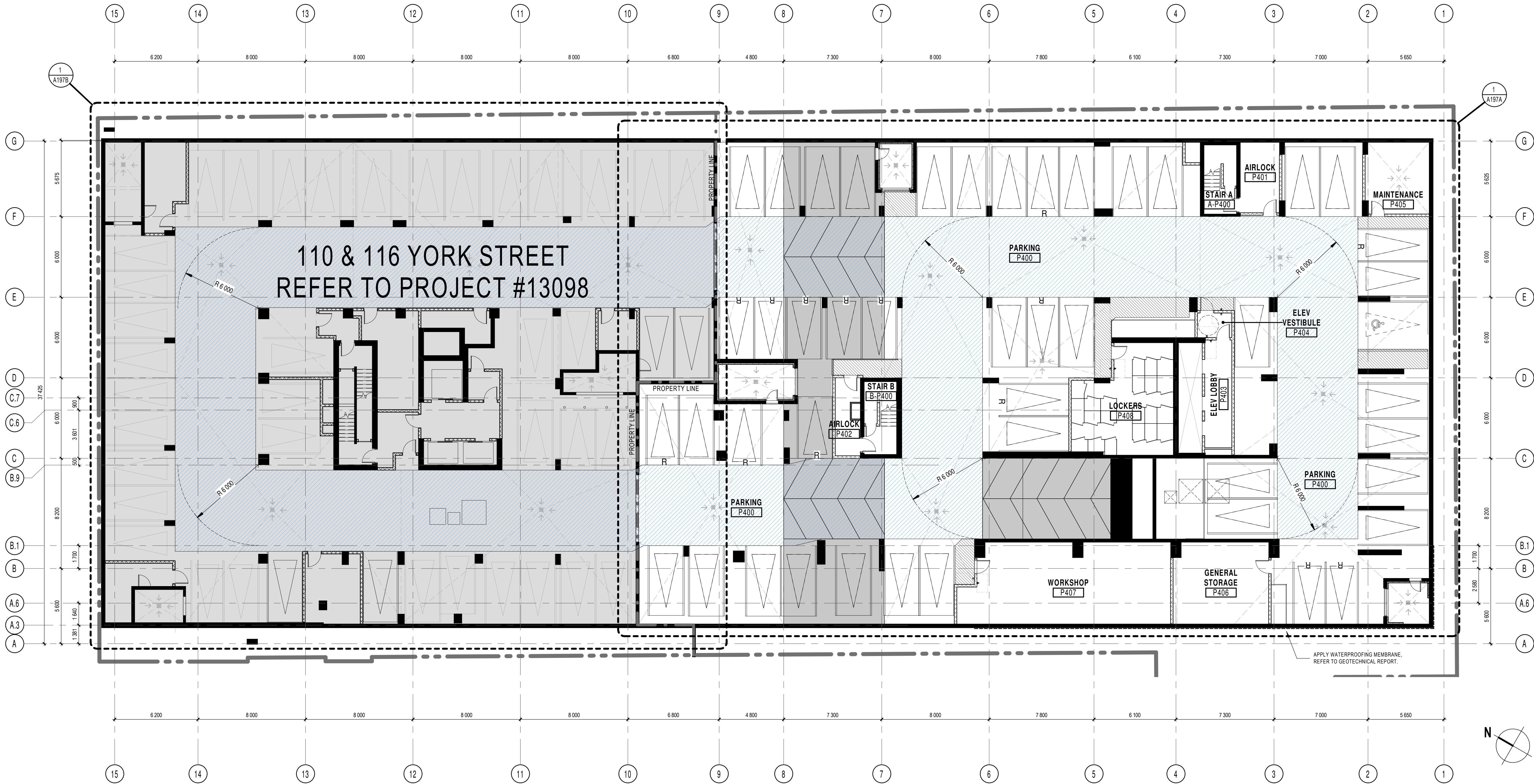


OCCUPANCY	UNITS / STOREYS	PROPOSED ZONING GFA
Residential (Rental)	297 units / Ground to 21st floors	Ground = 1 caretaker unit = 90m ² (excluded) 2 nd = 16 units = 939m ² 3 rd = 16 units = 946m ² 4 th - 11 th = 15 units/floor = 934m ² / floor 12 th = 15 units = 932m ² 13 th - 17 th = 15 units/floor = 934m ² / floor 18 th = 14 units = 876m ² 19 th & 20 th = 14 units = 851m ² 21 st = 12 units = 772m ² TOTAL = 18,309m ² (without Ground)
	Minimum 15% (44 units) required to be Barrier-Free (BF) to be distributed throughout residential storeys.	8 x Studios (1BF units = 15%) 191 x 1 Bedroom (31BF units = 16%) 98 x 2 Bedroom (15BF units = 15%) 47BF units = 15%
Commercial	Ground	Commercial = 453m ² Office = 72m ²
	TOTAL	18,834m²

AMENITY AND PARKING REQUIREMENTS ZONING - M02 (2031) S307 (PARKING COMBINED WITH FUTURE 110 & 116 YORK STREET DEVELOPMENT)					
ZONING MECHANISM	REGULATION	ORIGINAL PROPOSAL (1 STOREY PARKING (DEC 7, 2012)	PROPOSED 5 STOREY PARKING (JUN 6, 2023)	NEWLY PROPOSED 4 STOREY PARKING (DEC 2024)	
Residential Parking 141 GEORGE	None Required 6m drive aisle required.	Hotel & Condos 5 exterior 225 interior	P2 26 spaces P3 51 spaces P4 52 spaces P5 52 spaces	P3 44 spaces P4 21 spaces 6.0m drive aisle provided.	
110 & 116 YORK				P3 41 spaces P4 41 spaces	
Visitor Parking 141 GEORGE	Residential Area Z (By-law 2016-249); no more than 30 visitor spaces are required per building. Exception #2031: 0,083 spaces x 297 units = 25 visitor parking spaces 6m drive aisle required.		P1 2 spaces P2 23 spaces	P4 25 spaces 6.0m drive aisle provided.	
Commercial Parking 141 GEORGE	None Required 6.7m drive aisle required.		P1 5 spaces.	None Required.	
Hotel Parking 141 GEORGE	None Required 6m drive aisle required.		P1 25 spaces	P1 29 spaces P2 44 spaces 6.0m drive aisle provided.	
110 & 116 YORK				P1 20 spaces P2 41 spaces	
		Total: 230 spaces	Total: 246 spaces	Total: 307 spaces 141 George 164 spaces 110 York 143 spaces	
Barrier-Free Parking Combined 141 GEORGE & 110 & 116 YORK	300-399 spaces requires 4 barrier-free spaces (Traffic and Parking By-Law 2017-301)		P1 to P5 2 spaces per floor Total 10 spaces	P1 to P4 1 space per floor Total: 4 spaces	
Minimum Bicycle Parking 141 GEORGE	Residential: 0.5 spaces x 297 units = 149 bicycle parking spaces Retail: 1 space per 250m ² of GFA 468m ² GFA / 250m ² = 2 bicycle parking spaces	Condo 141 interior	Residential: 16 (P1) (Indoor) 64 (P2) 66 (P3) Retail: 5 (Exterior)	Residential: 63 (P1) 63 (P2) 31 (P3) Total 157 spaces Retail: 5 (Exterior)	
110 & 116 YORK	Hotel: 1 per 1000m ² of GFA +6,800m ² GFA/1,000m ² = 7 bicycle parking spaces Minimum 50% to be horizontal racks.	Hotel 7 exterior		Hotel 9 (Interior)	
		Total: 148 spaces	Total: 151 spaces	Total: 171 spaces 76 (~44%) vertical mount.	
Maximum parking	1.5 per dwelling unit Limited to 446 space for 297 units. (combined with visitor) 1 per 100m ² of Commercial gross area. Limited to 5 spaces.		Total parking spaces is under the limit.	Total parking spaces is under the limit.	
Minimum driveway width	6m		6m	6m	
Minimum aisle width	6m		6m	6m	
Loading	Exception #2031; None Required.		NA	NA	
Amenities Areas	Amenity Areas - 6m ² per unit = 297 units x 6m ² = 1,782m ² Communal Amenity Area - Exception #2031: minimum 40% off the required total Amenity Area = 1,782m ² x 0.4 = minimum 713m ² Layout of Communal Amenity Area - aggregated into parking up to 54m ²		Total Balconies = 1,555m ² Ground = 35m ² 2 nd = 59m ² 3 rd = 69m ² 4 th to 17 th = 75m ² / floor 18 th = 77m ² 19 th = 85m ² 20 th = 75m ² 21 st = 85m ² Total Communal = 729m ² Ground floor = 220m ² 2 nd = 195m ² 21 st = 341m ² Total = 2,284m ²	Total Balconies = 1,727m ² 2 nd = 110m ² 3 rd = 113m ² 4 th = 95m ² 5 th to 17 th = 82m ² / floor 18 th = 80m ² 19 th = 97m ² 20 th = 84m ² 21 st = 82m ² Total Communal = 773m ² Ground floor = 432m ² 2 nd = 341m ² Total = 2,500m ²	

Revision **VVV** Dwg Number **A100**

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P4 OVERALL FLOOR PLAN
1 : 150

