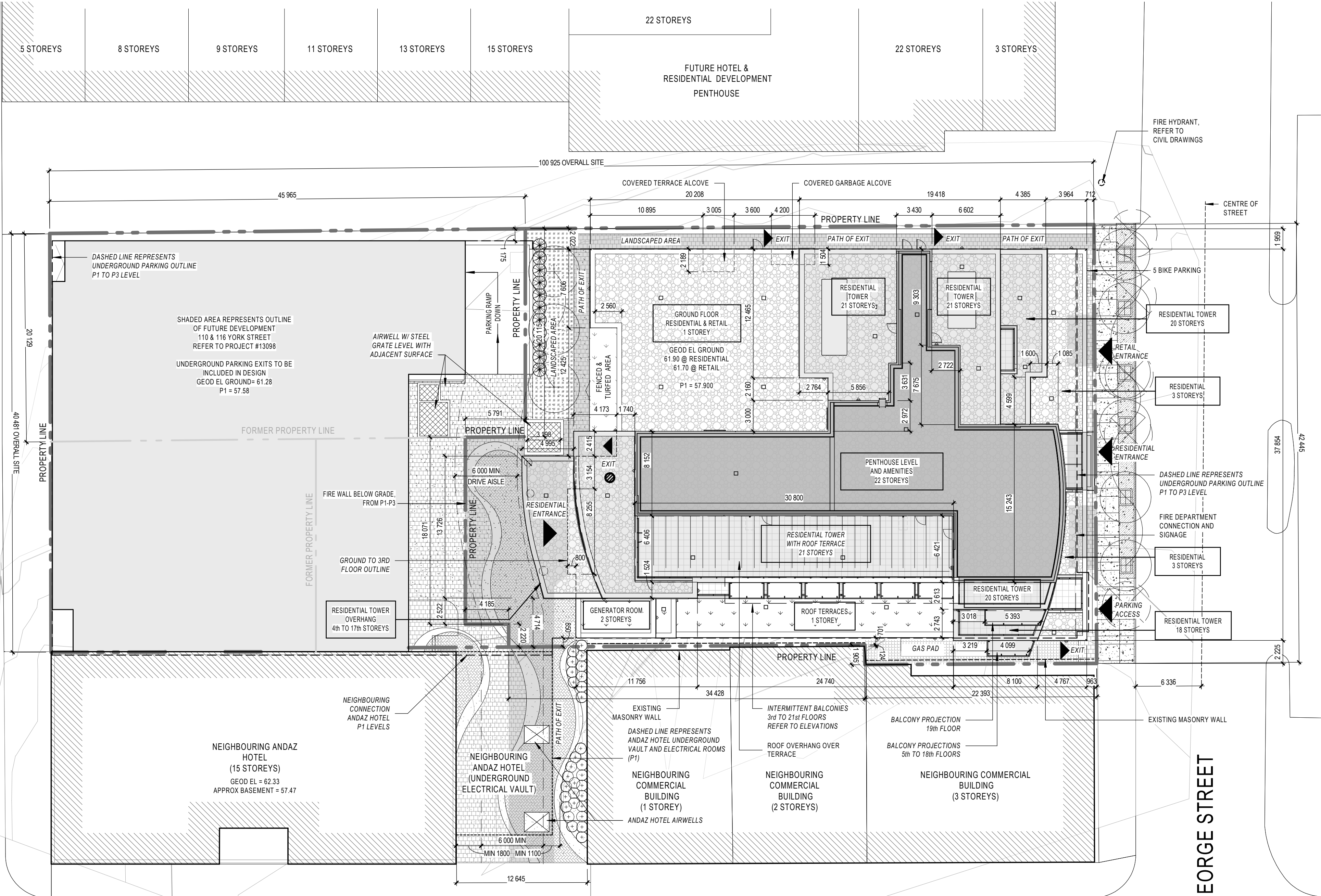


- NOTES
- FOR EXISTING SITE CONDITIONS, SEE SURVEY PLAN BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., SUBMITTED SEPARATELY.
 - FOR NEW GRADES AND SITE SERVICES, SEE CIVIL ENGINEERING PLANS BY NOVATECH ENGINEERING CONSULTANTS, SUBMITTED SEPARATELY.
 - ZONING GFA INCLUDES AREA MEASURED FROM THE INTERIOR FACE OF EXTERIOR WALLS TO THE EXTERIOR FACE OF PARTY WALLS SEPARATING DIFFERENT USES, AS DEFINED IN CITY OF OTTAWA ZONING BY-LAW DEFINITION (2008-250).

