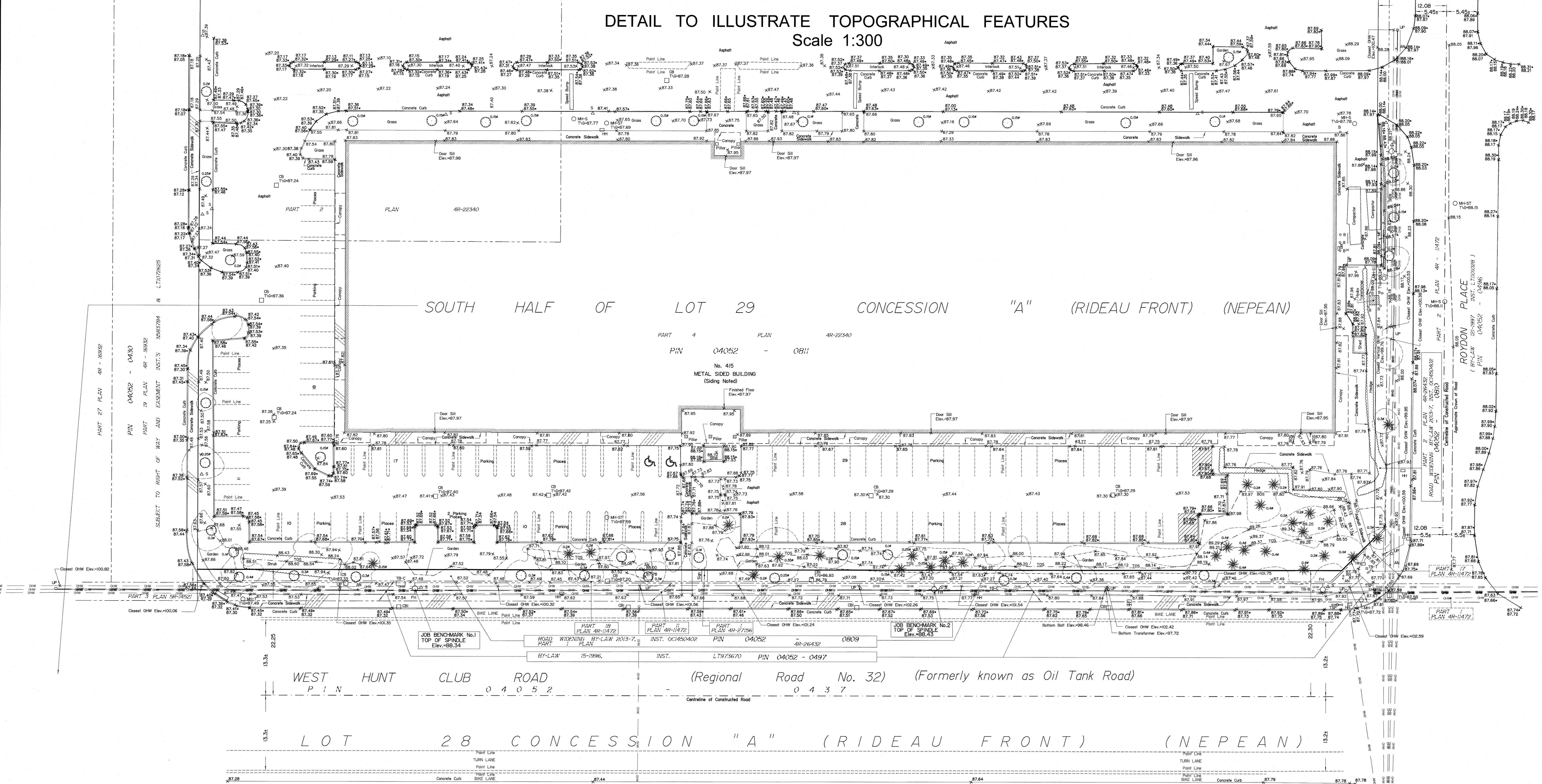
TOPOGRAPHIC PLAN OF SURVEY OF SOUTHERLY LIMIT OF PIN 04052-0811 being PART OF LOT 29 CONCESSION "A" (RIDEAU FRONT) (NEPEAN) Geographic Township of Nepean CITY OF OTTAWA Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1:300