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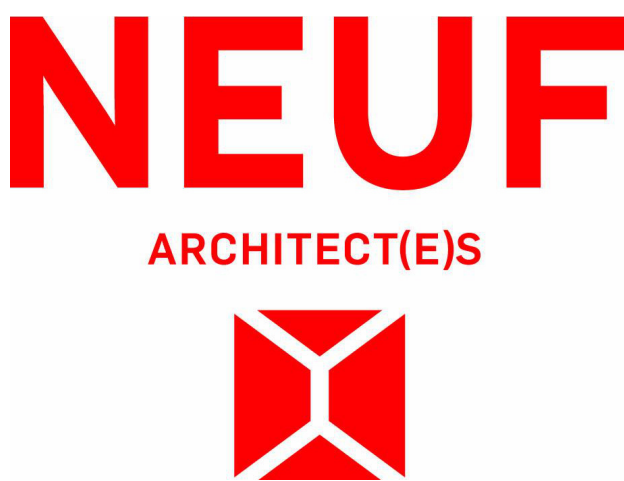
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Novatech Eng. Consultants Ltd.
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Architect

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T 514 847 1117 NEUFarchitectes.com

Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO	REVISION	DATE (yyyy.mm.dd)
LLL	FOR COORDINATION	2024.10.23
MMM	RE-ISSUED FOR SITE PLAN	2024.11.07
	APPROVAL	
TNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
RRR	RE-ISSUED FOR FOUNDATION	2024.12.09
	PERMIT	
SSS	RE-ISSUED FOR SITE PLAN	2024.12.17
	APPROVAL	
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN	2025.01.24
	APPROVAL	

Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

OCT 2024

Scale

1 : 150

Drawing Title

**PARKING LEVEL 4
FLOOR PLAN**

Revision

VVV

Dwg Number

A197

PC2024-0200
D070-12-12-0199

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8. GROSS UNIT AREA IS OBTAINED ON THE DRAWINGS BY INCLUDING ALL WALL THICKNESS, FINISHES, PARTITIONS AND CONCRETE WALL THICKNESS. FINAL DIMENSIONS AND AREAS MAY VARY AS PER SITE CONSTRUCTION CONDITIONS WHICH CAN DIFFER FROM THE DRAWINGS PRODUCED BY NEUF ARCHITECTES.
9. ALL INTERIOR FLOORS SHALL BE FINISHED WITH TILES AND PATIO DROOP HEADS FOR CURTAIN ROD INSTALLATION, BACKING TO EXTEND DOWNWARD EXTERNALLY BY 300mm.
10. ALL INTERIOR DOORWAYS SHALL BE INSTALLED AT A MINIMUM OF 1500mm away from the CLOSEST ADJACENT PERPENDICULAR WALL.
11. UNLESS OTHERWISE STATED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
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14. REFERENCE TO PAGE A004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT BATHROOMS
15. REFERENCE TO PAGE C170 FOR UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER CBC REGULATION
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17. APPLY MOISTURE-RESISTANT MEMBRANE TO BE APPLIED TO THE MOISTURE-RESISTANT G.W.B. BEHIND THE ENTIRE SURFACE OF ANY TYPE OF TILE FINISH (CERAMIC OR OTHER) IN ALL SHOWERS WASHROOMS AND BEHIND ANY OTHER TILE FINISH FOUND IN A HUMID AREA.
18. LAYOUTS TO BE VERIFIED WITH MECHANICAL, ELECTRICAL AND STRUCTURAL PLANS; NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
19. MILLWORK BY OTHERS.
20. REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION WATERPROOFING DETAILS AND SPECIFICATIONS.
21. **ARCHITECTURAL LEVEL 61.9m - GEODETIC LEVEL 61.9m**
22. **ARCH RECALL LEVEL 61.70m - GEODETIC LEVEL 61.7m**
23. REFER TO ELECTRICAL DRAWINGS FOR WIRING FLAT PLYWOOD BASE BOARD LOCATIONS REQUIRED ON RAILS FOR EQUIPMENT INSTALLATION.



1
A197A

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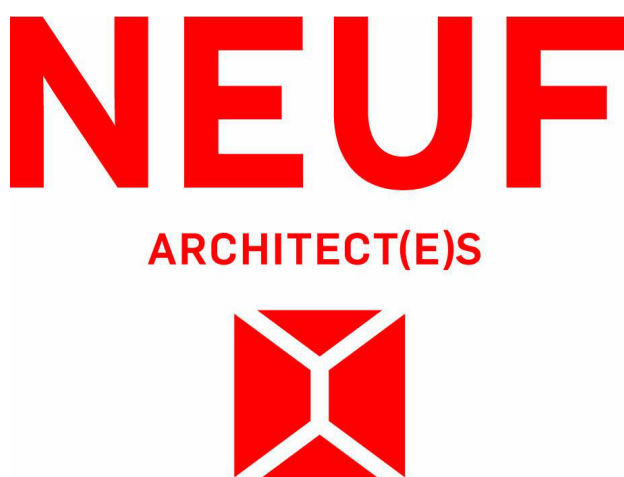
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T 905 285 9900 jainconsultants.com

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3332, Carling Avenue, Ottawa, ON, K2H 5A8
T 613 722 5168 jbla.ca

Novatech Eng. Consultants Ltd.
240, Michael Cowpland Drive, Suite 200, Ottawa ON K2M 1P6
T 613 234 9643 novatech-eng.com

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HOMES

141 GEORGE STREET

OTTAWA

12810

NO	REVISION	DATE (yyyy.mm.dd)
LLL	FOR COORDINATION	2024.10.23
MMM	RE-ISSUED FOR SITE PLAN APPROVAL	2024.11.07
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.09
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24

S.

DATE (aa.mm.jj)
OCT 2024

Drawing Title

Abstract

PAR

LH

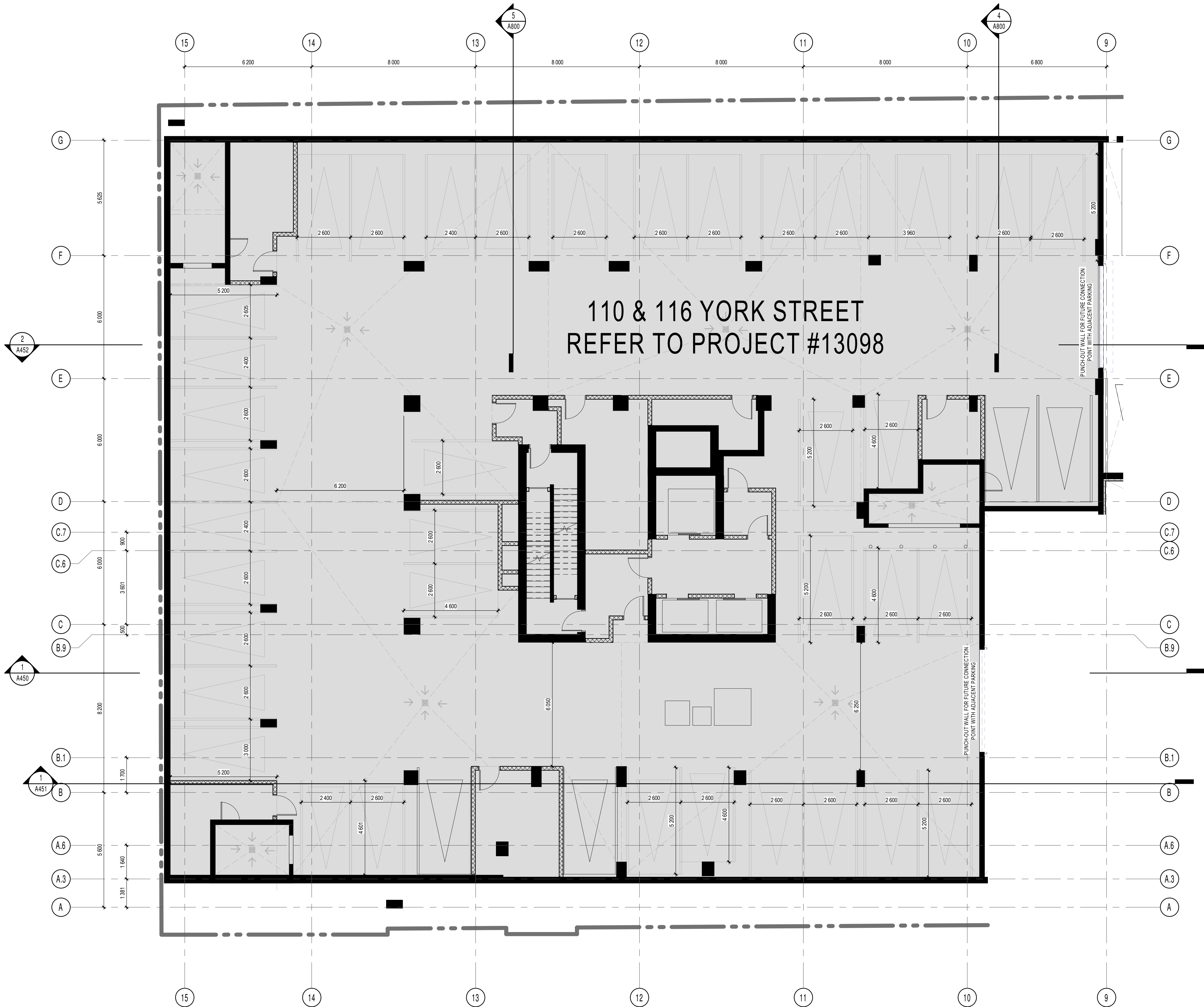
Scale
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97A

GENERAL NOTES

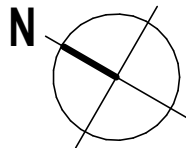
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P4B FLOOR PLAN (YORK)

1 : 100

1
A197B



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JAIR

7405 East Danboro Crescent, 2nd Floor Mississauga, Ontario, L5N 6P8
T 905 285 9900 jairconsultants.com

Structural Engineer

Goodeve Structural Inc.