SOLID WASTE COLLECTION REQUIREMENTS		
ZONING MECHANISM	REGULATION	PROPOSED
Residential Waste	Garbage (Compacted) = 0.053y/unit Require 16y ³ Recycling (GMP) = 0.018y/unit Require 6y ³ Recycling (Fibres) = 0.038y/unit Require 12y ³ Organics = 240L container/50 units Require 6 containers	Garbage (Compacted) = 6 x 3y ³ containers Total = 18y ³ Recycling (GMP) = 2 x 3y ³ containers Total = 6y ³ Recycling (Fibres) = 4 x 3y ³ containers Total = 12y ³ Organics = 7 x 240L containers Total = 1680L

OCCUPANCY	UNITS / STOREYS	PROPOSED ZONING GFA
Residential (Rental)	297 units / Ground to 21st floors	Ground = 1 caretaker unit = 93.9m ² (excluded) 2 nd = 16 units = 939m ² 3 rd = 16 units = 946m ² 4 th - 11 th = 15 units/floor = 934m ² /floor 12 th = 15 units = 932m ² 13 th - 17 th = 15 units/floor = 934m ² /floor 18 th = 14 units = 876m ² 19 th & 20 th = 14 units = 851m ² 21 st = 12 units = 772m ² TOTAL = 18,309m ² (without Ground)
	Minimum 15% (44 units) required to be Barrier-Free (BF) to be distributed throughout residential storeys.	8 x Studios (18F units = 15%) 191 x 1 Bedroom (318F units = 16%) 98 x 2 Bedroom (158F units = 15%) 478F units = 15%
Commercial	Ground	Commercial = 453m ² Office = 72m ²
TOTAL		18,834m ²

MIXED-USE WITH GROUND FLOOR COMMERCIAL - ZONING - MD2 (2031) S307		
ZONING RULE	REQUIREMENT	PROVIDED
Minimum lot area	No minimum	3,109.10m ²
Minimum lot width	No minimum	42.45m on George Street. 40.40 on back portion.
Minimum front yard	No minimum, 1m maximum.	0.72m on George Street
Minimum interior side yard	No minimum	0.70m on West side of building. 1.94m on East side of building.
Minimum rear yard	No minimum	6.29m to one storey volume. 5.47m to 4th to 17th floor overhang.
Maximum building height	70m as per Schedule 307. No projections permitted beyond building height.	70m all inclusive.
Maximum floor space index	Not applicable	Not applicable
Minimum width of landscape area	No minimum except that where a yard is provided and not used for required driveways, aisles, parking, loading spaces, or outdoor commercial patio, the whole yard must be landscaped	Whole yard to be landscaped.
Provisions for buildings 10 storeys and higher (By-law 2019-353)	Minimum lot area for an interior lot: 1350m ² Minimum interior side and rear yard setback for a tower: 7.5m Minimum separation distance between towers on the same lot: 15m.	Minimum lot area met. Site Plan Approval received. Not applicable.
Parking Garage permission	100% of ground floor fronting a street (excluding mechanical room, pedestrian and vehicular access) for a minimum depth of 3m, must be occupied by permitted use..	100% of ground fronting George Street for a minimum depth of 3m, is occupied by permitted Commercial use and Office use.
Ground floor use	100% of ground floor fronting a street (excluding lobby area, mechanical room and access to other floors) for a minimum depth of 3m, must be occupied by select uses. Total gross area of lobbies, mechanical rooms and access to other floors must not exceed 50% of ground floor gross area. Min. 50% of ground floor to be occupied by permitted use subject to a separate and direct access to abutting street.	100% of ground fronting George Street for a minimum depth of 3m, is occupied by permitted Commercial use. Total gross area of lobbies, mechanical rooms and access to other floors does not exceed 50% of ground floor gross area. Area of permitted Commercial use exceeds 50% of gross floor area and has separate direct access to George Street.



