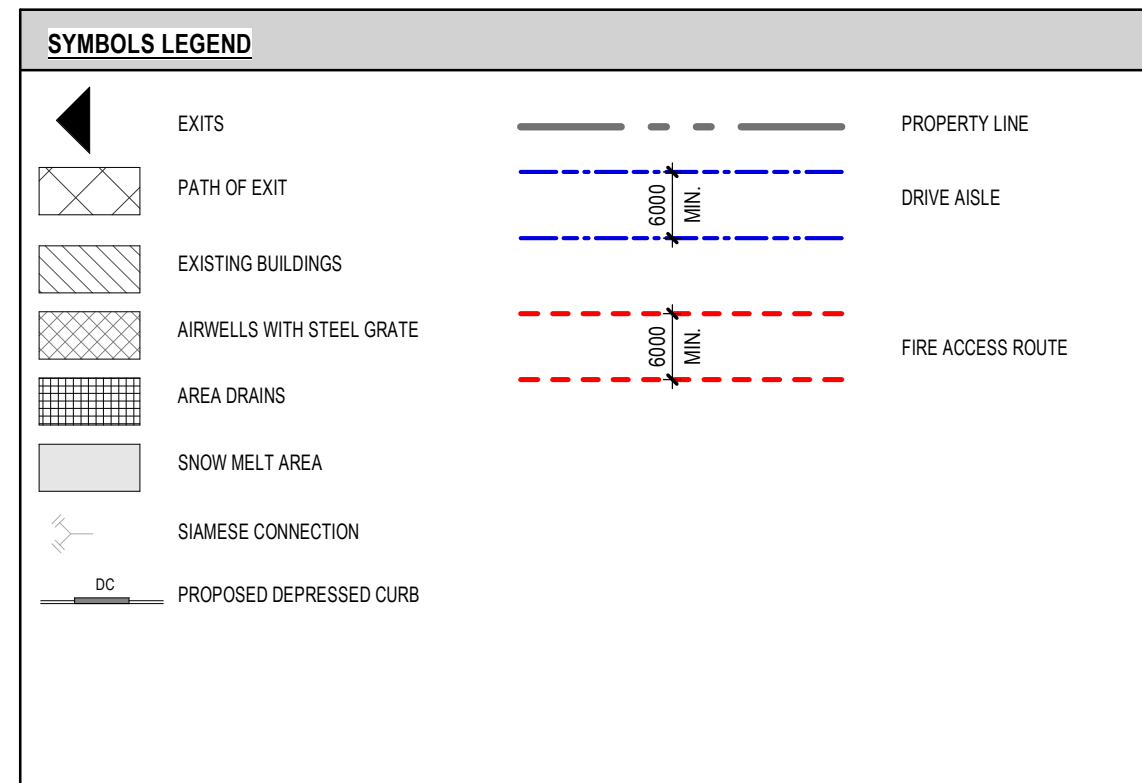
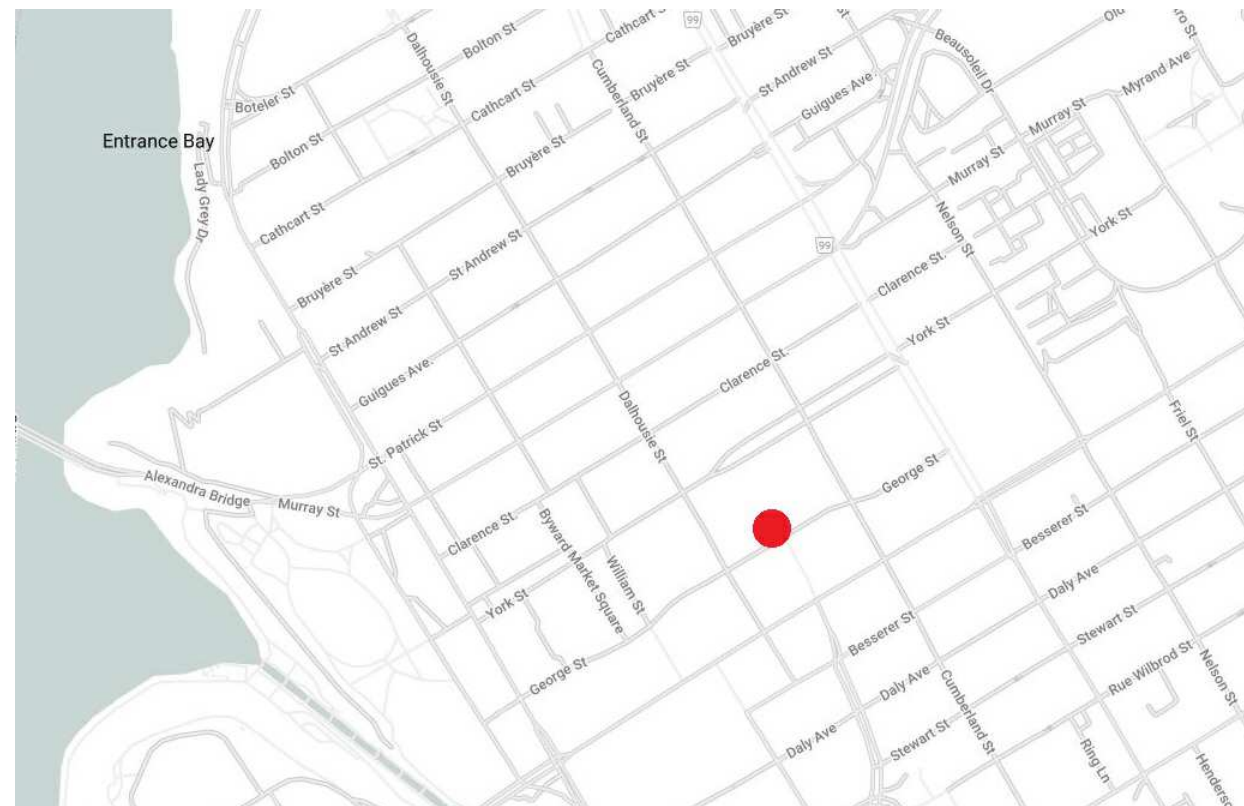




NOTES		
FOR EXISTING SITE CONDITIONS, SEE SURVEY PLAN BY ANNIS, OSULLIVAN, VOLLEBEKK LTD., REGISTERED PLANS #4797 & 42482, SUBMITTED SEPARATELY.		
FOR NEW GRADES AND SITE SERVICES, SEE CIVIL ENGINEERING PLANS BY NOVATECH ENGINEERING CONSULTANTS, SUBMITTED SEPARATELY.		
ZONING GFA INCLUDES AREA MEASURED FROM THE INTERIOR FACE OF EXTERIOR WALLS TO THE EXTERIOR FACE OF PARTY WALLS SEPARATING DIFFERENT USES, AS DEFINED IN CITY OF OTTAWA ZONING BY-LAW DEFINITION (2008-250).		
SOLID WASTE COLLECTION REQUIREMENTS		
ZONING MECHANISM	REGULATION	PROPOSED
Residential Waste	Garbage (Compacted) = 0.053y/unit Require 16y ³ Recycling (GMP) = 0.018y/unit Require 6y ³ Recycling (Fibres) = 0.038y/unit Require 12y ³ Organics = 240L container/50 units Require 6 containers	Garbage (Compacted) = 6 x 3y ³ containers Total = 18y ³ Recycling (GMP) = 2 x 3y ³ containers Total = 6y ³ Recycling (Fibres) = 4 x 3y ³ containers Total = 12y ³ Organics = 7 x 240L containers Total = 1680L

OCCUPANCY	UNITS / STOREYS	PROPOSED ZONING GFA
Residential (Rental)	297 units / Ground to 21st floors	Ground = 1 caretaker unit = 90m ² (excluded) 2 nd = 16 units = 939m ² 3 rd = 16 unit = 946m ² 4 th - 11 th = 15 units/floor = 934m ² / floor 12 th = 15 units = 932m ² 13 th - 17 th = 15 units/floor = 934m ² / floor 18 th = 14 units = 876m ² 19 th & 20 th = 14 units = 851m ² 21 st = 12 units = 772m ² TOTAL = 18,309m ² (without Ground)
	Minimum 15% (44 units) required to be Barrier-Free (BF) to be distributed throughout residential storeys.	8 x Studios (1BF units = 15%) 191 x 1 Bedroom (31BF units = 16%) 98 x 2 Bedroom (15BF units = 15%) 47BF units = 15%
Commercial	Ground	Commercial = 453m ² Office = 72m ²
	TOTAL	18,834m²