18-77 Aurora Drive, Ottawa, ON K2E 7Z7
T 613 226 4558 goodevestructural.ca

Landscape Architect

James B. Lennox & Associates

3332, Carling Avenue, Ottawa, ON, K2H 5A8
T 613 722 5188 jbl.ca

Civil

Novatech Eng. Consultants Ltd.

250, Michael Cowdland Drive, Suite 200, Ottawa ON K2M 1P6
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Architect

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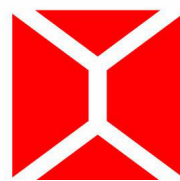
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NEUF

ARCHITECT(E)S



Client



**CLARIDGE
HOMES**

Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO REVISION DATE (yyyy.mm.dd)

LLL	FOR COORDINATION	2024.10.23
MMM	RE-ISSUED FOR SITE PLAN	2024.11.07
TTT	APPROVAL	
TNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
RRR	RE-ISSUED FOR FOUNDATION	2024.12.09
SSS	PERMIT	
SSS	RE-ISSUED FOR SITE PLAN	2024.12.17
TTT	APPROVAL	
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN	2025.01.24
	APPROVAL	

Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

OCT 2024

Scale

As indicated

Drawing Title

**PARKING LEVEL 4
FLOOR PLAN (YORK)**

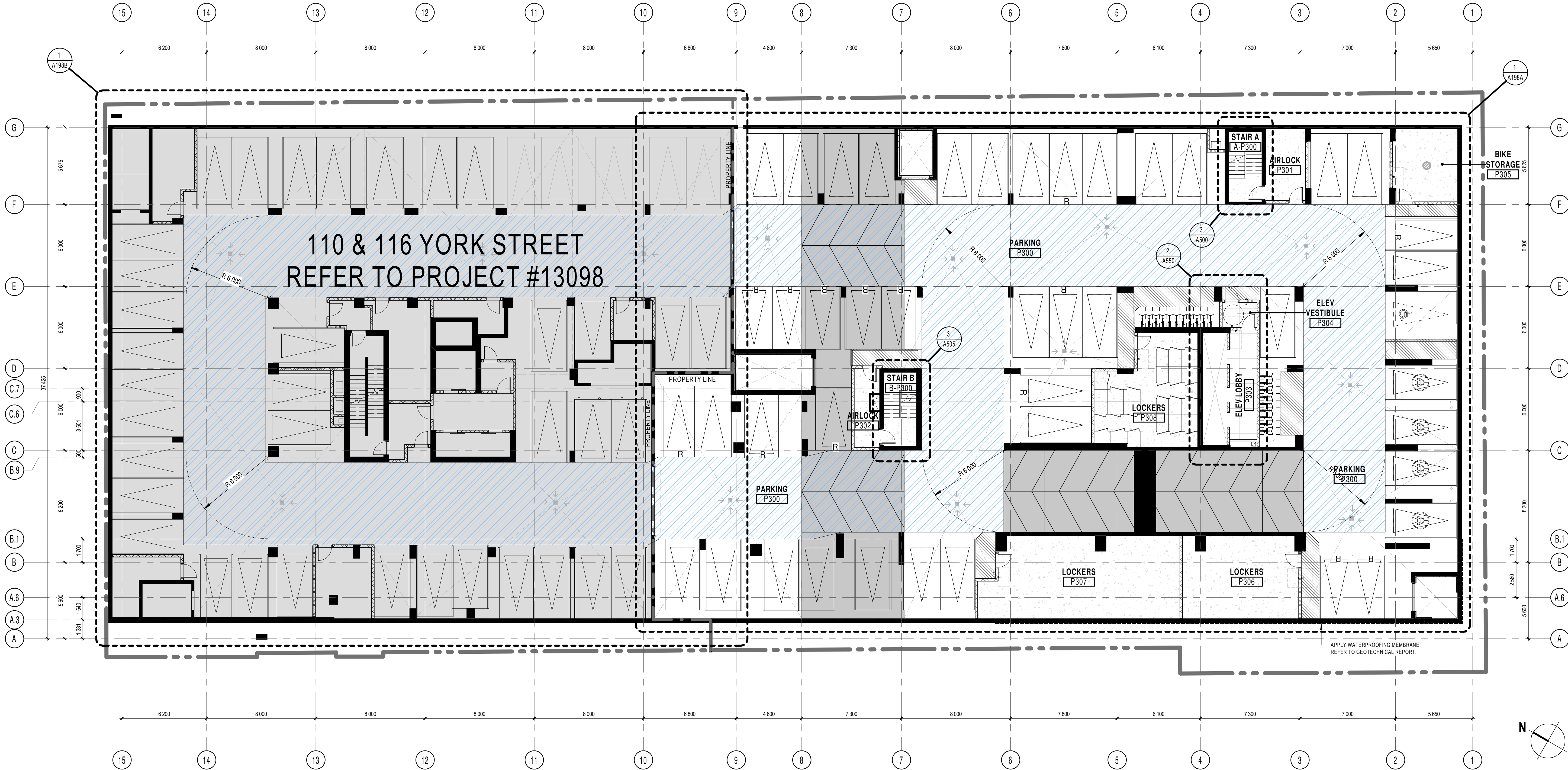
Revision

VVV

Dwg Number

A197B

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P3 OVERALL FLOOR PLAN
1 : 150

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T 905 285 9900 jainconsultants.com

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T 613 226 4558 goodevestructural.ca

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T 613 722 5188 jbl.ca

Civil
Novatech Eng. Consultants Ltd.
240, Michael Cowland Drive, Suite 200, Ottawa ON K2M 1P6
T 613 234 9643 novatech-eng.com

Architect
NEUF Architectes INC.
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T 514 847 1117 NEUFarchitectes.com

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Project

141 GEORGE STREET

Location
OTTAWA

No.
12810

NO	REVISION	DATE (yyyy.mm.dd)
AAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	RE-ISSUED FOR SITE PLAN	2024.11.07
	APPROVAL	
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
RRR	RE-ISSUED FOR FOUNDATION	2024.12.09
	PERMIT	
SSS	RE-ISSUED FOR SITE PLAN	2024.12.17
	APPROVAL	
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VVV	RE-ISSUED FOR SITE PLAN	2025.01.24
	APPROVAL	

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DATE (aa.mm.jj)
SEP 2022

Scale
1 : 150

Drawing Title

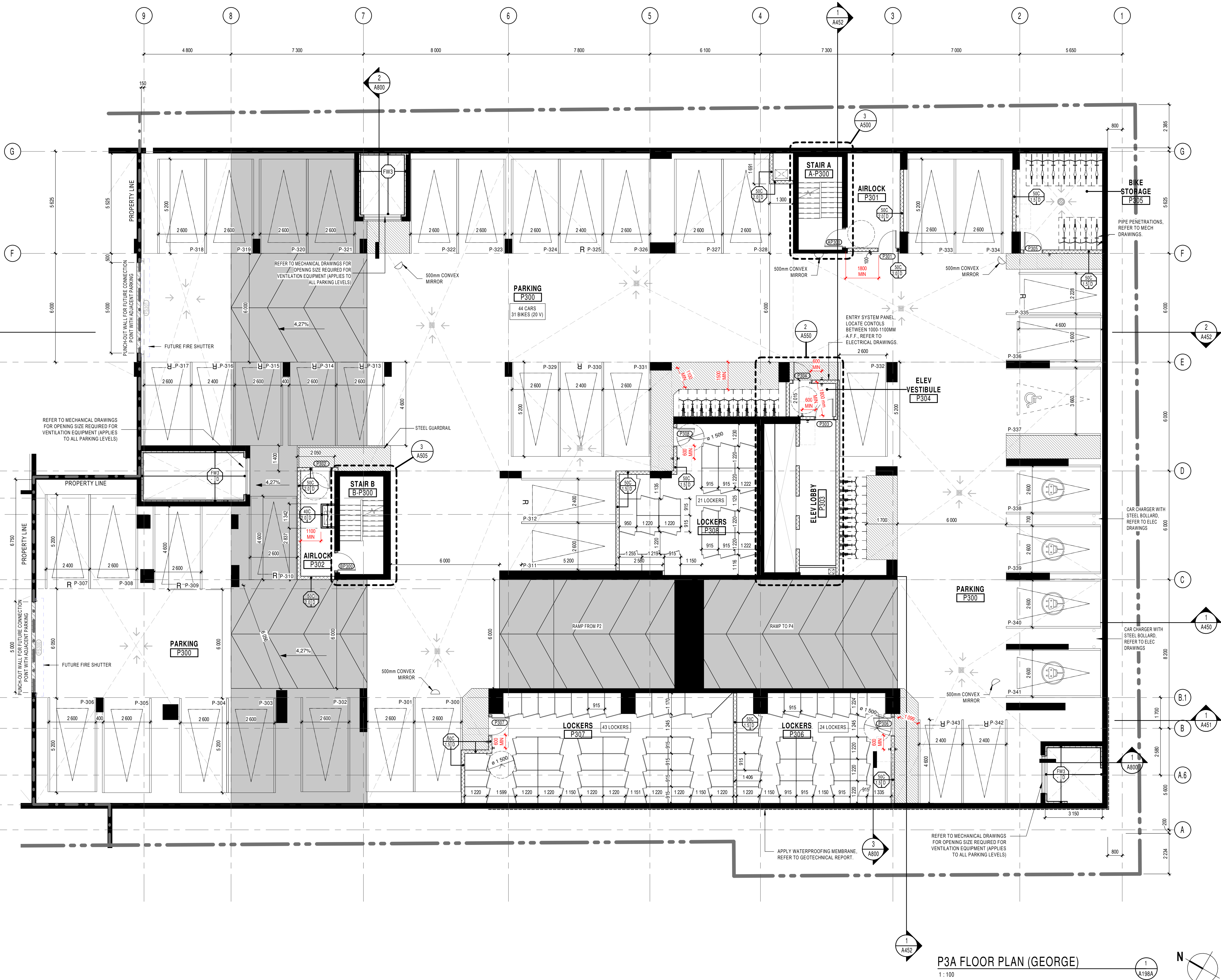
**PARKING LEVEL 3
FLOOR PLAN**

Revision
VVV

Dwg Number
A198

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P3A FLOOR PLAN (GEORGE)
1:100