AMENITY AND PARKING REQUIREMENTS ZONING - MD2 (2031) S307 (PARKING COMBINED WITH FUTURE 110 & 116 YORK STREET DEVELOPMENT)				
ZONING MECHANISM	REGULATION	ORIGINAL PROPOSAL 1 STOREY PARKING (DEC 7, 2012)	PROPOSED 5 STOREY PARKING (JUN 6, 2023)	NEWLY PROPOSED (3 STOREY) (JULY 2024)
Residential Parking 141 GEORGE	None Required 6m drive aisle required.	Hotel & Condos 5 exterior 225 interior	P2 26 spaces P3 51 spaces P4 32 spaces P5 52 spaces	P2 6 spaces P3 37 spaces 6.0m drive aisle provided. P3 41 spaces
Visitor Parking 141 GEORGE	Residential Area Z (By-law 2016-249); no more than 30 visitor spaces are required per building. Exception #2031: 0.083 spaces x 297 units = 25 visitor parking spaces 6m drive aisle required.		P1 2 spaces P2 23 spaces	P2 25 spaces 6.0m drive aisle provided.
Commercial Parking 141 GEORGE	None Required 6.7m drive aisle required.		P1 5 spaces.	P1 5 spaces 6.0m drive aisle provided.
Hotel Parking 141 GEORGE	None Required 6m drive aisle required.		P1 25 spaces	P1 21 spaces P2 8 spaces 6.0m drive aisle provided.
110 & 116 YORK			P1 24 spaces P2 41 spaces	P1 24 spaces P2 41 spaces
Total: 230 spaces			Total: 246 spaces	Total: 208 spaces 141 George 102 spaces 110 York 106 spaces
Barrier-Free Parking 141 GEORGE	Requires 1 barrier-free spaces (Traffic and Parking By-Law 2017-301)		P1 to P5 2 spaces per floor 16 spaces Total:	P2 P3 1 space 1 space Total: 4 spaces
110 & 116 YORK				P1 1 space P2 1 space Total: 4 spaces
Minimum Bicycle Parking 141 GEORGE	Residential: 0.5 spaces x 297 units = 149 bicycle parking spaces Retail: 1 space per 250m ² of GFA 468m ² GFA / 250m ² = 2 bicycle parking spaces Minimum 50% to be horizontal racks.	Condo 141 interior	Residential: (Indoor) 16 (P1) 64 (P2) 66 (P3) Retail: 5 (Exterior)	Residential: 86 (P1) 42 (P2) 46 (P3) 5 (Exterior) Total: 179 spaces
110 & 116 YORK	Hotel: 1 per 1000m ² of GFA +16,800m ² GFA/1,000m ² = 7 bicycle parking spaces Minimum 50% to be horizontal racks.	Hotel 7 exterior		Hotel 10 (Interior)
Maximum parking	1.5 per dwelling unit Limited to 446 space for 297 units. (combined with visitor) 1 per 100m ² of Commercial gross area. Limited to 5 spaces.		Total parking spaces is under the limit. Commercial parking spaces maximized.	Total parking spaces is under the limit. Commercial parking spaces maximized.
Minimum driveway width	6m		6m	6m
Minimum aisle width	6m		6m	6m
Loading	Exception #2031: None Required.	NA	NA	NA
Amenities Areas	Amenity Area - 6m ² per unit = 297 units x 6m ² = 1,782m ² Communal Amenity Area: Exception #2031: minimum 40% off the required total Amenity Area = 1,782m ² x 0.4 = minimum 713m ² Layout of Communal Amenity Area - aggregated into areas up to 54m ²		Total Balconies = 1,555m ² Ground = 35m ² 2 nd = 59m ² 3 rd = 89m ² 4 th to 17 th = 75m ² /floor 18 th = 77m ² 19 th = 85m ² 20 th = 75m ² 21 st = 85m ² Total Communal = 728m ² Ground floor = 220m ² 2 nd = 195m ² 21st = 341m ² Total = 2,284m ²	Total Balconies = 1,734m ² Ground = 7m ² 2 nd = 110m ² 3 rd = 113m ² 4 th = 55m ² 5 th to 17 th = 82m ² /floor 18 th = 80m ² 19 th = 97m ² 20 th = 84m ² 21 st = 82m ² Total Communal = 773m ² Ground floor = 432m ² 22nd = 341m ² Total = 2,507m ²