MIXED-USE WITH GROUND FLOOR COMMERCIAL - ZONING - MD2 (2031) S307		
ZONING RULE	REQUIREMENT	PROVIDED
Minimum lot area	No minimum	3,109.10m ²
Minimum lot width	No minimum	42.45m on George Street. 40.40 on back portion.
Minimum front yard	No minimum, 1m maximum.	0.72m on George Street
Minimum interior side yard	No minimum	0.70m on West side of building. 1.94m on East side of building.
Minimum rear yard	No minimum	6.29m to one storey volume. 5.47m to 4th to 17th floor overhang.
Maximum building height	70m as per Schedule 307. No projections permitted beyond building height.	70m all inclusive.
Maximum floor space index	Not applicable	Not applicable
Minimum width of landscape area	No minimum except that where a yard is provided and not used for required driveways, aisles, parking, loading spaces, or outdoor commercial patio, the whole yard must be landscaped	Whole yard to be landscaped.
Provisions for buildings 10 storeys and higher (By-law 2019-353)	Minimum lot area for an interior lot: 1350m ² Minimum interior side and rear yard setback for a tower: 7.5m Minimum separation distance between towers on the same lot: 15m.	Minimum lot area met. Site Plan Approval received. Not applicable.
Parking Garage permission	100% of ground floor fronting a street (excluding mechanical room, pedestrian and vehicular access) for a minimum depth of 3m, must be occupied by permitted use..	100% of ground fronting George Street for a minimum depth of 3m, is occupied by permitted Commercial use and Office use.
Ground floor use	100% of ground floor fronting a street (excluding lobby area, mechanical room and access to other floors) for a minimum depth of 3m, must be occupied by select uses. Total gross area of lobbies, mechanical rooms and access to other floors must not exceed 50% of ground floor gross area. Min. 50% of ground floor to be occupied by permitted use subject to a separate and direct access to abutting street.	100% of ground fronting George Street for a minimum depth of 3m, is occupied by permitted Commercial use. Total gross area of lobbies, mechanical rooms and access to other floors does not exceed 50% of ground floor gross area. Area of permitted Commercial use exceeds 50% of gross floor area and has separate direct access to George Street.

AMENITY AND PARKING REQUIREMENTS ZONING - MD2 (2031) S307 (PARKING COMBINED WITH FUTURE 110 & 116 YORK STREET DEVELOPMENT)				
ZONING MECHANISM	REGULATION	ORIGINAL PROPOSAL 1 STOREY PARKING (DEC 7, 2012)	PROPOSED 5 STOREY PARKING (JUN 6, 2023)	NEWLY PROPOSED 4 STOREY PARKING (DEC 2024)
Residential Parking 141 GEORGE	None Required 6m drive aisle required.	Hotel & Condos P2 P3 P4 P5 5 exterior 225 interior	P2 26 spaces P3 51 spaces P4 52 spaces P5 52 spaces	P3 44 spaces (14 reduced) P4 46 spaces (14 reduced) 6.0m drive aisle provided. P3 41 spaces (10 reduced) P4 41 spaces (10 reduced)
Commercial Parking 141 GEORGE	None Required 6.7m drive aisle required.		P1 5 spaces.	None Required.
Hotel Parking 141 GEORGE	None Required 6m drive aisle required.		P1 25 spaces	P1 29 spaces (13 reduced) P2 44 spaces (14 reduced) 6.0m drive aisle provided.
110 & 116 YORK				P1 16 spaces (11 reduced) P2 39 spaces (10 reduced) Total: 300 spaces (96 reduced 32%) 141 George 163 spaces (55 reduced 34%) 110 York 137 spaces (41 reduced 30%)
Visitor Parking	Residential Area Z (By-law 2016-249); no more than 30 visitor spaces are required per building. Exception #2031: 0.083 spaces x 297 units = 25 visitor parking spaces 6m drive aisle required.		P1 2 spaces P2 23 spaces	P3 13 spaces P4 12 spaces 6.0m drive aisle provided. Total: 25 spaces
Barrier-Free Parking Combined 141 GEORGE & 110 & 116 YORK	251-300 spaces requires 8 barrier-free spaces 4 type As 4 type Bs (Traffic and Parking By-Law 2017-301)	JUN 6, 2023 P1 to P5 2 spaces per floor	DEC. 2024 P2 to P4 2 spaces per floor P2, P3 - 2 type B per floor	MAY, 2025 George P1, P3, P4 - 1 type A per floor York P1 - 1 type A & 1 type B P2, P3 - 2 type B per floor
Minimum Bicycle Parking 141 GEORGE	Residential: 0.5 spaces x 297 units = 149 bicycle parking spaces Retail: 1 space per 250m ² of GFA 468m ² GFA / 250m ² = 2 bicycle parking spaces Hotel: 1 per 1000m ² of GFA +7,746m ² GFA/1,000m ² = 8 bicycle parking spaces Minimum 50% to be horizontal racks.	Condo 141 interior	Residential: (Indoor) 16 (P1) 70 (P2) 66 (P3) Retail : 5 (Exterior)	Residential: 56 (P1) 70 (P2) 31 (P3) Total 157 spaces Retail : 5 (Exterior) Hotel 9 (Interior)
110 & 116 YORK		Hotel 7 exterior		Total: 171 spaces 76 (-44%) vertical mount.
Maximum parking	1.5 per dwelling unit Limited to 446 space for 297 units. (combined with visitor) 1 per 100m ² of Commercial gross area. Limited to 5 spaces.		Total parking spaces is under the limit.	Total parking spaces is under the limit.
Minimum driveway width	6m		6m	6m
Minimum aisle width	6m		6m	6m
Loading	Exception #2031: None Required		NA	NA
Amenities Areas	Amenity Area - 6m ² per unit = 297 units x 6m ² = 1,782m ² Communal Amenity Area : Exception #2031: minimum 40% off the required total Amenity Area = 1,782m ² x 0.4 = minimum 713m ² Layout of Communal Amenity Area - aggregated into areas up to 54m ²		Total Balconies = 1,555m ² Ground = 35m ² 2 nd = 59m ² 3 rd = 89m ² 4 th to 17 th = 75m ² / floor 18 th = 77m ² 19 th = 85m ² 20 th = 75m ² 21 st = 85m ² Total Communal = 728m ² Ground floor = 220m ² 2 nd = 195m ² 21 st = 341m ² Total = 2,284m ²	Total Balconies = 1,727m ² 2 nd = 110m ² 3 rd = 113m ² 4 th = 95m ² 5 th to 17 th = 82m ² / floor 18 th = 80m ² 19 th = 97m ² 20 th = 84m ² 21 st = 82m ² Total Communal = 773m ² Ground floor = 432m ² 22 nd = 341m ² Total = 2,500m ²

SITE PLAN

1: 250

1
A100

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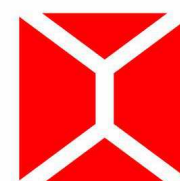
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Seal



NEUF

ARCHITECT(E)S



Client

CLARIDGE
HOMES

Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO REVISION DATE (yyyy.mm.dd)

000	FOR COORDINATION	2024.11.22
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.09
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24
001	ISSUED FOR CONSTRUCTION	2025.01.21
	FOR CLIENT USE	2025.01.29
002	SI-01	2025.02.24
004	SI-03	2025.03.21
WWW	FOR COORDINATION	2025.04.11
006	SI-05	2025.04.25
008	RE-ISSUED FOR SITE PLAN APPROVAL	2025.05.28
009	SI-07	2025.06.05
010	SI-08	2025.06.24
XXX	RE-ISSUED FOR SITE PLAN APPROVAL	2025.06.30
YYY	RE-ISSUED FOR SITE PLAN APPROVAL	2025.07.14
012	SI-10	2025.08.06
ZZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2025.08.29

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DATE (aa.mm.jj)