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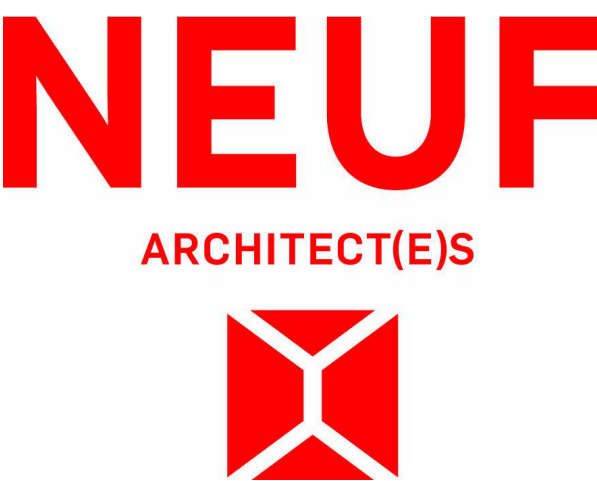
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T 514 847 1117 NEUFarchitectes.com

Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO	REVISION	DATE (yyyy.mm.dd)
YY	FOR COORDINATION	2024.05.14
ZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2024.05.16
XAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	RE-ISSUED FOR SITE PLAN APPROVAL	2024.11.07
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.09
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24

Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

SEP 2022

Scale

As indicated

Drawing Title

**PARKING LEVEL 3
FLOOR PLAN (GEORGE)**

Revision

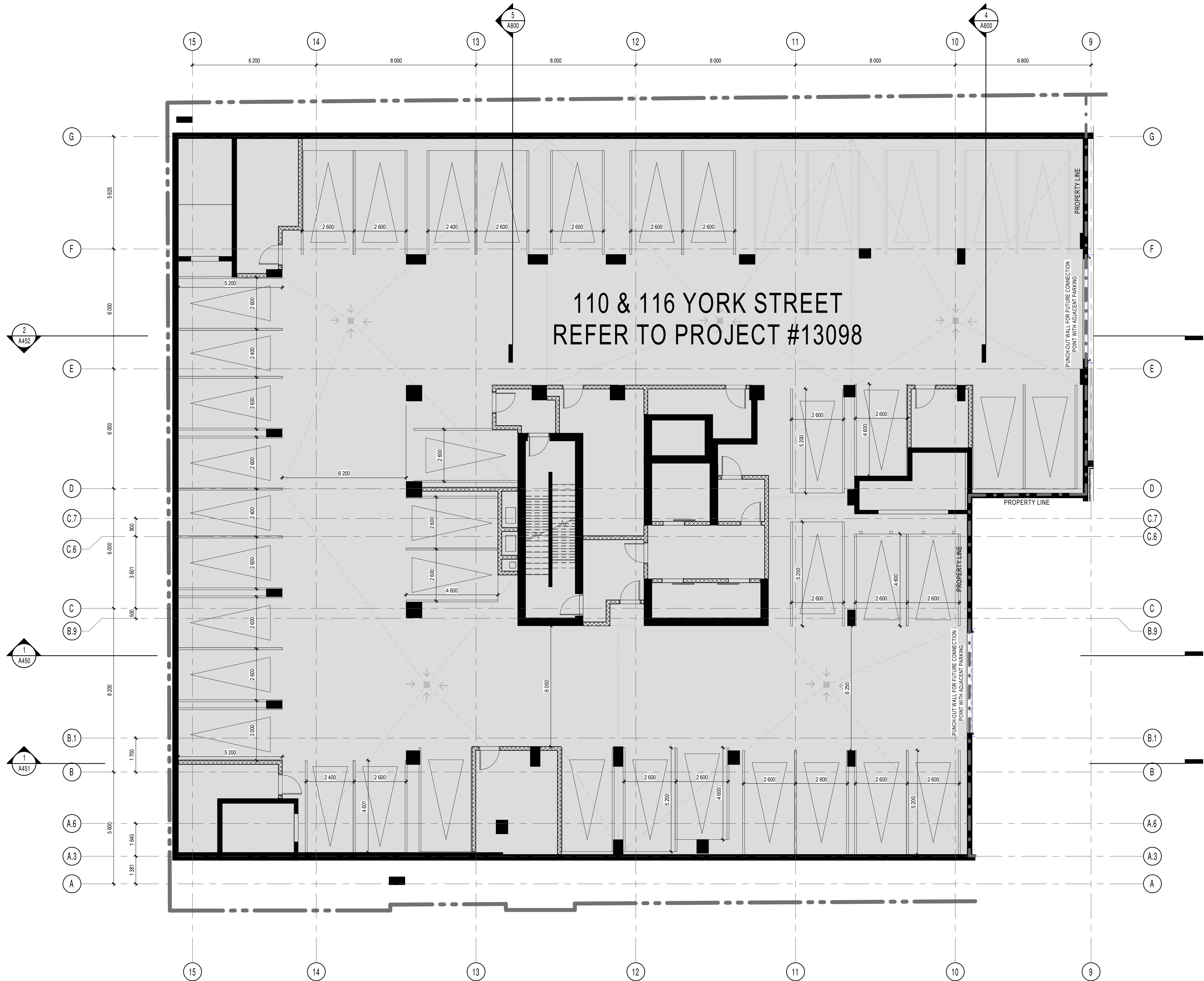
VVV

Dwg Number

A198A

GENERAL NOTES

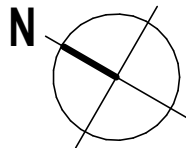
- AREAS AND DIMENSIONS ARE APPROXIMATE AND MAY CHANGE WITHOUT NOTICE. IF APPLICABLE, AREA AND LOCATION OF BALCONIES/TERRACES MAY BE CHANGED, VARIED OR MIRRORED FROM ONE FLOOR TO ANOTHER. FURNITURE IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS OTHERWISE NOTED, GROSS UNIT AREA IS OBTAINED ON THE DRAWINGS BY INCLUDING EXTERIOR WALLS AND HALF OF BOTH DEMISING AND CORRIDOR WALL THICKNESS. FINAL DIMENSIONS AND AREAS MAY VARY AS PER SITE CONSTRUCTION CONDITIONS WHICH CAN DIFFER FROM THE DRAWINGS PRODUCED BY NEUF ARCHITECTE(S).
- INSTALL PROPER BACKING AT EXTREMITIES OF WINDOWS AND PATIO DOOR HEADS FOR CURTAIN ROD INSTALLATION. BACKING TO EXTEND WINDOW EXTREMITIES BY 300mm.
- UNLESS OTHERWISE NOTED, ALL DOORS MUST BE INSTALLED AT A MINIMUM OF 150mm AWAY FROM THE CLOSEST ADJACENT PERPENDICULAR WALL.
- UNLESS OTHERWISE NOTED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- ALL FIRE RATED PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- REFER TO PAGE A001 FOR ALL PARTITION ASSEMBLY TYPES AND SYMBOL LEGENDS.
- REFER TO PAGE A004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT BATHROOMS.
- REFER TO PAGE A700 FOR ALL UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER OBC REGULATIONS.
- REPLACE ALL G.W.B. WITH MOISTURE-RESISTANT G.W.B. IN ALL PARTITIONS THAT ENCLOSE BATHROOMS, WASHROOMS, SHOWERS(S), TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
- A WATERPROOFING MEMBRANE MUST BE APPLIED TO THE MOISTURE-RESISTANT G.W.B. BEHIND THE ENTIRE SURFACE OF ANY TYPE OF TILE FINISH (CERAMIC OR OTHER) IN ALL SHOWERS, WASHROOMS AND BEHIND ANY OTHER TILE FINISH FOUND IN A HUMID AREA.
- LAYOUTS TO BE VERIFIED WITH MECHANICAL, ELECTRICAL AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY OMISSIONS OR DISCREPANCIES.
- MILLWORK BY OTHERS.
- REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION WATERPROOFING DETAILS AND SPECIFICATIONS.
- ARCH RESIDENTIAL LEVEL 61 900 = GEODETIC LEVEL 61.9m
- ARCH RETAIL LEVEL 61 700 = GEODETIC LEVEL 61.7m
- REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED PLYWOOD BACKBOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



P3B FLOOR PLAN (YORK)

1 : 100

1
A198B



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JAIN
7405 East Danboro Crescent, 2nd Floor Mississauga, Ontario, L5N 6P8
T 905 285 9900 jainconsultants.com