SITE PLAN

1 : 250

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NEUF
ARCHITECT(E)S

Client



**CLARIDGE
HOMES**

Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO REVISION

DATE (yyyy.mm.dd)

DD	FOR COORDINATION	2023.11.02
FF	FOR COORDINATION	2023.11.13
JJ	FOR COORDINATION	2023.11.27
KK	FOR COORDINATION	2023.12.04
LL	FOR COORDINATION	2023.12.15
MM	FOR PERMIT	2023.12.21
OO	FOR COORDINATION	2024.01.23
RR	FOR COORDINATION	2024.02.26
VV	RE-ISSUED FOR PERMIT	2024.04.16
WW	FOR COORDINATION	2024.05.02
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YY	FOR COORDINATION	2024.05.14
ZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2024.05.16
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26

Drawn by

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Checked by

LH

DATE (aa.mm.jj)

FEB 2023

Scale

As indicated

Drawing Title

SITE PLAN

Revision

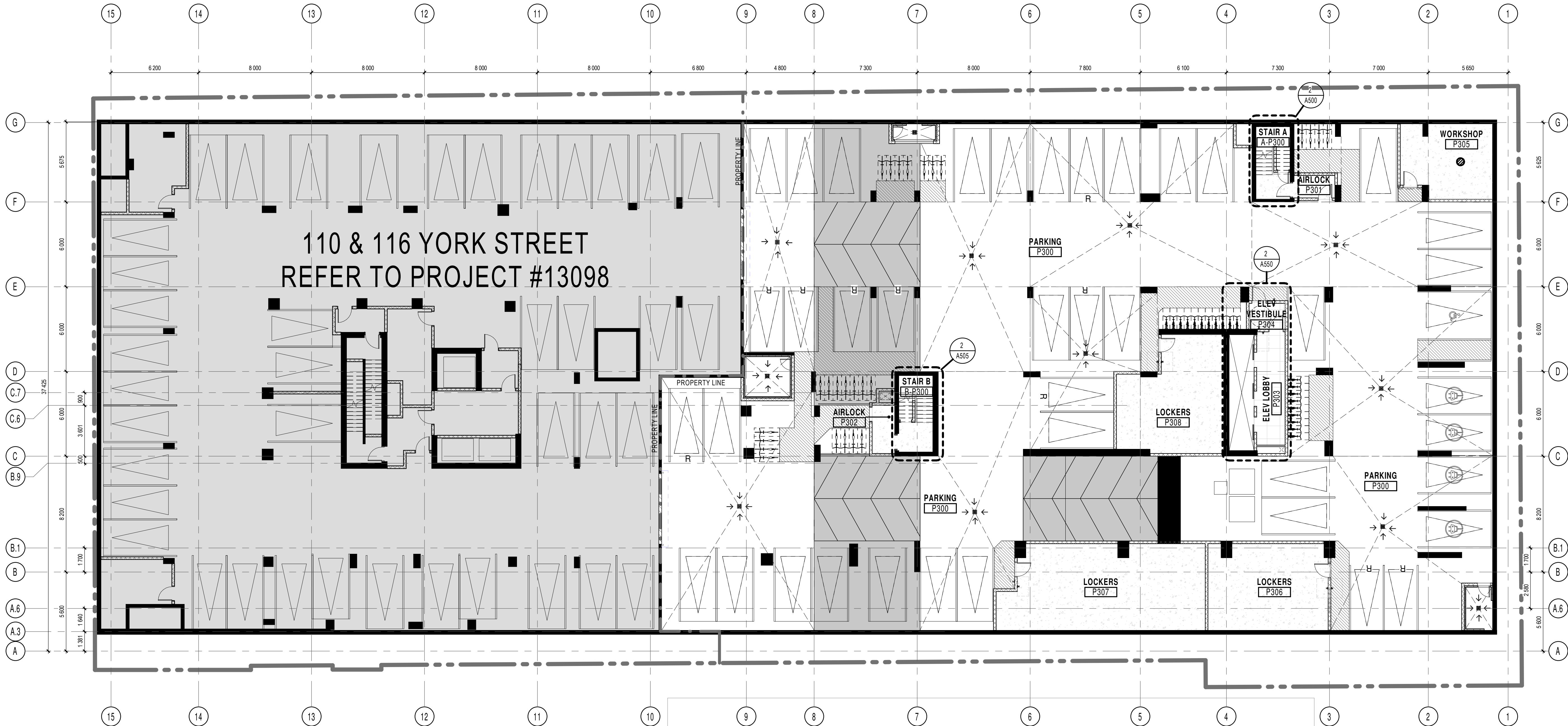
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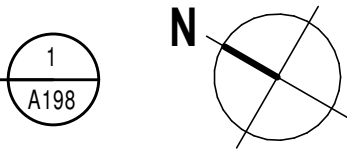
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P3 OVERALL FLOOR PLAN
1 : 150