FEB 2023

Drawing Title

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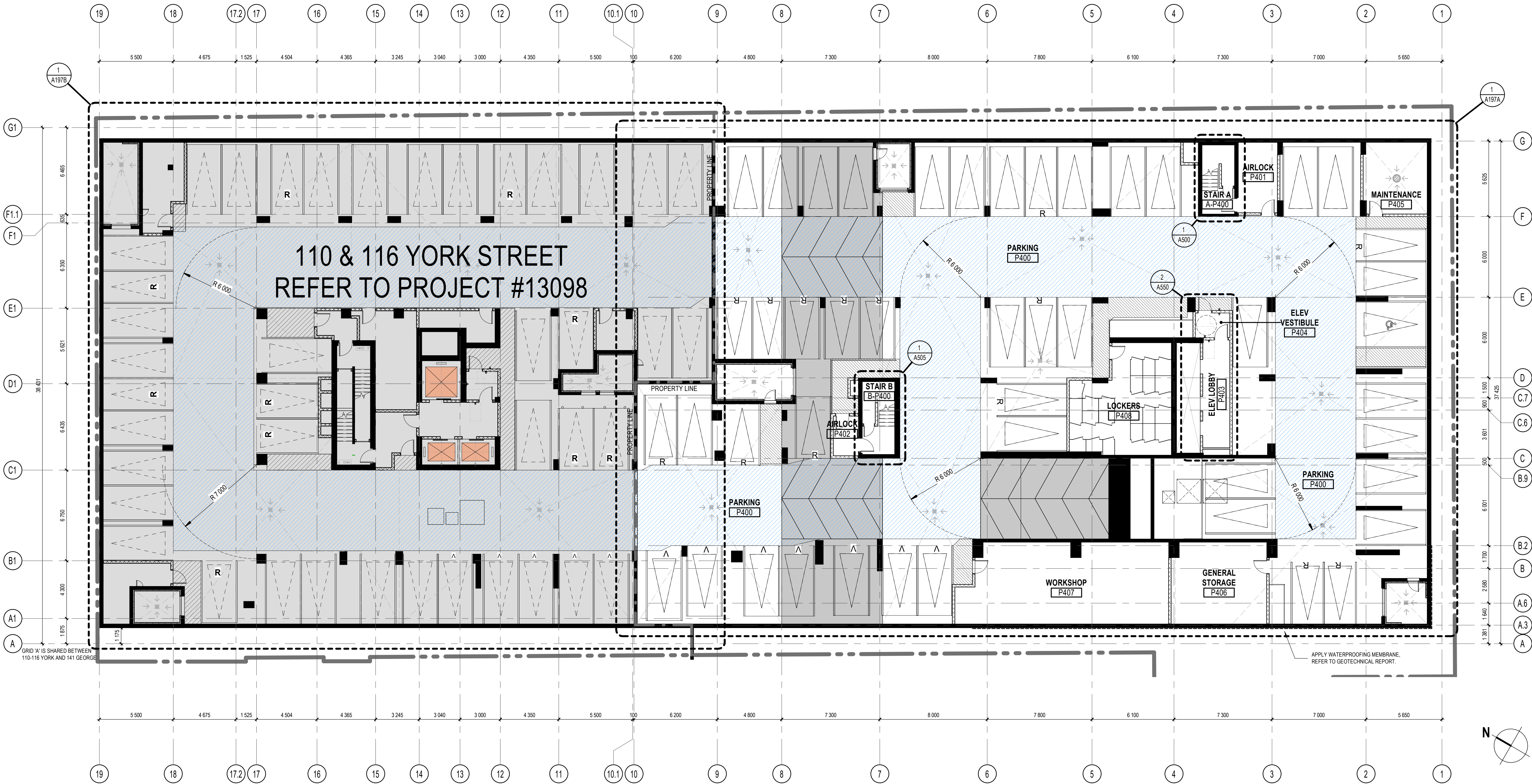
Revision

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Dwg Number

A100

19325



P4 OVERALL FLOOR PLAN
1:150

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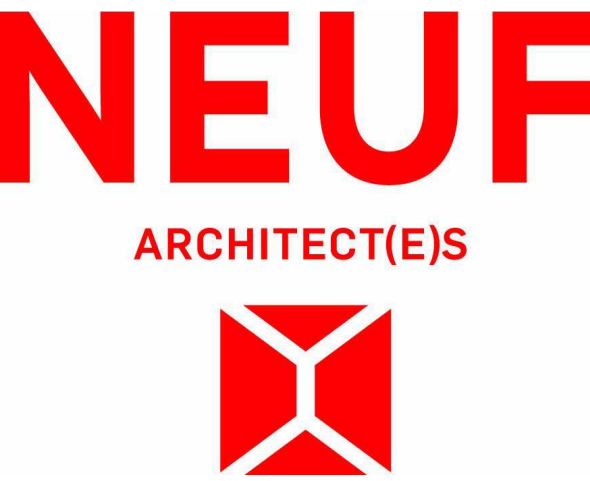
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Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA **12810**

NO	REVISION	DATE (yyyy.mm.dd)
SSS	RE-ISSUED FOR SITE PLAN APPROVAL	2024.12.17
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24
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	FOR CLIENT USE	2025.01.29
002	SI-01	2025.02.24
003	SI-02	2025.03.12
004	SI-03	2025.03.21
006	SI-05	2025.04.25
008	RE-ISSUED FOR SITE PLAN APPROVAL	2025.05.28
009	SI-07	2025.06.05
010	SI-08	2025.06.24
XXX	RE-ISSUED FOR SITE PLAN APPROVAL	2025.06.30
011	SI-09	2025.07.09
YYY	RE-ISSUED FOR SITE PLAN APPROVAL	2025.07.14
012	SI-10	2025.08.06
ZZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2025.08.29

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DATE (aa.mm.jj)
OCT 2024
Drawing Title

Checked by
LH
Scale
1 : 150

**PARKING LEVEL 4
FLOOR PLAN**

Revision
ZZZ
Dwg Number
A197

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- 3 ALL INTERIOR WALLS SHALL BE FINISHED TO BE INSTALLED AT A MINIMUM OF 150mm away from the CLOSEST ADJACENT PERPENDICULAR WALL.
- 4 UNLESS OTHERWISE NOTED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- 5 ALL UNFLOORED PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- 6 REFER TO PAGE 4001 FOR ALL PARTITION ASSEMBLY TYPES AND SYMBOL LEGENDS.
- 7 REFER TO PAGE 4004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT BATHROOMS.
- 8 REFER TO PAGE 4005 FOR UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER OBC REGULATIONS.
- 9 DESIGN FACE G.B.W. WITH MOISTURE-RESISTANT G.B.W. IN ALL PARTITIONS THAT ENCLOSE BATHROOMS, WASHROOMS, SHOWERS), TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
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- 12 MILL/WORK BY OTHERS.
- 13 REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION REQUIREMENTS.
- 14 ARCH RESIDENTIAL LEVEL 61.900 = GEODETIC LEVEL, **61.9m**
- 15 ARCH RETAIL LEVEL 61.700 = GEODETIC LEVEL, **61.7m**
- 16 REFER TO ELECTRICAL DRAWINGS FOR RATED FLYP WIRE BACKED CABLE LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



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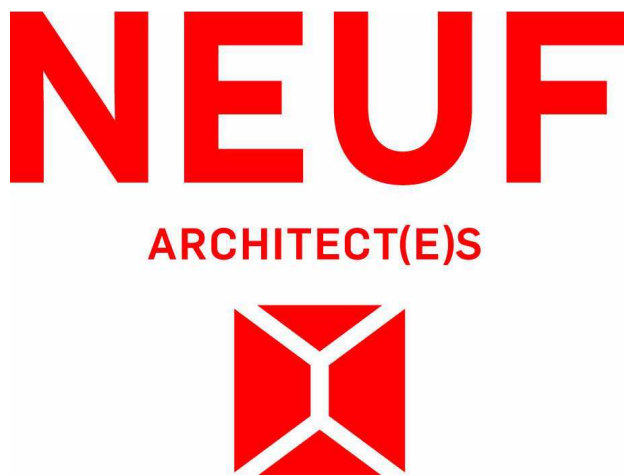
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141 GEORGE STREET

OTTAWA

12810

NO	REVISION	DATE (yyyy.mm.dd)
LLL	FOR COORDINATION	2024.10.23
MMM	RE-ISSUED FOR SITE PLAN APPROVAL	2024.11.07
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.21
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.06
TTT	FOR COORDINATION	2025.01.13
001	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.15
001	ISSUED FOR CONSTRUCTION	2025.01.21
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006	SI-05	2025.04.25
008	RE-ISSUED FOR SITE PLAN APPROVAL	2025.05.28
009	SI-01	2025.06.03
00X	RE-ISSUED FOR SITE PLAN APPROVAL	2025.06.30
00Y	RE-ISSUED FOR SITE PLAN APPROVAL	2025.07.17
00Z	RE-ISSUED FOR SITE PLAN APPROVAL	2025.08.28