Structural Engineer

Goodeve Structural Inc.
18-77 Aurora Drive, Ottawa ON K2E 7Z7
T 613 226 4556 goodevestructural.ca

Landscape Architect

James B. Lennox & Associates
3332, Carling Avenue, Ottawa, ON, K2H 5A8
T 613 722 6166 jbl.ca

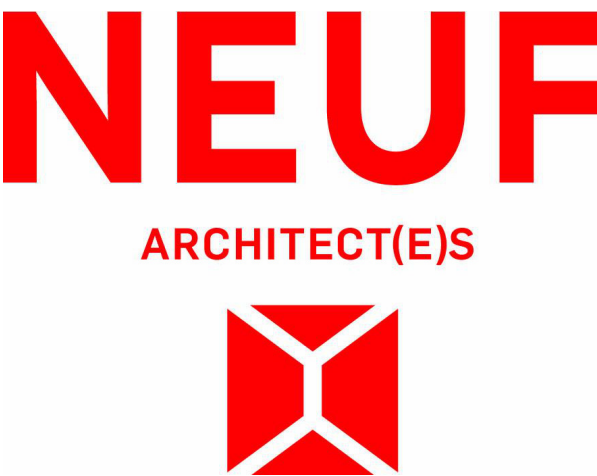
Civil

Novatech Eng. Consultants Ltd.
250, Michael Cowland Drive, Suite 200, Ottawa ON K2M 1P6
T 613 234 9643 novatech-eng.com

Architect

NEUF Architectes INC.
19 Robson Street, 4th floor, Ottawa ON K1N 6J1
T 514 847 1117 NEUFarchitectes.com

Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO	REVISION	DATE (yyyy.mm.dd)
AAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	RE ISSUED FOR SITE PLAN	2024.11.07
	APPROVAL	
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
RRR	RE ISSUED FOR FOUNDATION	2024.12.09
	PERMIT	
SSS	RE ISSUED FOR SITE PLAN	2024.12.17
	APPROVAL	
TTT	FOR COORDINATION	2025.01.13
VVV	RE ISSUED FOR SITE PLAN	2025.01.24
	APPROVAL	

Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

SEP 2022

Scale

As indicated

Drawing Title

**PARKING LEVEL 3
FLOOR PLAN (YORK)**

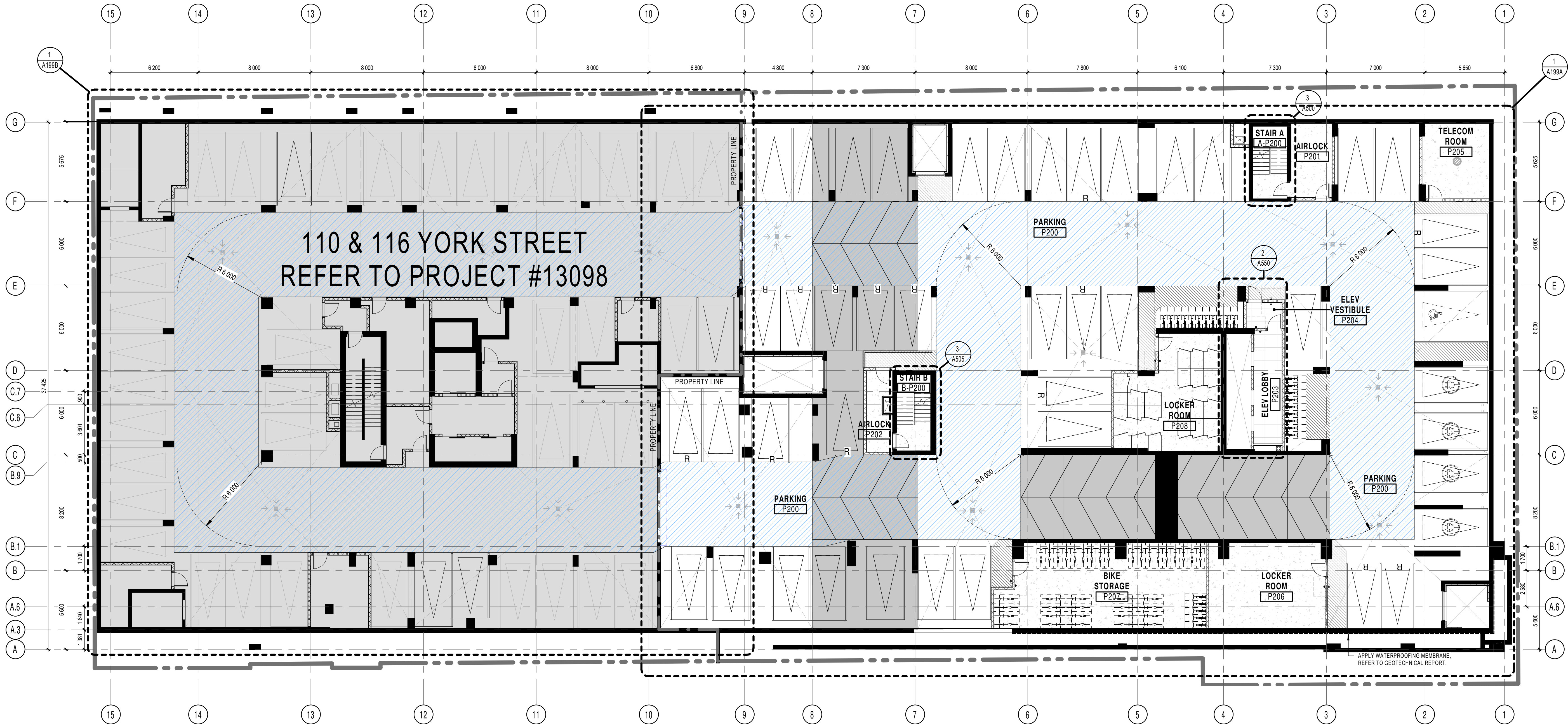
Revision

VVV

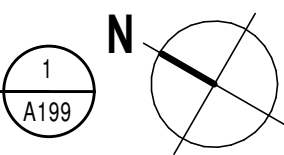
Dwg Number

A198B

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P2 OVERALL FLOOR PLAN
1 : 150



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T 905 285 9900 jainconsultants.com

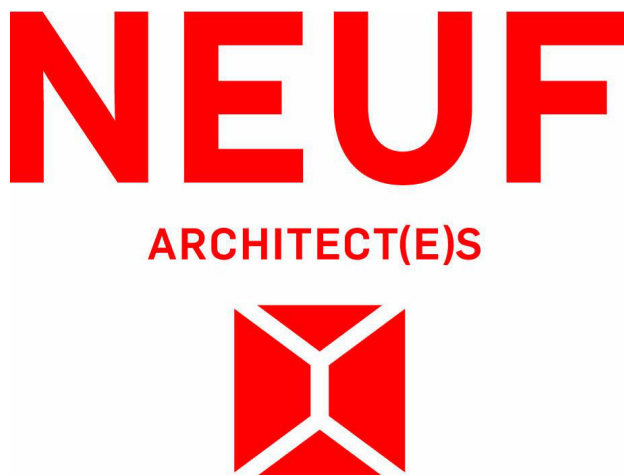
Structural Engineer
Goodeve Structural Inc.
18-77 Aurora Drive, Ottawa ON K2E 7Z7
T 613 222 4558 goodevestructural.ca

Landscape Architect
James B. Lennox & Associates
3332, Carling Avenue, Ottawa, ON, K2H 5A8
T 613 722 5188 jbla.ca

Civil
Novatech Eng. Consultants Ltd.
240, Michael Cowan Road, Suite 200, Ottawa ON K2M 1P6
T 613 234 9643 novatech-eng.com

Architect
NEUF Architectes INC.
15 Robson Street, 4th floor, Ottawa ON K1N 6J1
T 514 847 1117 NEUFarchitectes.com

Seal



Client



Project

141 GEORGE STREET

Location
OTTAWA

No.
12810

NO	REVISION	DATE (yyyy.mm.dd)
AAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	RE ISSUED FOR SITE PLAN	2024.11.07
	APPROVAL	
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
RRR	RE ISSUED FOR FOUNDATION PERMIT	2024.12.09
SSS	RE ISSUED FOR SITE PLAN	2024.12.17
TTT	FOR COORDINATION	2025.01.13
VVV	RE ISSUED FOR SITE PLAN	2025.01.24
	APPROVAL	