Metric DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

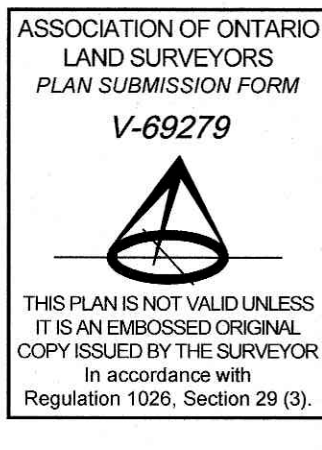
Surveyor's Certificate I CERTIFY THAT: 1. This survey and plan are correct and in accordance with the Survey Act and the Regulations made under it. 2. The survey was completed on the 6th day of March, 2024. Date: March 6, 2024 Andrew Sheip Ontario Land Surveyor

- Notes & Legend
- Survey Monument Placed
 - Survey Monument Found
 - SIB Standard Iron Bar
 - SSIB Short Standard Iron Bar
 - IB Iron Bar
 - CC Cast Concrete
 - CP Concrete Pin
 - PB Plastic Bar
 - SSIB* Short Standard Iron Bar
 - IB* Iron Bar
 - (WIT) Witness
 - Meas. Measured
 - (AGG) Annis, O'Sullivan, Vollebek Ltd.
 - (PI) Plan 4R-26432
 - (P2) Plan 4R-22340
 - (P3) Plan 4R-11472
 - (P4) Plan 4R-27156
 - OH Fire Hydrant
 - OH-ST Maintenance Hole (Storm Sewer)
 - OH-T Maintenance Hole (Traffic)
 - OH-S Maintenance Hole (Sanitary)
 - B Bolt
 - GM Gas Meter
 - MF Metal Fence
 - ow Overhead Wires
 - CB Catch Basin
 - BTB Bell Terminal Box
 - CTB Cable Terminal Box
 - TTB Traffic Signal Box
 - TSIP Traffic Signal Post
 - Hand. Handhole
 - Sign
 - Ø Diameter
 - Location of Elevations
 - Top of Wall/Concrete Curb Elevation
 - C/L Centreline
 - T/G Top of Grate
 - SRW Stone Retaining Wall
 - DP Disabled Parking
 - TOS Top of Slope
 - BOS Bottom of Slope
 - Decid. Deciduous Tree
 - Conif. Coniferous Tree
 - DL Drip Line
 - UL Utility Pole
 - AN Anchor