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DATE (aa.mm.jj)
OCT 2024

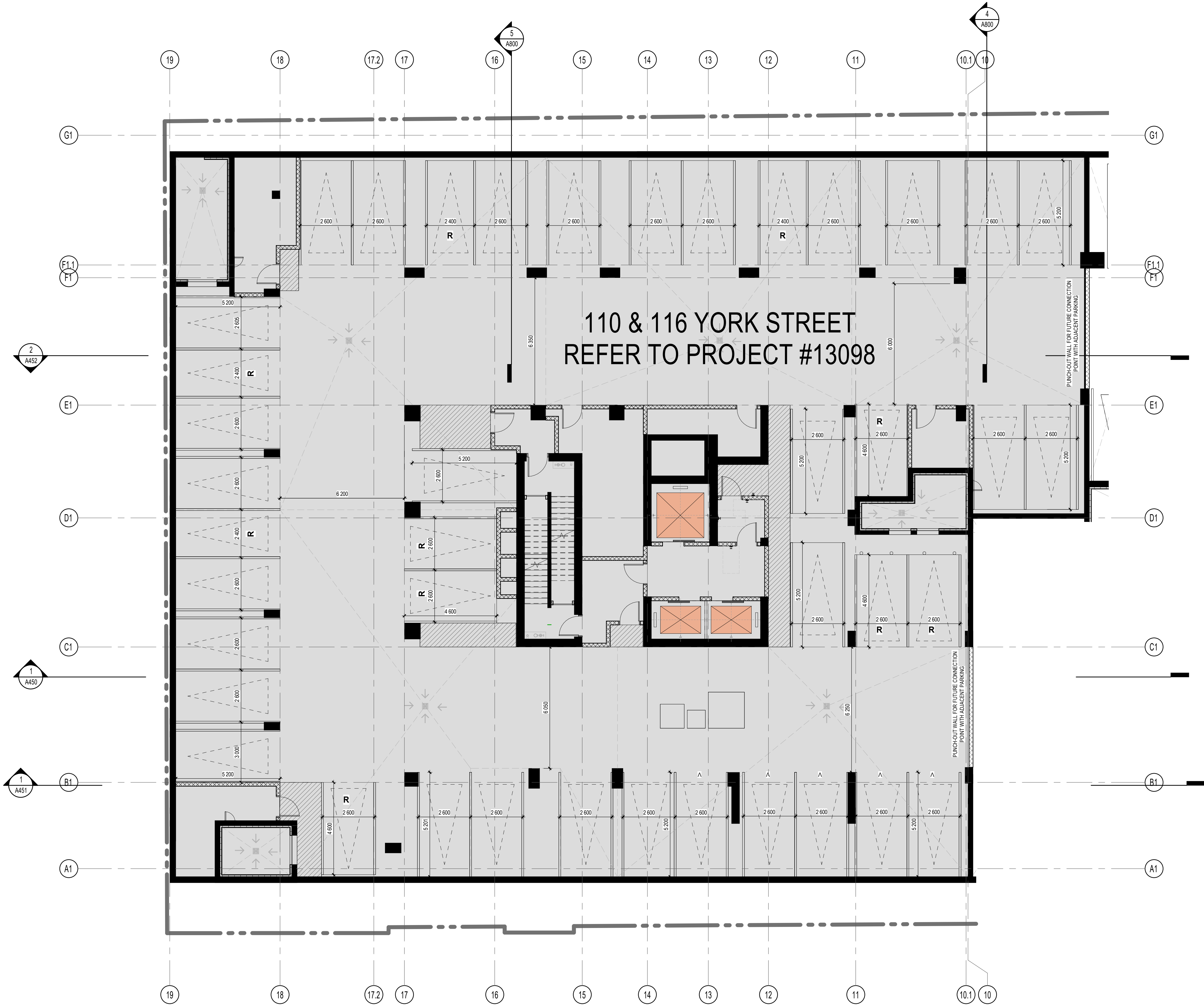
Scale
As indicated

PARKING LEVEL 4 FLOOR PLAN (GEORGE)

A197A

GENERAL NOTES

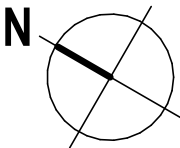
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7. REFER TO PAGE A004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT BATHROOMS.
8. REFER TO PAGE A700 FOR ALL UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER OBC REGULATIONS.
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13. REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION WATERPROOFING DETAILS AND SPECIFICATIONS.
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P4B FLOOR PLAN (YORK)

1:100

1
A197B



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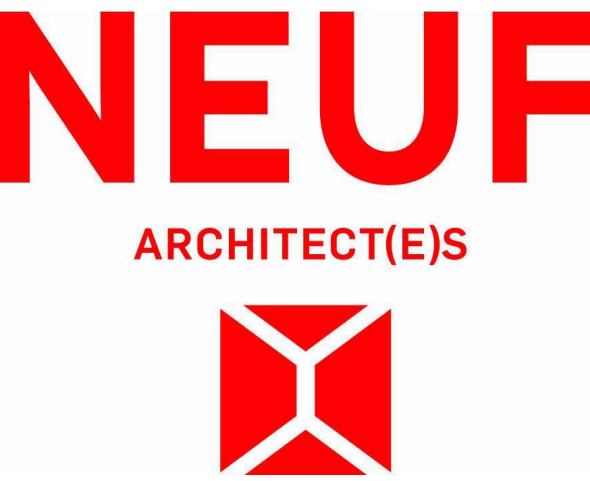
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Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No

12810

NO	REVISION	DATE (yyyy.mm.dd)
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
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010	SI-08	2025.06.24
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011	SI-09	2025.07.09
YYY	RE-ISSUED FOR SITE PLAN APPROVAL	2025.07.14
012	SI-10	2025.08.06
ZZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2025.08.29

Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

OCT 2024

Scale

As indicated

Drawing Title

**PARKING LEVEL 4
FLOOR PLAN (YORK)**

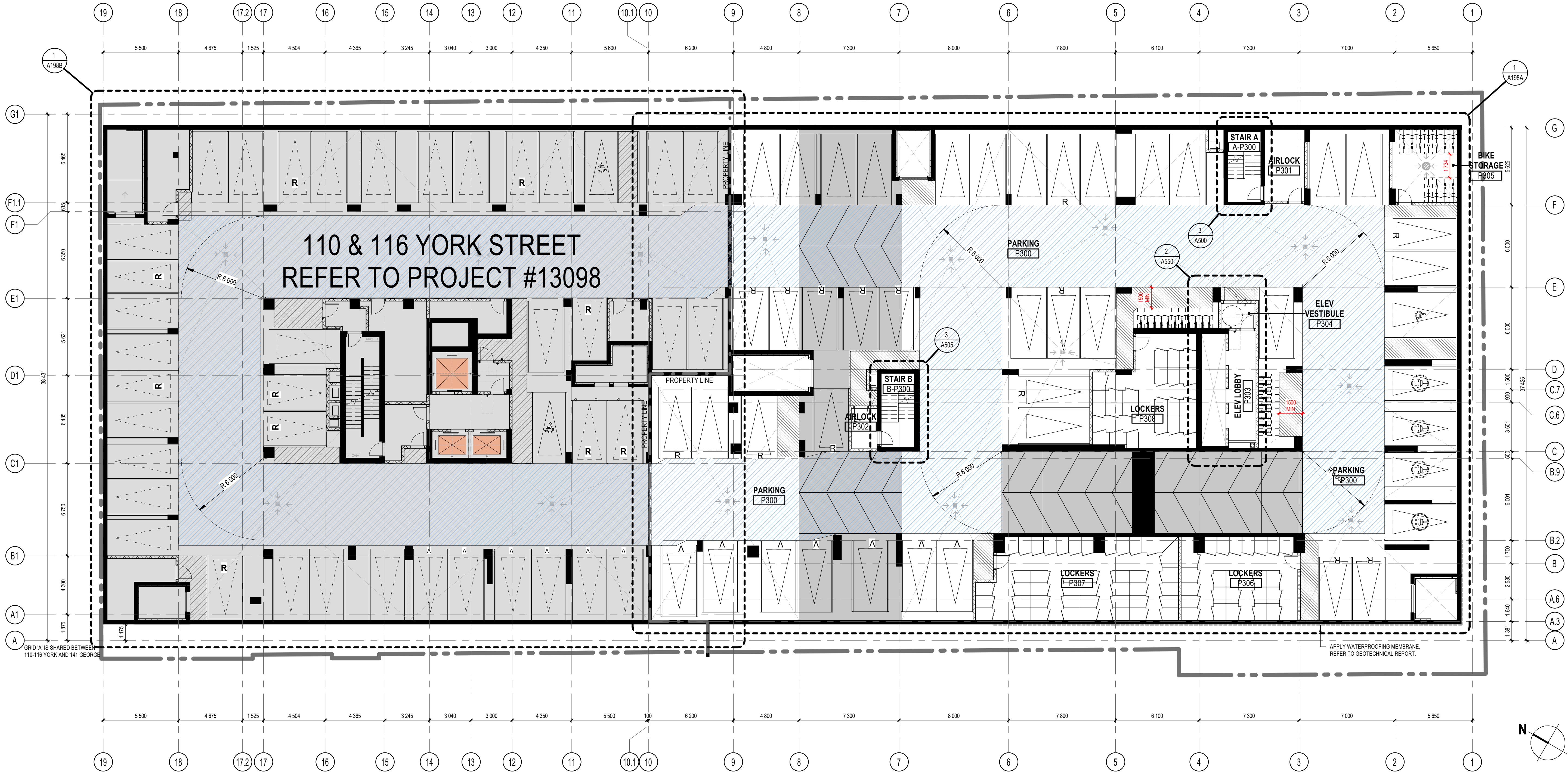
Revision

ZZZ

Dwg Number

A197B

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P3 OVERALL FLOOR PLAN

1 : 150

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A198

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Structural Engineer

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T 613 228 4558 goodevestructural.ca