Drawn by
SJ

Checked by
LC

DATE (aa.mm.jj)
FEB 2024

Scale
1 : 150

Drawing Title
PARKING LEVEL 2 FLOOR PLAN

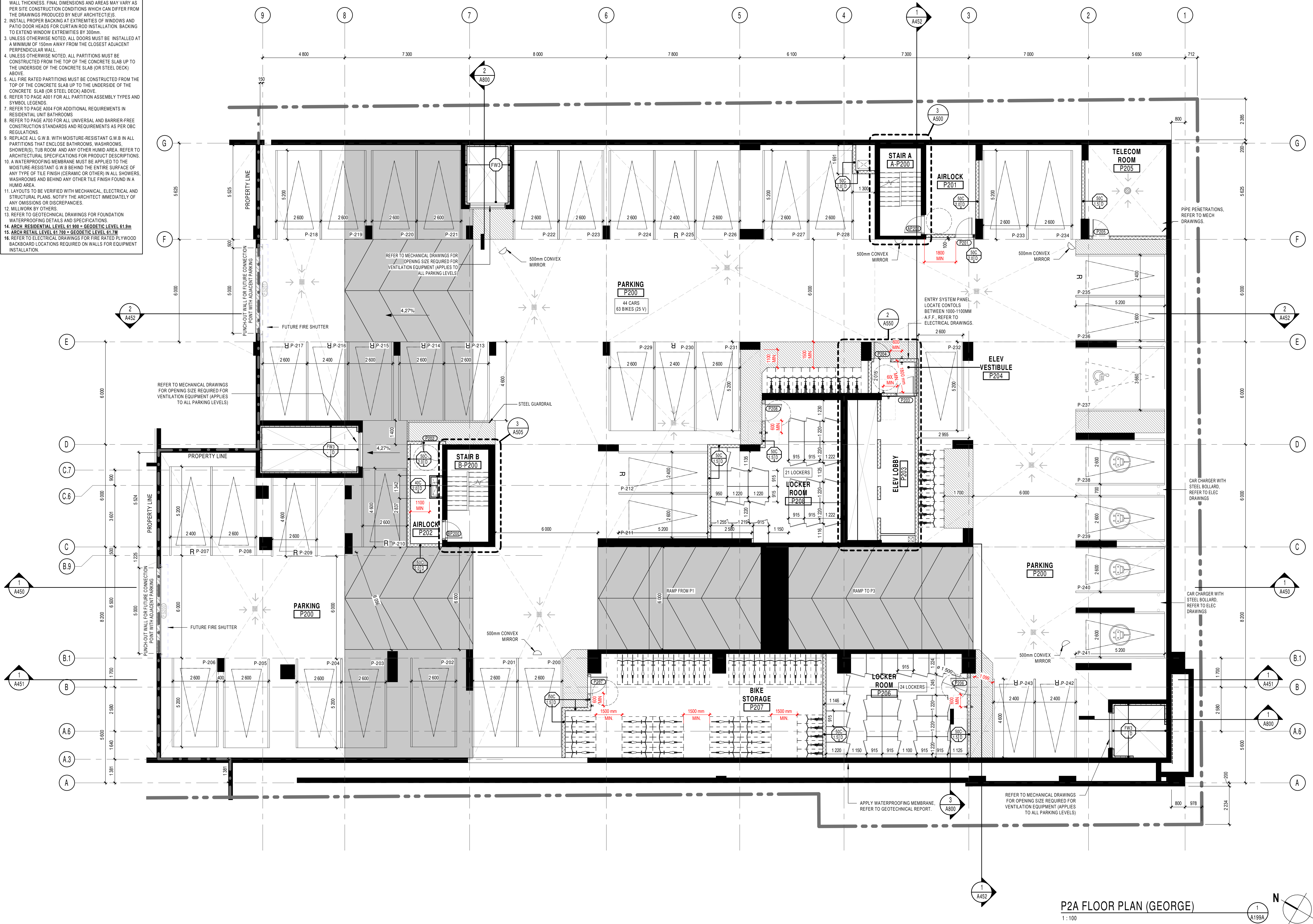
Revision
VVV

Dwg Number
A199

PC2024-0200
D070-12-12-0199
16814

GENERAL NOTES

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2. INSTALL PROPER BACKING AT EXTREMITIES OF WINDOWS AND PATIO DOOR HEADS FOR CURTAIN ROD INSTALLATION. BACKING TO EXTEND WINDOW EXTREMITIES BY 300mm.
3. UNLESS OTHERWISE NOTED, ALL DOORS MUST BE INSTALLED AT A MINIMUM OF 150mm AWAY FROM THE CLOSEST ADJACENT PERPENDICULAR WALL.
4. UNLESS OTHERWISE NOTED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
5. ALL FIRE RATED PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
6. REFER TO PAGE A001 FOR ALL PARTITION ASSEMBLY TYPES AND SYMBOL LEGENDS.
7. REFER TO PAGE A004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT BATHROOMS.
8. REFER TO PAGE A700 FOR ALL UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER OBC REGULATIONS.
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11. LAYOUTS TO BE VERIFIED WITH MECHANICAL, ELECTRICAL AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY OMISSIONS OR DISCREPANCIES.
12. MILLWORK BY OTHERS.
13. REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION WATERPROOFING DETAILS AND SPECIFICATIONS.
14. ARCH RESIDENTIAL LEVEL 61.900 = GEODETIC LEVEL 61.9m
15. ARCH RETAIL LEVEL 61.700 = GEODETIC LEVEL 61.7m
16. REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED PLYWOOD BACKBOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



P2A FLOOR PLAN (GEORGE)

1:100

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T 905 285 9900 jainconsultants.com

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T 613 722 5185 jbla.ca

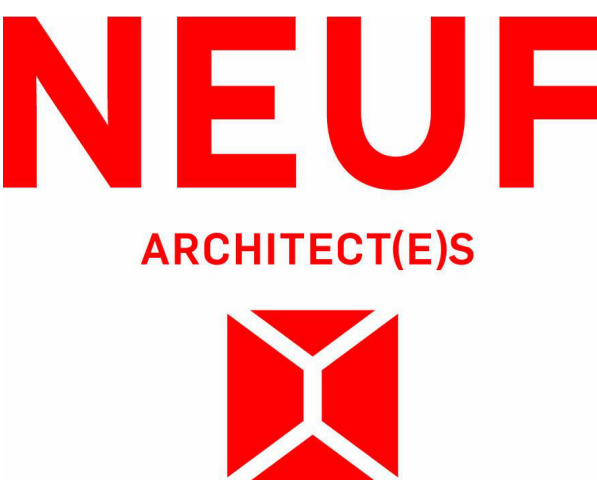
Civil

Novatech Eng. Consultants Ltd.
250, Michael Coward Drive, Suite 200, Ottawa ON K2M 1P6
T 613 234 9643 novatech-eng.com

Architect

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19 Robson Street, 4th floor, Ottawa ON K1N 6J1
T 514 847 1117 NEUFarchitectes.com

Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO	REVISION	DATE (yyyy-mm-dd)
ZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2024.05.16
AAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.06.29
DDD	FOR SHORING COORDINATION	2024.06.03
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	RE-ISSUED FOR SITE PLAN APPROVAL	2024.11.07
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.09
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24

Drawn by

SJ

DATE (aa.mm.jj)

SEP 2022

Drawing Title

PARKING LEVEL 2 FLOOR PLAN (GEORGE)

Checked by

LH

Scale

As indicated

Revision

VVV

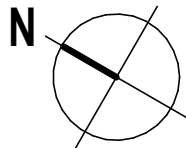
Dwg Number

A199A

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4. GROSS UNIT AREA IS OBTAINED ON THE DRAWINGS BY INCLUDING AND EXCLUDING THE AREA OF THE CONCRETE SLAB AND CONCRETE WALL THICKNESS. FINAL DIMENSIONS AND AREAS MAY VARY AS PER SITE CONSTRUCTION CONDITIONS WHICH CAN DIFFER FROM THE DRAWINGS PRODUCED BY SELF ARCHITECTS.
5. REFER TO PAGE 400 FOR THE DETAILS OF THE STAIRS AND PATIO DOOR HEADS FOR CURTAIN ROD INSTALLATION. BACKING TO EXTEND WINDOW EXTREMITIES BY 300mm.
6. ALL WINDOWS AND DOORS MUST BE INSTALLED AT A MINIMUM OF 150mm away FROM THE CLOSEST ADJACENT PERPENDICULAR WALL.
7. UNLESS OTHERWISE NOTED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
8. ALL THE RATED PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
9. REFER TO PAGE 4001 FOR ALL PARTITION ASSEMBLY TYPES AND SYMBOLS.
10. REFER TO PAGE 4004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT REQUIREMENTS.
11. REFER TO PAGE 4008 FOR THE UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER OBC REGULATION.
12. REPLACE ALL G.W.B WITH MOISTURE-RESISTANT G.W.B IN ALL BATHS, TOILETS, ENCLOSE BATHROOMS, WASHROOMS, SHOWERS), TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
13. REFER TO PAGE 4009 FOR THE APPLICATION OF THE MOISTURE-RESISTANT G.W.B BEHIND THE ENTIRE SURFACE OF ANY TYPE OF TILE FINISH (CERAMIC OR OTHER) IN ALL SHOWERS, WASHROOMS AND BEHIND ANY OTHER TILE FINISH FOUND IN A HUMID AREA.
14. LAYOUTS TO BE VERIFIED WITH MECHANICAL, ELECTRICAL, AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.
15. MILL WORK BY OTHERS.
16. REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION AND DRAINAGE DETAILS.
17. REFER TO ARCHITECTURAL SPECIFICATIONS FOR **MINIMUM LEVEL 61.9m**
18. **ARCH. REFLECT DETAIL 61.770 - GEOTECHNICAL LEVEL 61.77m**
19. REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED PLYWOOD BASE BOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



1 : 100



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Goodeve Structural Inc.