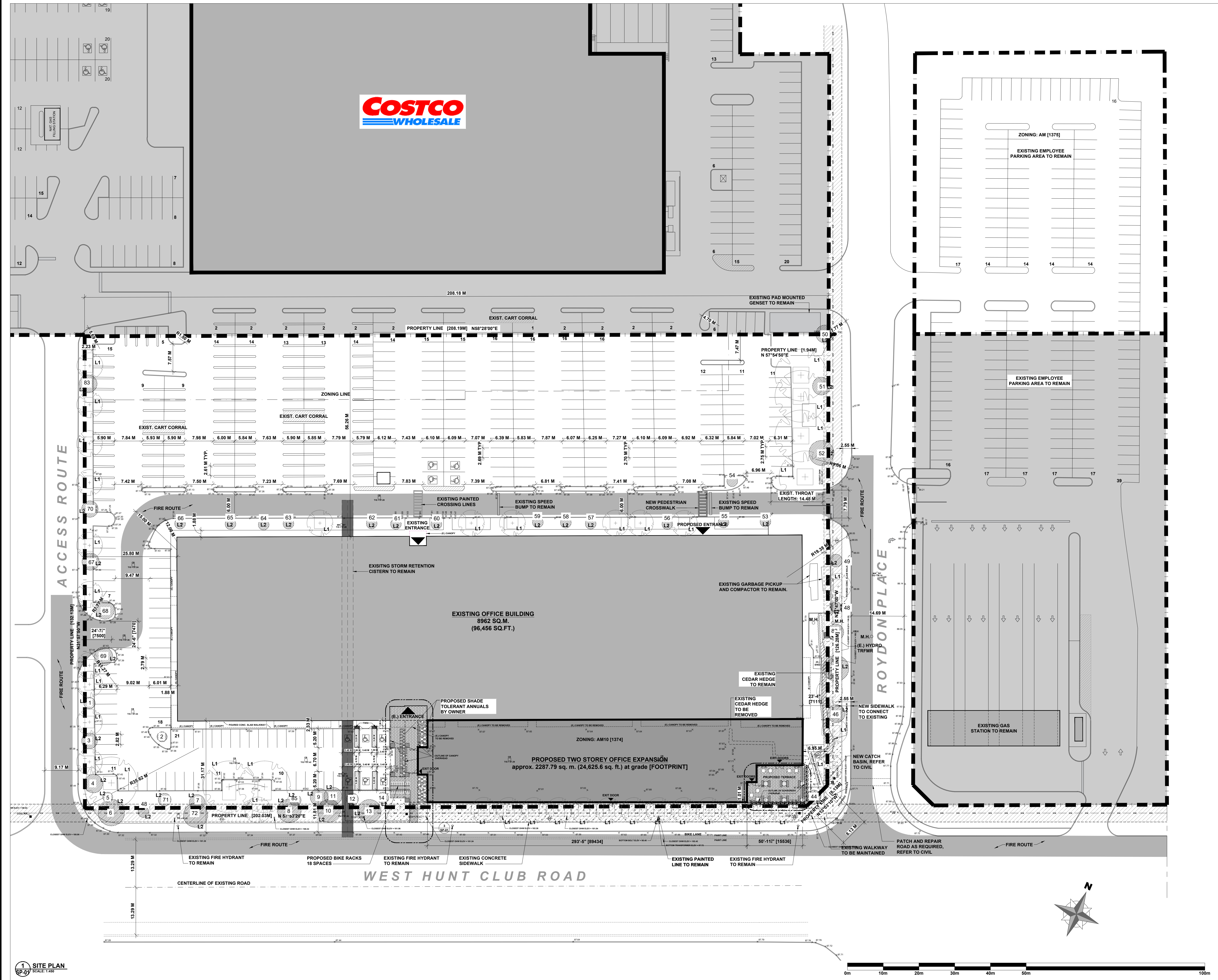
Bearings are grid, derived from the northerly limit of Part 1 Plan 4R-26432, having a bearing of N67°32'00"E (true) and are referenced to MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°33'10" counter-clockwise was applied to bearings on plans 4R-22340 and 4R-11472.



ELEVATION NOTES 1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum. 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation. 2. Only visible surface utilities were located. 3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.



LEGEND:

- PROPERTY LINE
- OVERHEAD WIRES
- EXISTING BUILDING
- BUILDING ENTRANCE
- H.P. HYDRO POLE
- F.H. FIRE HYDRANT
- M.H. MANHOLE
- C.B. CATCH BASIN
- EXISTING CANOPY
- OVERHEAD WIRE HYDRO NO-BUILD ZONE
- INTERLOCK PAVERS
- DESIGNATED FIRE ROUTE
- CC(AGG) SURVEY MONUMENT FOUND CUT GROSS ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
- SSB(AGG) SURVEY MONUMENT FOUND SHORT STANDARD IRON BAR ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
- FB SURVEY MONUMENT FOUND PLASTIC BAR
- CP(AGG) SURVEY MONUMENT FOUND CONCRETE PIN ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
- BT.80 EXISTING TOPO MARKERS

2/SP-01 + 3/SP-01 LEGEND:

- 1200mm x 1200mm ACM-CLAD COLUMN
- 1830mm x 610mm OUTDOOR PARK BENCH
- 18 x 1800mm x 600mm BICYCLE RACKS REFER TO RACK EQUIPMENT SPEC.
- SOFTSCAPE AREA 1 22.29 m²
- SOFTSCAPE AREA 2 20.30 m²
- SOFTSCAPE AREA 2 22.5 m²
- HARDSCAPE AREA 194.44 m² FINISH AS PER LANDSCAPING SPEC.
- HARDSCAPE AREA 148.89 m² FINISH AS PER LANDSCAPING SPEC.
- 130 x 130mm PLANTER c/w 150 x 150mm ALUM. SUPPORT COLUMNS FOR SUN SCREEN ABOVE

415 West Hunt Club Proposed

Provision	Section	Required	AM10 [1374] Proposed
Min. Lot Area (sq.m)	Table 185, (a)	none	25,109.52 sq. m
Min. Lot Width (m)	Table 185 (b)	none	202.03 m
Min. Front Yard Setback (m)	S. 186, (10)(b)(i)	0 m	1.01 m
Min. Corner Yard Setback (m)	S. 186, (10)(b)(ii)	0 m	6.95 m
Min. Interior Yard Setback (m)	Table 185, (c)(iii)	0 m	25.82 m
Min. Rear Setback (m)	Table 185, (e)(iv)	0 m	56.26 m
Min. Landscaped Buffer (parking lot)(m)	Table 110, (a)(b)	3 m	2.23 m (EXISTING CONDITION)
Max. Building Height (m)	S. 186, (10)(j)(v)	30 m	10.08 m - 2 storeys
Min. Building Height - 10m from front or corner lot line (m)	S. 186, (10)(e)	4.5m for the ground floor AND 7.5m for 2 storeys total	4.54 m for the ground floor 10.08 m (2 storeys) total
Min. Glazing (West Hunt Club) (%)	S. 186, (10)(h)	50% from grade to a height of 4.5m	36%
Min. Glazing (Roydon Place) (%)	S. 186, (10)(h)	50% from grade to a height of 4.5m	43.0%
Min. Percentage of Building Wall	S. 186, (10)(b)(ii)	50% within 3m of corner lot line	61.4%
Max. FSI	Table 185, (g)(ii)	none	0.54
GFA (sq.m)	-	-	3571.39 m ² (expansion)
PROPOSED ADDITION TOTAL: 3571.39m ²	-	-	12,533.39 m ² (total)
Footprint Area (sq.m)	-	-	11548.79 m ² (total)
Parking - Office	Table 101, N59 (v)	2.4 spaces/100 sq.m GFA	602 spaces (parking lot total)
Minimum Number of Barrier-Free Parking Spaces	ADDA 80.36 (4)	2 spaces = 2% total number of spaces provided = 10 spaces	10 spaces
Bicycle Parking - Office	Table 111A,(a)	1 space / 250 sq.m GFA	18 spaces (exterior)
Minimum Driveway	S. 107, (1)(a)(iii)	6m	7.56m
Minimum Drive Aisle Width	T. 107, (d)	6.7m	6.7m
Minimum Number of Active Entrances for Building Within 4.5m of the Front Lot Line	S. 186, (10)(g)(i)	1 active entrances	0 active entrances
Minimum Landscaped Area - Parking Lot	S. 110 (1)	15% of parking lot area	12% (non-compliant requiring variance)

415 West Hunt Club

SITE PIN:

LEGAL DESCRIPTION:

STATEMENT:

SOURCE OF PROPERTY BOUNDARY INFORMATION:

ADDITIONAL NOTES:

COMMENT:

RESPONSE:

Landscaping Legend (showing to-remain + proposed vegetation) coordinate with Tree Conservation Report + Landscape Plan

REF. #	SYMBOL	DESCRIPTION
L1	(Symbol)	PROPOSED DECIDUOUS TREE 40 yr. CANOPY PROJECTION REQUIRES SOIL VOLUME: (30m ² / large tree), (20m ² / small tree)
L2	(Symbol)	EXISTING TREE TO REMAIN (COORDINATE REFERENCE # WITH LANDSCAPING PLAN FOR VEGETATION DETAILS)