Landscape Architect

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3332 Carling Avenue, Ottawa, ON, K2H 5A8
T 613 722 6188 jbla.ca

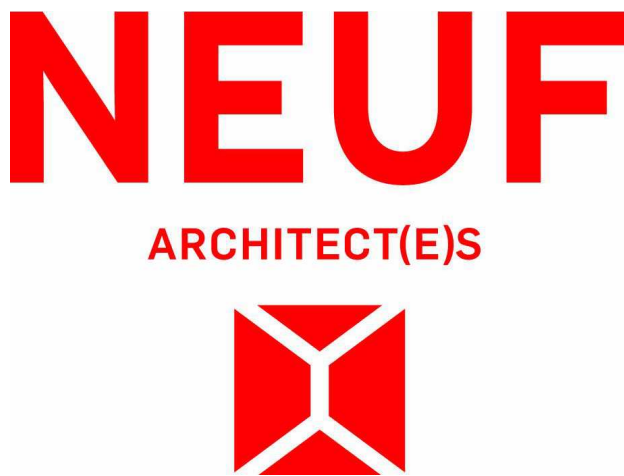
Civil

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240, Michael Coward Drive, Suite 200, Ottawa, ON K2M 1P8
T 613 234 9643 novatech-eng.com

Architect

NEUF Architectes INC.
10 Robson Street, 4th floor, Ottawa, ON K1N 6J1
T 514 847 1117 NEUFarchitectes.com

Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO	REVISION	DATE (yyyy.mm.dd)
SSS	RE-ISSUED FOR SITE PLAN APPROVAL	2024.12.17
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24
001	ISSUED FOR CONSTRUCTION	2025.01.21
	FOR CLIENT USE	2025.01.29
002	SI-01	2025.02.24
003	SI-02	2025.03.12
004	SI-03	2025.03.21
006	SI-05	2025.04.25
008	RE-ISSUED FOR SITE PLAN APPROVAL	2025.05.28
009	SI-07	2025.06.05
010	SI-08	2025.06.24
XXX	RE-ISSUED FOR SITE PLAN APPROVAL	2025.06.30
011	SI-09	2025.07.09
YYY	RE-ISSUED FOR SITE PLAN APPROVAL	2025.07.14
012	SI-10	2025.08.06
ZZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2025.08.29

Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

SEP 2022

Scale

1 : 150

Drawing Title

**PARKING LEVEL 3
FLOOR PLAN**

Revision

ZZZ

Dwg Number

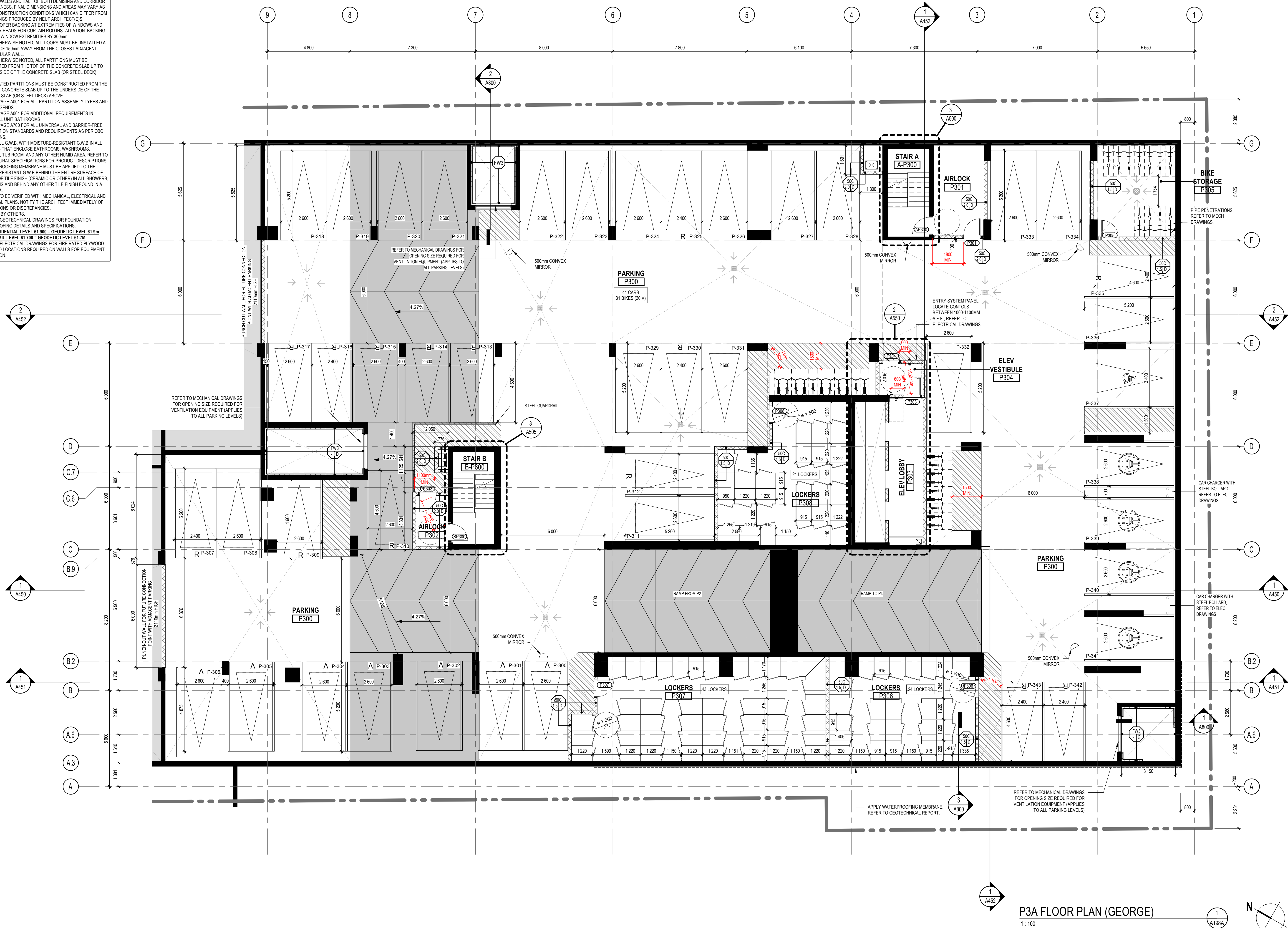
A198

19325

D07-12-24-0116

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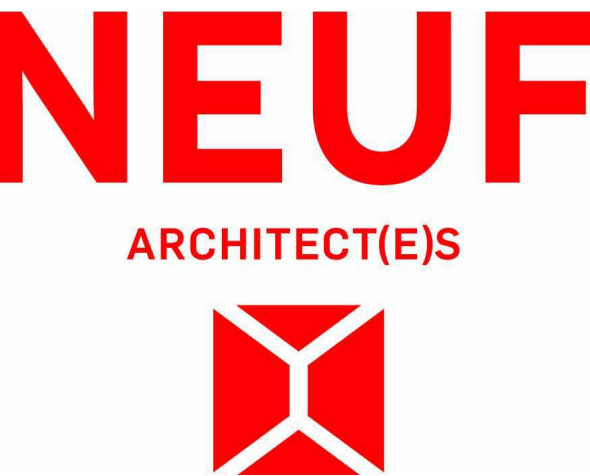
Civil

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Architect

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Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO	REVISION	DATE (yyyy.mm.dd)
LLL	FOR COORDINATION	2024.10.23
MMM	RE-ISSUED FOR SITE PLAN APPROVAL	2024.11.07
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.09
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24
001	ISSUED FOR CONSTRUCTION	2025.01.21
	FOR CLIENT USE	2025.01.29
002	SI-01	2025.02.24
004	SI-03	2025.03.21
006	SI-05	2025.04.25
008	RE-ISSUED FOR SITE PLAN APPROVAL	2025.05.28
009	SI-07	2025.06.05
XXX	RE-ISSUED FOR SITE PLAN APPROVAL	2025.06.30
YYY	RE-ISSUED FOR SITE PLAN APPROVAL	2025.07.14
ZZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2025.08.29

Drawn by

SJ

DATE (aa.mm.jj)

SEP 2022

Drawing Title

P3A FLOOR PLAN (GEORGE)