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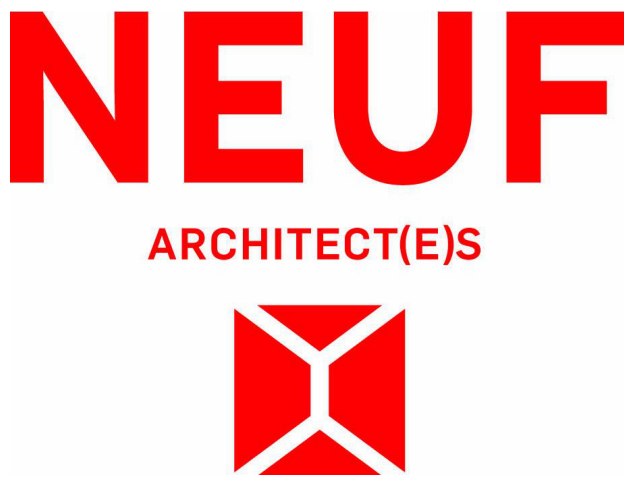
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Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO	REVISION	DATE (yyyy.mm.dd)
TT	FOR COORDINATION	2024.04.04
WW	FOR COORDINATION	2024.05.02
XX	FOR COORDINATION	2024.05.09
YY	FOR COORDINATION	2024.05.14
ZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2024.05.16
AAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26

Drawn by

SJ

DATE (aa.mm.jj)