18-77 Auriga Drive, Ottawa ON K2E 7Z7
T 613 226 4558 goodevestructural.ca

James B. Lennox & Associates

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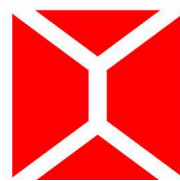
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T 514 847 1117 NEUFarchitectes.com

Seas



NEUF

ARCHITECT(E)S



Client:



CLARIDGE
HOMES

Project

141 GEORGE STREET

Location
OTTAWA

12810

NO	REVISION	DATE (yyyy.mm.dd)
AAA	FOR COORDINATION	2024.06.29
CCC	FOR TENDER	2024.06.29
DDD	FOR SHORING COORDINATION	2024.06.29
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.29
MMM	RE-ISSUED FOR SITE PLAN APPROVAL	2024.11.07
NNN	FOR COORDINATION	2024.11.11
OOO	FOR COORDINATION	2024.11.21
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.05
SSS	RE-ISSUED FOR SITE PLAN APPROVAL	2024.12.17
TTT	FOR COORDINATION	2025.01.15
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.02.21

Drawn by
SJ

DATE (aa.mm.jj)
FEB 2024

Drawing Title

Checked by
LH

Scale
As indicated

PARKING LEVEL 2 FLOOR PLAN (YORK)

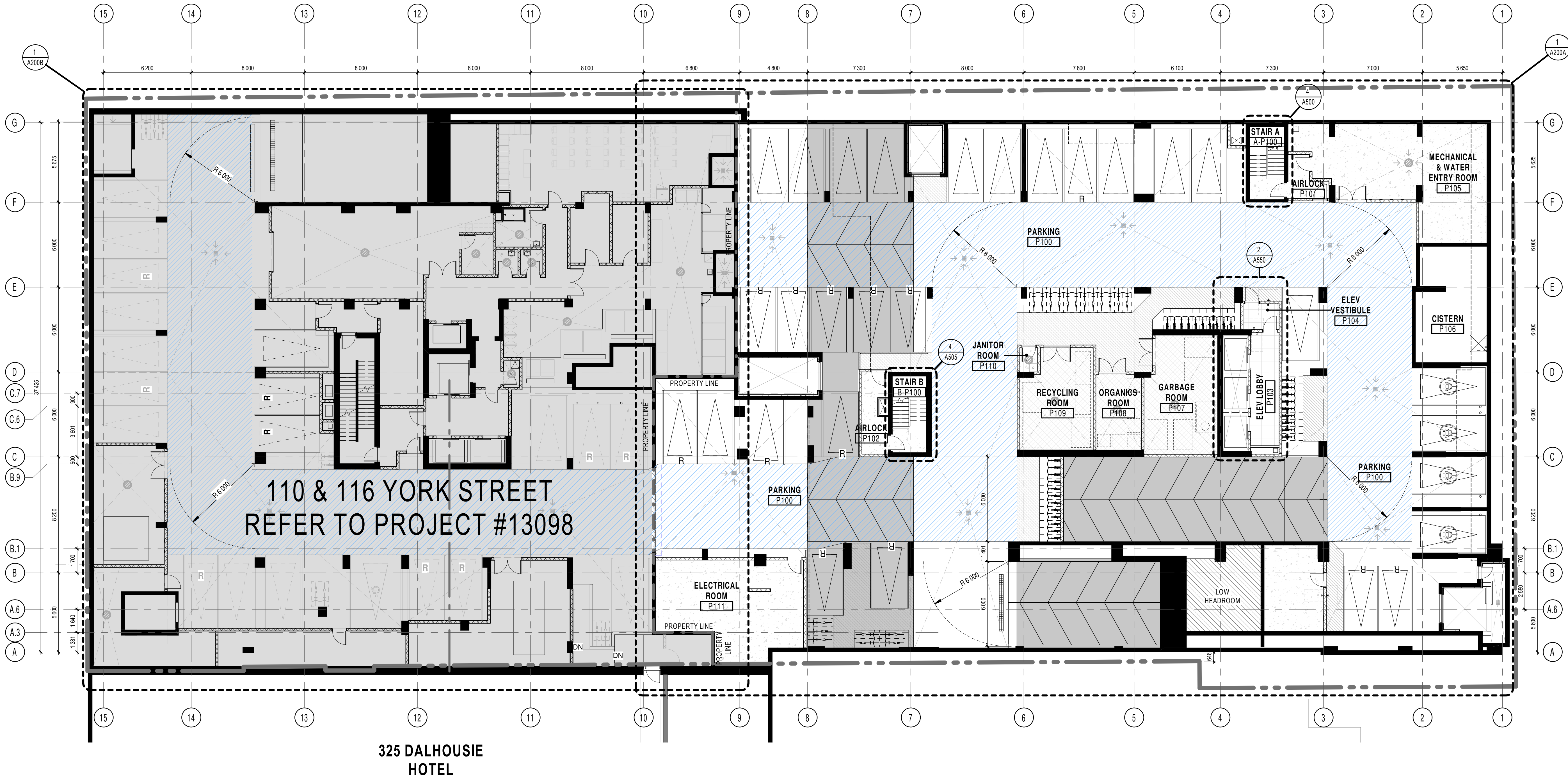
Revision

Dwg Number



A199

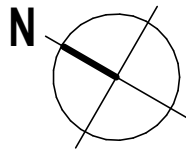
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325 DALHOUSIE
HOTEL

P1 OVERALL FLOOR PLAN
1 : 150

1
A200



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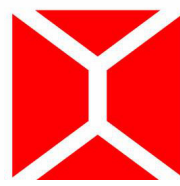
Architect

NEUF Architectes INC.
15 Robson Street, 4th floor, Ottawa ON K1N 6J1
T 514 847 1117 NEUFarchitectes.com

Seal



NEUF
ARCHITECT(E)S



Client



Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO	REVISION	DATE (yyyy.mm.dd)
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
GGG	FOR TENDER - ADDENDUM 02	2024.07.09
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	RE ISSUED FOR SITE PLAN	2024.11.07
	APPROVAL	
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
RRR	RE ISSUED FOR FOUNDATION PERMIT	2024.12.09
SSS	RE ISSUED FOR SITE PLAN	2024.12.17
TTT	FOR COORDINATION	2025.01.13
UUU	FOR COORDINATION	2025.01.17
VVV	RE ISSUED FOR SITE PLAN	2025.01.24
	APPROVAL	

Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

SEP 2022

Scale

1 : 150

Drawing Title

**PARKING LEVEL 1
OVERALL FLOOR PLAN**

Revision

VVV

Dwg Number

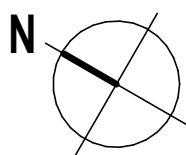
A200

PC2024-0200
D070-12-12-0199
16814

3. AREAS AND DIMENSIONS ARE APPROXIMATE AND MAY CHANGE WITHOUT NOTICE. IF APPLICABLE, AREA AND LOCATION OF BALCONIES/TERRACES MAY BE CHANGED, VARED OR MIRRORED PART OF THE FLOOR TO BE CONCRETE SLAB. THIS IS FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS OTHERWISE NOTED, GROSS UNIT AREA IS OBTAINED ON THE DRAWINGS BY INCLUDING AND EXCLUDING ALL WALLS, PARTITIONS, DOORS AND CORNER WALL THICKNESS. FINAL DIMENSIONS AND AREAS MAY VARY AS PER SITE CONSTRUCTION CONDITIONS WHICH CAN DIFFER FROM THE DRAWINGS PRODUCED BY SELF ARCHITECTS.
4. REFER TO PAGE 1008 FOR DETAILS OF STAIRS, SHOWERS AND PATIO DOOR HEADS FOR CURTAIN ROD INSTALLATION. BACKING TO EXTEND WINDOW EXTREMITIES BY 300mm.
5. ALL WINDOWS AND DOORS MUST BE INSTALLED AT A MINIMUM OF 150mm away FROM THE CLOSEST ADJACENT PERPENDICULAR WALL.
4. UNLESS OTHERWISE NOTED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
5. ALL RATED PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
6. REFER TO PAGE A001 FOR ALL PARTITION ASSEMBLY TYPES AND SYMBOLS.
7. REFER TO PAGE A004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT REQUIREMENTS.
8. REFER TO PAGE 1008 FOR UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER CBC REG.
9. REPLACE ALL G.W.B. WITH MOISTURE-RESISTANT G.W.B. IN ALL WALLS TO ENCLOSE BATHROOMS, WASHROOMS, SHOWERS), TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
10. REPLACE ALL G.W.B. WITH MOISTURE-RESISTANT G.W.B. IN ALL WALLS TO ENCLOSE BATHROOMS, WASHROOMS, SHOWERS, TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
11. REPLACE ALL G.W.B. WITH MOISTURE-RESISTANT G.W.B. IN ALL WALLS TO ENCLOSE BATHROOMS, WASHROOMS, SHOWERS, TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
12. LAYOUTS TO BE VERIFIED WITH MECHANICAL, ELECTRICAL, AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.
13. MILL WORK BY OTHERS.
14. REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION AND DRAINAGE DETAILS.
14. REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION AND DRAINAGE DETAILS. **MINIMUM FINISH LEVEL 61.9m**
15. **ARCH. REFERENCE: 61.770 - GEOTECHNICAL LEVEL 61.77m**
16. REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED PLYWOOD BASE BOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



1
A200B



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4. Do not scale drawings. The dimensions on these documents must be read and not measured.
5. These drawings are to be read in conjunction with all material relevant to the project.