Checked by

LH

Scale

As indicated

**PARKING LEVEL 3
FLOOR PLAN (GEORGE)**

Revision

ZZZ

Dwg Number

A198A

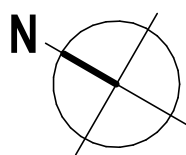
D07-12-24-0116

19325

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6. REFER TO PAGE A008 FOR GENERAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER CBC REGULATIONS.
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10. MILL WORK BY OTHERS.
11. REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION AND DRAINAGE PROTECTING DETAILS AND SPECIFICATIONS.
12. **ARCH. REFERENCE LEVEL: FINISHED FLOOR LEVEL 61.9m**
13. **ARCH. REFERENCE LEVEL: 61.700 ± GROUND LEVEL, 61.7m**
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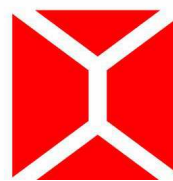
NEUE Architectes INC

NEUF Architectes INC.
10 Rideau Street, 4th floor, Ottawa ON K1N 9...
T 514 847 1117 NEUFarchitectes.com

Se



ARCHITECT(E)S



Client

CLARIDGE
HOMES

Project

141 GEORGE STREET

Location

OTTAWA

No

12810

NO	REVISION	DATE (yyyy mm dd)
000	FOR COORDINATION	2024.11.12
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.10.20
SSS	RE-ISSUED FOR SITE PLAN APPROVAL	2024.12.11
TTT	FOR COORDINATION	2025.01.01
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.21
001	ISSUED FOR CONSTRUCTION	2025.01.21
004	FOR CLIENT USE	2025.01.21
006	SI-03	2025.03.22
008	SI-05	2025.04.22
009	RE-ISSUED FOR SITE PLAN APPROVAL	2025.05.02
009	SI-07	2025.06.08
010	SI-08	2025.06.22
XXX	RE-ISSUED FOR SITE PLAN APPROVAL	2025.06.28
YYY	RE-ISSUED FOR SITE PLAN APPROVAL	2025.07.01
ZZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2025.08.01
012	SI-10	2025.08.08
022	RE-ISSUED FOR SITE PLAN APPROVAL	2025.08.28

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SJ

DATE (99 mm ii)

SEP 20

Checked by

LH

Scale

As indicated

PARKING LEVEL 3 FLOOR PLAN (YORK

Revision

Dwg Number

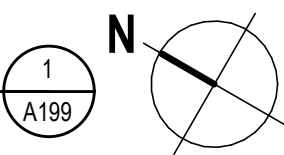


A198B

19325



P2 OVERALL FLOOR PLAN
1 : 150



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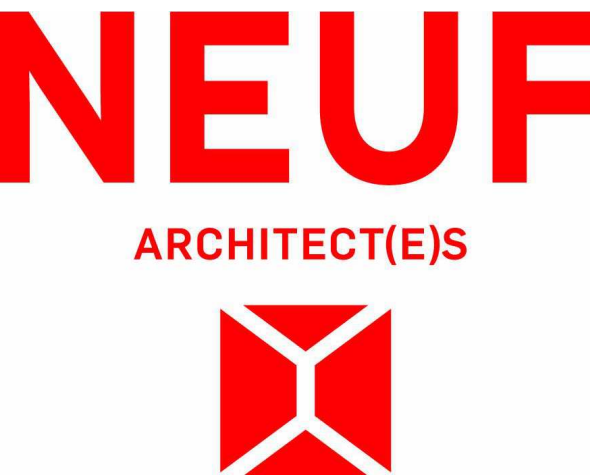
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T 514 847 1117 NEUFarchitectes.com

Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA 12810

NO	REVISION	DATE (yyyy.mm.dd)
SSS	RE-ISSUED FOR SITE PLAN APPROVAL	2024.12.17
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24
001	ISSUED FOR CONSTRUCTION	2025.01.21
	FOR CLIENT USE	2025.01.29
002	SI-01	2025.02.24
003	SI-02	2025.03.12
004	SI-03	2025.03.21
006	SI-05	2025.04.25
008	RE-ISSUED FOR SITE PLAN APPROVAL	2025.05.28
009	SI-07	2025.06.05
010	SI-08	2025.06.24
XXX	RE-ISSUED FOR SITE PLAN APPROVAL	2025.06.30
011	SI-09	2025.07.09
YYY	RE-ISSUED FOR SITE PLAN APPROVAL	2025.07.14
012	SI-10	2025.08.06
ZZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2025.08.29

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SJ
DATE (aa.mm.jj)
FEB 2024

Checked by
LH
Scale
1 : 150

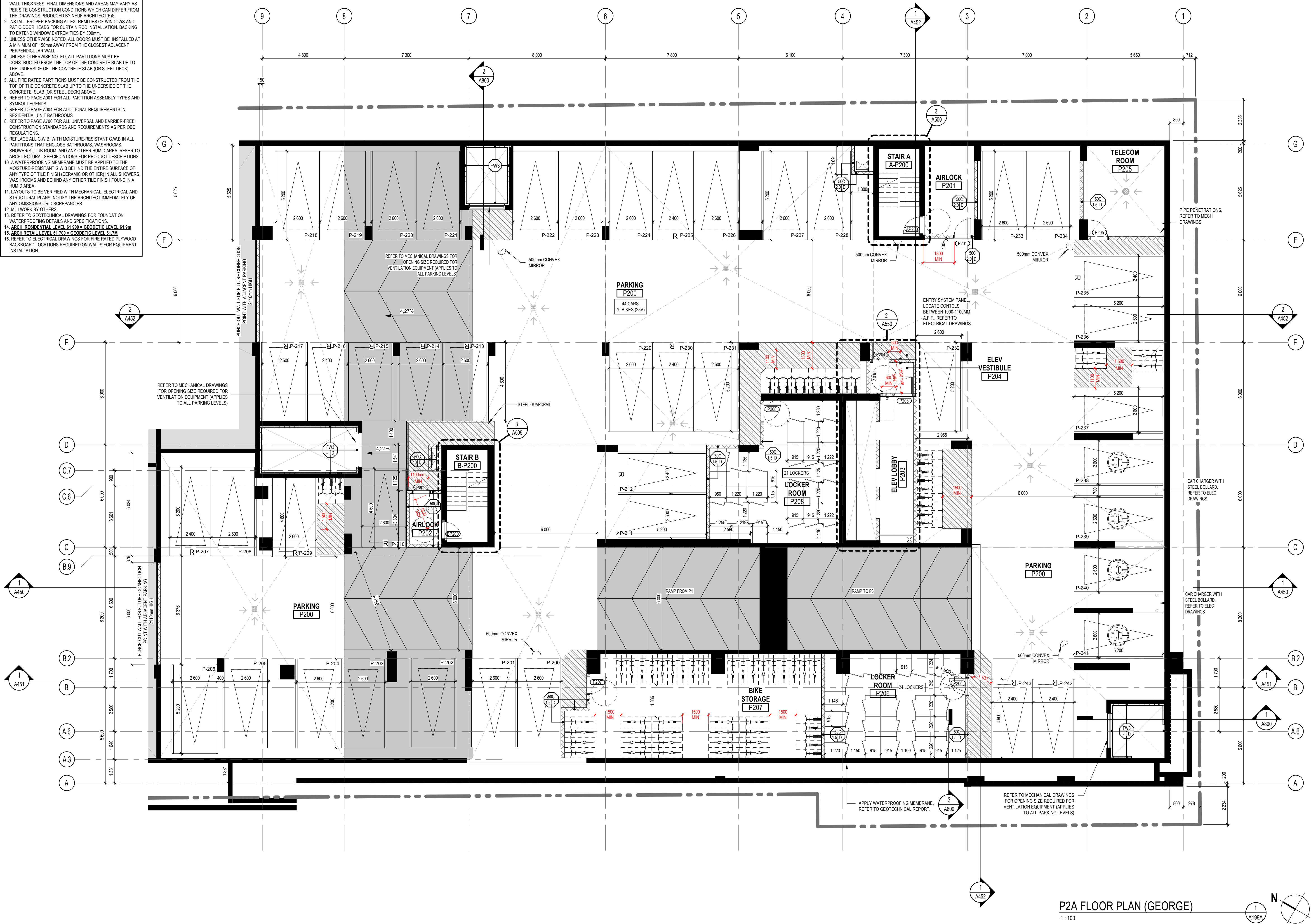
Drawing Title
**PARKING LEVEL 2
FLOOR PLAN**

Revision
ZZZ

Dwg Number
A199

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P2A FLOOR PLAN (GEORGE)

1: 100

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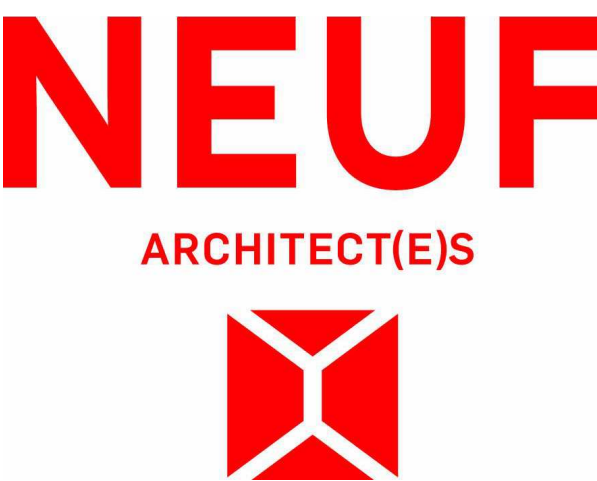
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Architect

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10 Robson Street, 4th floor, Ottawa ON K1N 6J1
T 514 847 1117 NEUFarchitectes.com

Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No

12810

NO	REVISION	DATE (yyyy.mm.dd)
MMM	RE-ISSUED FOR SITE PLAN APPROVAL	2024.11.07
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.08
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24
001	ISSUED FOR CONSTRUCTION	2025.01.29
002	FOR CLIENT USE	2025.01.29
003	SI-01	2025.02.24
004	SI-03	2025.03.21
006	SI-05	2025.04.25
008	RE-ISSUED FOR SITE PLAN APPROVAL	2025.05.28
009	SI-07	2025.06.05
XXX	RE-ISSUED FOR SITE PLAN APPROVAL	2025.06.30
YYY	RE-ISSUED FOR SITE PLAN APPROVAL	2025.07.14
012	SI-10	2025.08.06
ZZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2025.08.29

Drawn by

SJ

DATE (aa.mm.jj)

SEP 2022

Drawing Title

**PARKING LEVEL 2
FLOOR PLAN (GEORGE)**

Revision

ZZZ

Checked by

LH

Scale

As indicated

Drawing Title

**PARKING LEVEL 2
FLOOR PLAN (GEORGE)**

Revision

A199A

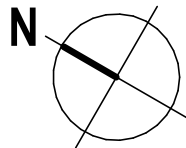
Dwg Number

A199A

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10. MILL WORK BY OTHERS.
11. REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION AND DRAINAGE PROTECTING DETAILS AND SPECIFICATIONS.
12. **ARCH. REFERENCE LEVEL: 61.700 ± 0.000 ± 0.000 LEVEL 61.8m**
13. **ARCH. REFERENCE LEVEL 61.700 ± 0.000 ± 0.000 LEVEL 61.7m**
14. REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED PLYWOOD BASE BOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



1
A199B



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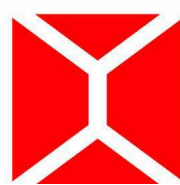
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ARCHITECT(E)S



CLARIDGE
HOMES

141 GEORGE STREET

OTTAWA

12810

NO	REVISION	DATE (yyyy mm dd)
000	FOR COORDINATION	2024.11.12
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.10.20
SSS	RE-ISSUED FOR SITE PLAN APPROVAL	2024.12.11
TTT	FOR COORDINATION	2025.01.01
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.21
001	ISSUED FOR CONSTRUCTION	2025.01.21
004	FOR CLIENT USE	2025.01.21
006	SI-03	2025.03.22
008	SI-05	2025.04.22
009	RE-ISSUED FOR SITE PLAN APPROVAL	2025.05.02
009	SI-07	2025.06.06
010	SI-08	2025.06.22
XXX	RE-ISSUED FOR SITE PLAN APPROVAL	2025.06.23
YYY	RE-ISSUED FOR SITE PLAN APPROVAL	2025.07.01
ZZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2025.08.01
012	SI-10	2025.08.08
022	RE-ISSUED FOR SITE PLAN APPROVAL	2025.08.28

SJ

LH

DATE (aa.mm.jj)
FEB 2024

Scale
As indicated

Drawing Title

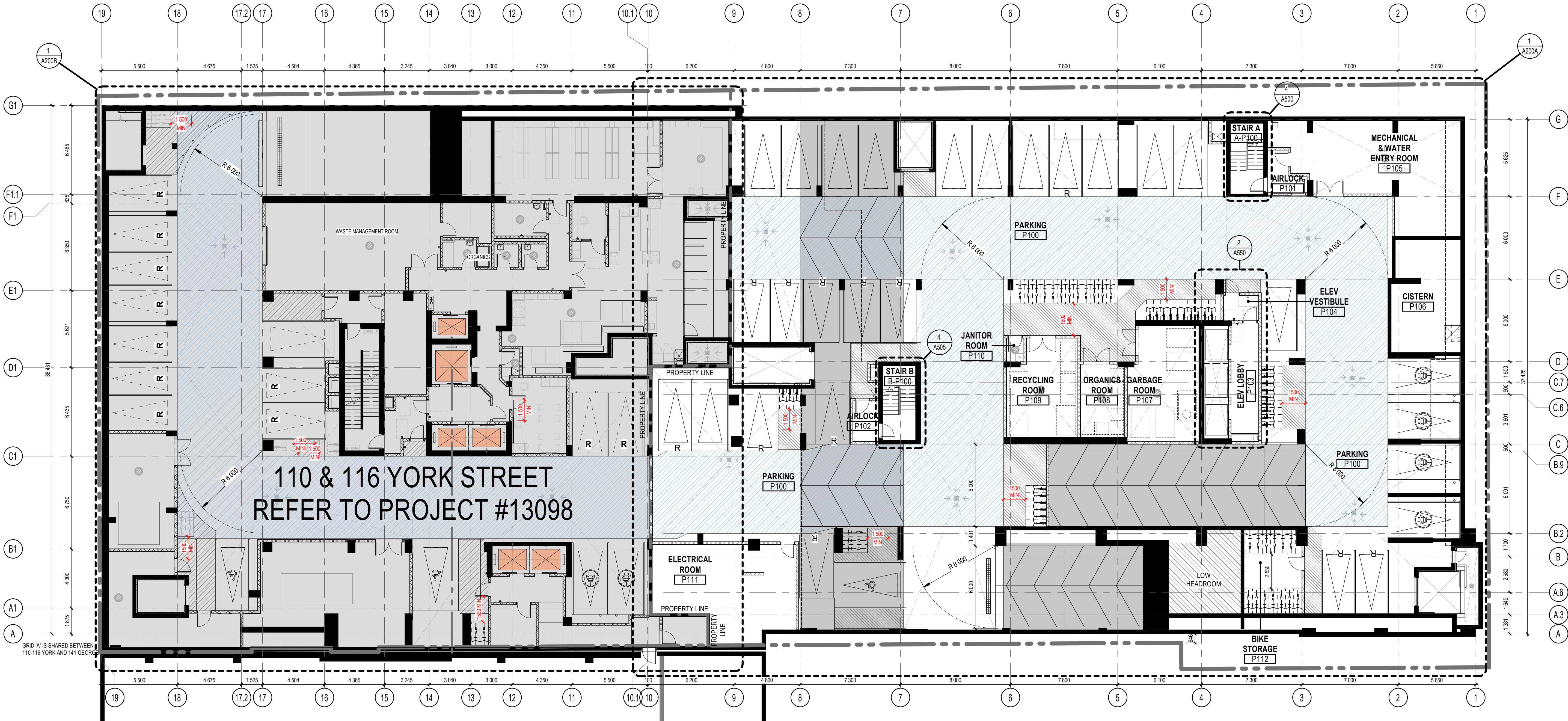
PARKING LEVEL 2 FLOOR PLAN (YORK)

Dwg Number



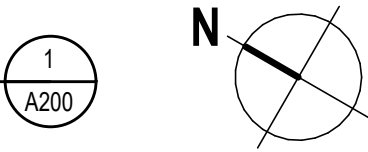
A199B

19325



325 DALHOUSIE
HOTEL

P1 OVERALL FLOOR PLAN
1 : 150



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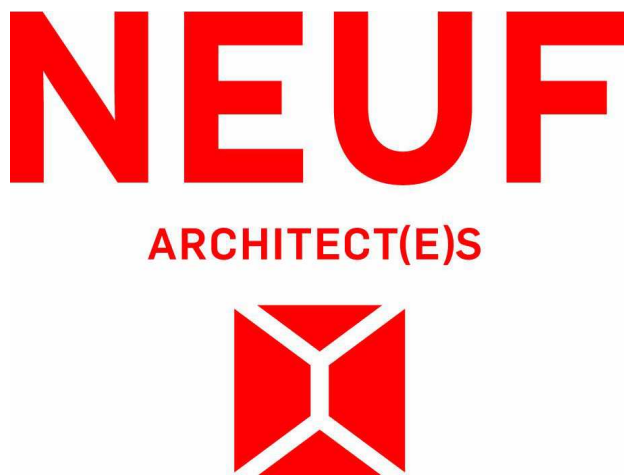
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Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No