JAIN
7405 East Danbro Crescent, 2nd Floor Mississauga, Ontario, L5N 6P8
T 905 285 9900 jainconsultants.com

18-77 Auriga Drive, Ottawa ON K2E 7Z3
T 613 226 4558 goodevestructural.ca

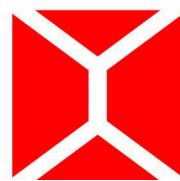
3332, Carling Avenue, Ottawa, ON, K2H 5A8
T 613 722 5168 jbla.ca

240, Michael Cowpland Drive, Suite 200, Ottawa ON K2M 1P6
T 613 234 9643 novatech-eng.com

10 Rideau Street, 4th floor, Ottawa ON K1N 6Y7
T 514 847 1117 NEUFarchitectes.com



ARCHITECT(E)S



Client



CLARIDGE
HOMES

Project

141 GEORGE STREET

Location

OTTAWA

No

12810

NO	REVISION	DATE (yyyy.mm.dd)
AAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.21
DDD	FOR SHORING COORDINATION	2024.06.01
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.01
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.21
MMM	RE-ISSUED FOR SITE PLAN APPROVAL	2024.11.01
NNN	FOR COORDINATION	2024.11.11
OOO	FOR COORDINATION	2024.11.21
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.01
SSS	RE-ISSUED FOR SITE PLAN APPROVAL	2024.12.11
TTT	FOR COORDINATION	2025.01.11
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.21

Drawn b

SJ

DATE (aa mm yy)

FEB 20

FILED 20

Checked by

LH

Scale

As indicated

PARKING LEVEL 1 FLOOR PLAN (YORK)

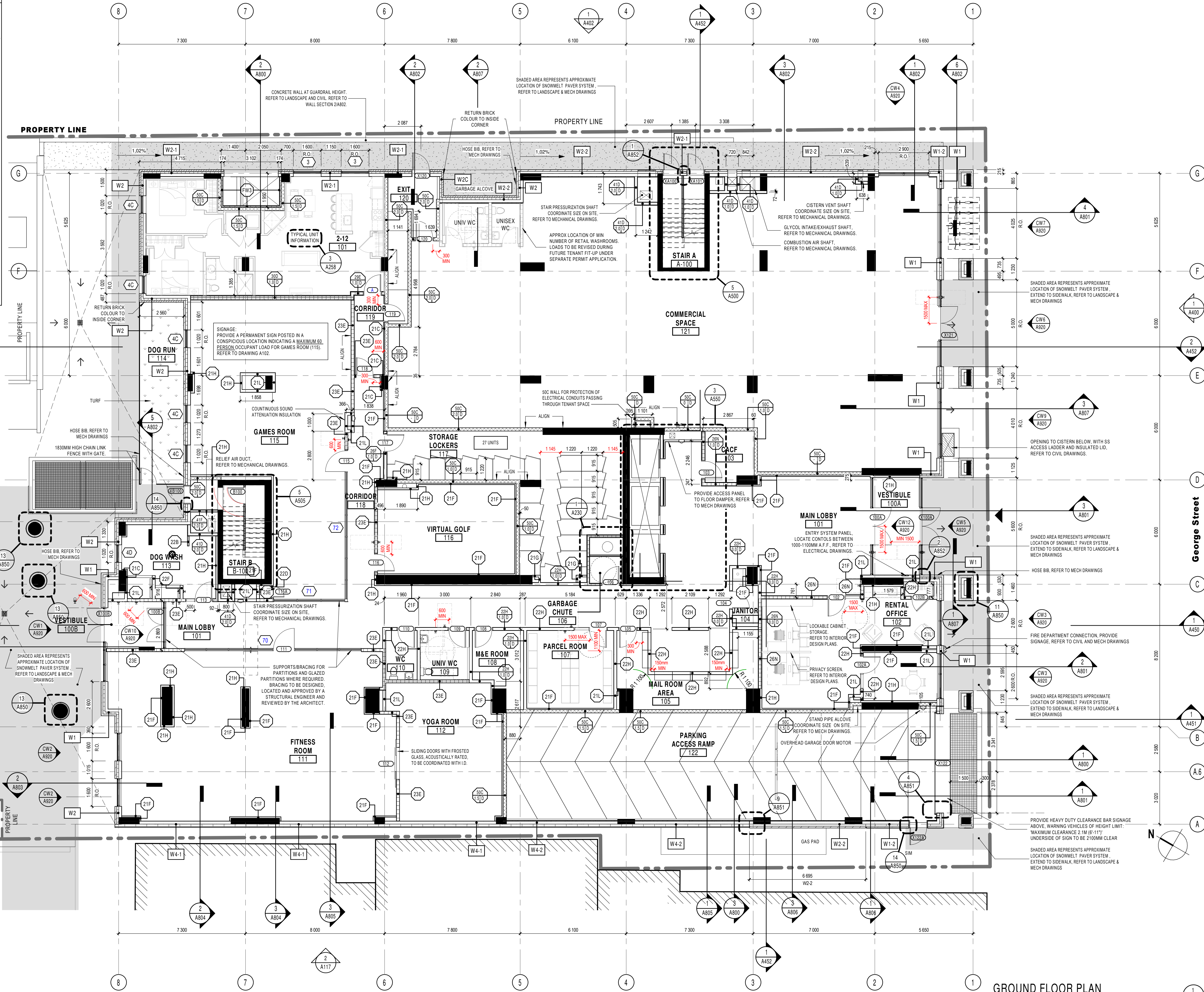
Revision

Dwg Number



A200B

- GENERAL NOTES**
1. AREAS AND DIMENSIONS ARE APPROXIMATE AND MAY CHANGE WITHOUT NOTICE. IF APPLICABLE, AREA AND LOCATION OF BALCONIES/TERRACES MAY BE CHANGED, VARIED OR MIRRORRED FROM ONE FLOOR TO ANOTHER. FURNITURE IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS OTHERWISE NOTED, GROSS UNIT AREA IS OBTAINED ON THE DRAWINGS BY INCLUDING EXTERIOR WALLS AND HALF OF BOTH DEMISING AND CORRIDOR WALL THICKNESS. FINAL DIMENSIONS AND AREAS MAY VARY AS PER SITE CONSTRUCTION CONDITIONS WHICH CAN DIFFER FROM THE DRAWINGS PRODUCED BY NEUF ARCHITECT(S).
 2. INSTALL PROPER BACKING AT EXTREMITIES OF WINDOWS AND PATIO DOOR HEADS FOR CURTAIN ROD INSTALLATION. BACKING TO EXTEND WINDOW EXTREMITIES BY 300mm.
 3. UNLESS OTHERWISE NOTED, ALL DOORS MUST BE INSTALLED AT A MINIMUM OF 150mm AWAY FROM THE CLOSEST ADJACENT PERPENDICULAR WALL.
 4. UNLESS OTHERWISE NOTED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
 5. ALL FIRE RATED PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
 6. REFER TO PAGE A001 FOR ALL PARTITION ASSEMBLY TYPES AND SYMBOL LEGENDS.
 7. REFER TO PAGE A004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT BATHROOMS.
 8. REFER TO PAGE A700 FOR ALL UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER OBC REGULATIONS.
 9. REPLACE ALL G.W.B. WITH MOISTURE-RESISTANT G.W.B. IN ALL PARTITIONS THAT ENCLOSE BATHROOMS, WASHROOMS, SHOWERS, TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
 10. A WATERPROOFING MEMBRANE MUST BE APPLIED TO THE MOISTURE-RESISTANT G.W.B. BEHIND THE ENTIRE SURFACE OF ANY TYPE OF TILE FINISH (CERAMIC OR OTHER) IN ALL SHOWERS, WASHROOMS AND BEHIND ANY OTHER TILE FINISH FOUND IN A HUMID AREA.
 11. LAYOUTS TO BE VERIFIED WITH MECHANICAL, ELECTRICAL AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY OMISSIONS OR DISCREPANCIES.
 12. MILLWORK BY OTHERS.
 13. REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION WATERPROOFING DETAILS AND SPECIFICATIONS.
 14. ARCH. RESIDENTIAL LEVEL 51.900 - GEODETIC LEVEL 51.9m
 15. ARCH. RETAIL LEVEL 51.700 - GEODETIC LEVEL 51.7m
 16. REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED PLYWOOD BACKBOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



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Mechanical - Electrical Engineer

JAIR
7405 East Danboro Crescent, 2nd Floor Mississauga, Ontario, L5N 6P8
T 905 285 9900 jairconsultants.com

Structural Engineer

Goodeve Structural Inc.
18-77 Aurora Drive, Ottawa ON K2E 7Z7
T 613 226 4555 goodevestructural.ca

Landscape Architect

James B. Lennox & Associates
3332, Carling Avenue, Ottawa, ON, K2H 5A8
T 613 722 5185 jbla.ca

Civil

Novatech Eng. Consultants Ltd.
240, Michael Coward Drive, Suite 200, Ottawa ON K2M 1P6
T 613 234 9643 novatech-eng.com

Architect

NEUF Architectes INC.
15 Robson Street, 4th floor, Ottawa ON K1N 6J1
T 514 847 1117 NEUFarchitectes.com

Seal



NEUF
ARCHITECT(E)S



Project

141 GEORGE STREET

Location

OTTAWA No. **12810**

NO	REVISION	DATE (yyyy-mm-dd)
WW	FOR COORDINATION	2024.05.02
XX	FOR COORDINATION	2024.05.09
YY	FOR COORDINATION	2024.05.14
ZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2024.05.16
AAA	FOR COORDINATION	2024.05.21
BBB	FOR COORDINATION	2024.05.23
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.09
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24

Drawn by

SJ

DATE (aa.mm.jj)

SEP 2022

Drawing Title

GROUND FLOOR PLAN

Revision

VVV

Dwg Number

A201

Scale

As indicated

GROUND FLOOR PLAN

1:100