12810

NO	REVISION	DATE (yyyy.mm.dd)
UUU	FOR COORDINATION	2025.01.17
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24
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	FOR CLIENT USE	2025.01.29
002	SI-01	2025.02.24
003	SI-02	2025.03.12
004	SI-03	2025.03.21
006	SI-05	2025.04.25
008	RE-ISSUED FOR SITE PLAN APPROVAL	2025.05.28
009	SI-07	2025.06.05
010	SI-08	2025.06.24
XXX	RE-ISSUED FOR SITE PLAN APPROVAL	2025.06.30
011	SI-09	2025.07.08
YYY	RE-ISSUED FOR SITE PLAN APPROVAL	2025.07.14
012	SI-10	2025.08.06
014	SI-12	2025.08.25
ZZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2025.08.29

Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

SEP 2022

Scale

1 : 150

Drawing Title

**PARKING LEVEL 1
OVERALL FLOOR PLAN**

Revision

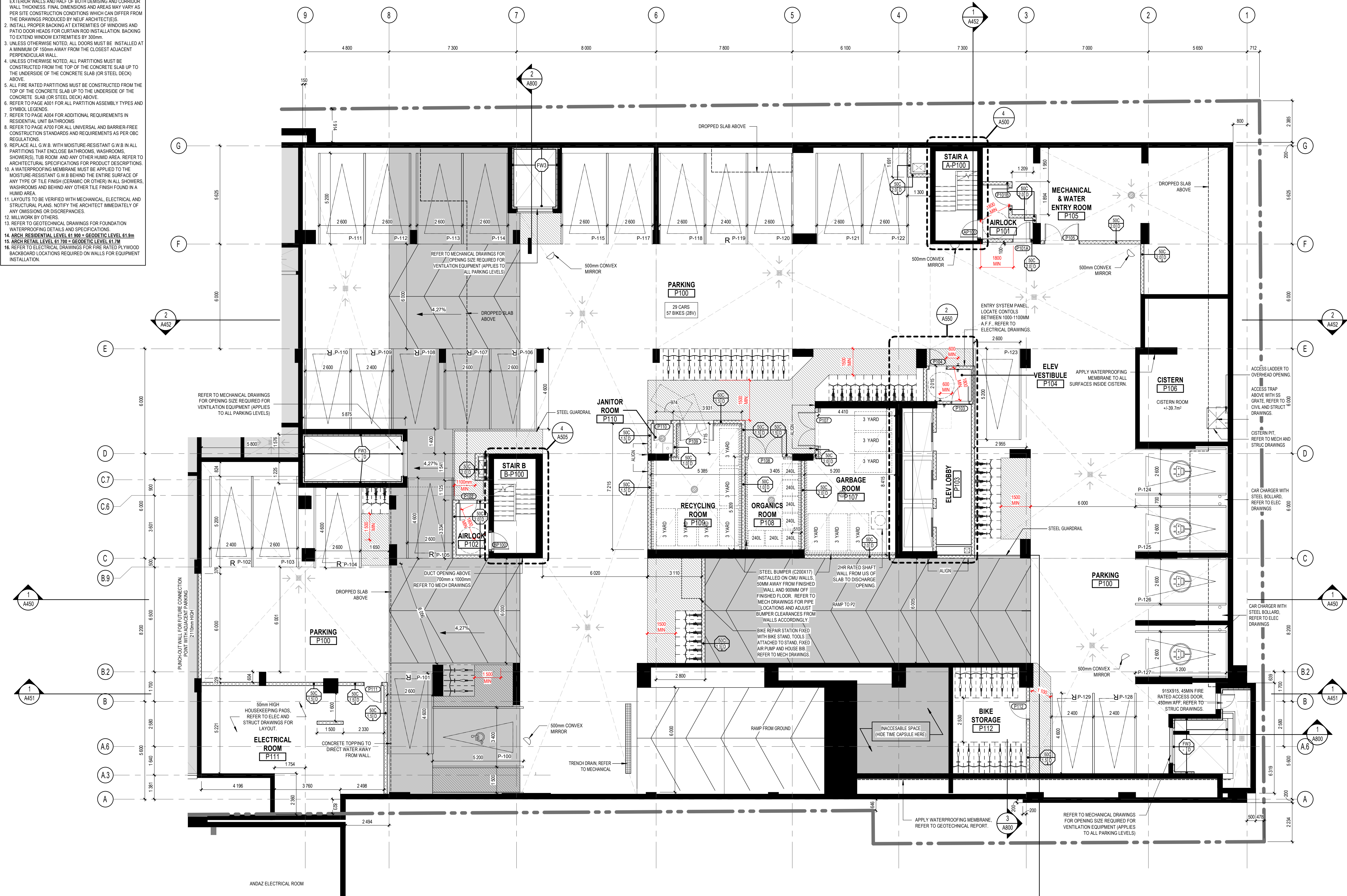
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Dwg Number

A200

GENERAL NOTES

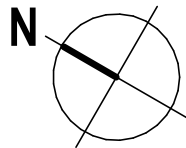
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2. INSTALL PROPER BACKING AT EXTREMITIES OF WINDOWS AND PATIO DOOR HEADS FOR CURTAIN ROD INSTALLATION. BACKING TO EXTEND WINDOW EXTREMITIES BY 300mm.
3. UNLESS OTHERWISE NOTED, ALL DOORS MUST BE INSTALLED AT A MINIMUM OF 150mm AWAY FROM THE CLOSEST ADJACENT PERPENDICULAR WALL.
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14. ARCH. RESIDENTIAL LEVEL 61 900 = GEODETIC LEVEL 61.9m
15. ARCH. RETAIL LEVEL 61 700 = GEODETIC LEVEL 61.7m
16. REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED PLYWOOD BACKBOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



P1A FLOOR PLAN (GEORGE)

1:100

A200A



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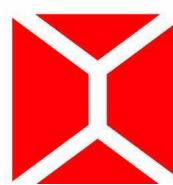
10 Robson Street, 4th floor, Ottawa ON K1N 6J1
T 514 847 1117 NEUFarchitectes.com

Seal



NEUF

ARCHITECT(E)S



Client



CLARIDGE
HOMES

Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO

REVISION

DATE (yyyy.mm.dd)

000	FOR COORDINATION	2024.11.22
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.09
SSS	RE-ISSUED FOR SITE PLAN APPROVAL	2024.12.17
TTT	FOR COORDINATION	2025.01.13
UUU	FOR COORDINATION	2025.01.17
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24
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003	SI-01	2025.02.24
004	SI-03	2025.03.21
005	SI-05	2025.04.25
006	RE-ISSUED FOR SITE PLAN APPROVAL	2025.05.28
007	SI-07	2025.06.05
XXX	RE-ISSUED FOR SITE PLAN APPROVAL	2025.06.30
YYY	RE-ISSUED FOR SITE PLAN APPROVAL	2025.07.14
012	SI-10	2025.08.06
ZZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2025.08.29

Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

SEP 2022

Scale

As indicated

Drawing Title

PARKING LEVEL 1
FLOOR PLAN (GEORGE)

Revision

ZZZ

Dwg Number

A200A

19325

GENERAL NOTES

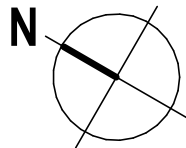
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P1B FLOOR PLAN (YORK)

1:100

1
A200B



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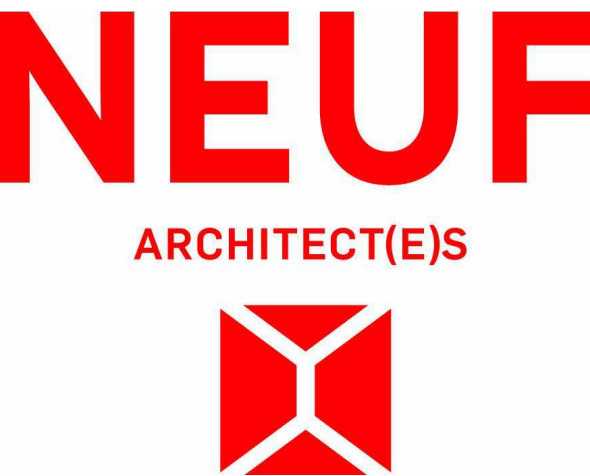
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Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No

12810

NO	REVISION	DATE (yyyy.mm.dd)
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.09
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YYY	RE-ISSUED FOR SITE PLAN APPROVAL	2025.07.14
012	SI-10	2025.08.06
014	SI-12	2025.08.25
ZZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2025.08.29

Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

FEB 2024

Scale

As indicated

Drawing Title

**PARKING LEVEL 1
FLOOR PLAN (YORK)**

Revision

ZZZ

Dwg Number

A200B

19325