SEP 2022

Drawing Title

**PARKING LEVEL 3
FLOOR PLAN**

Checked by

LH

Scale

1 : 150

Revision

III

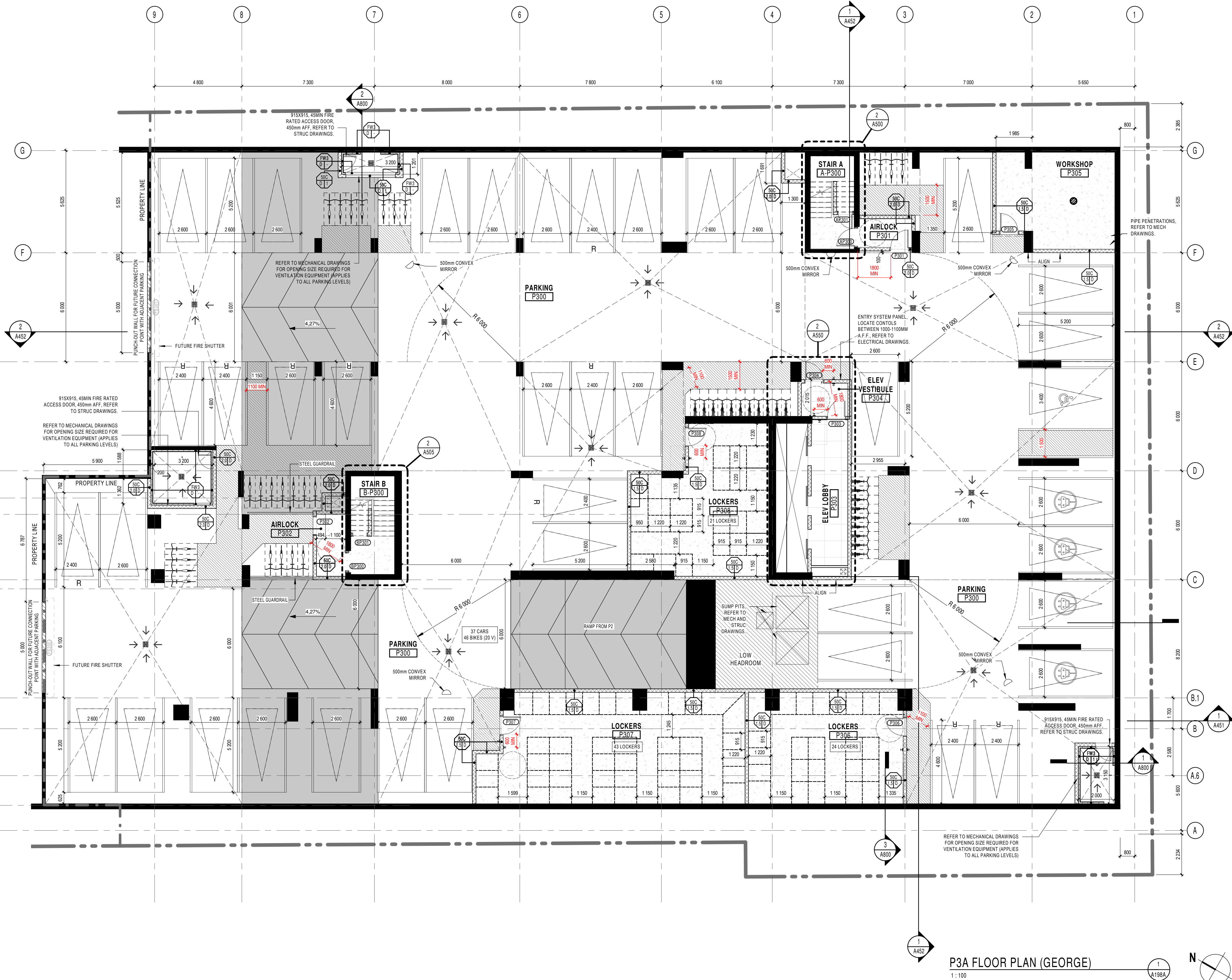
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16. REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED PLYWOOD BACKBOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



P3A FLOOR PLAN (GEORGE)

1:100

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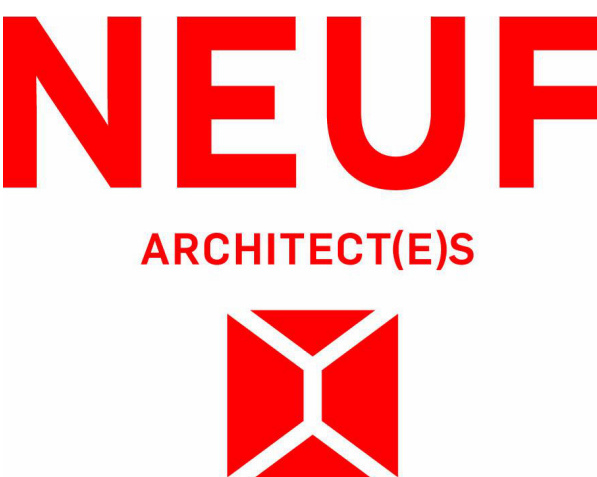
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Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO	REVISION	DATE (yyyy.mm.dd)
AA	FOR COORDINATION	2023.10.10
FF	FOR COORDINATION	2023.11.13
JJ	FOR COORDINATION	2023.11.27
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Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

SEP 2022

Scale

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Drawing Title

**PARKING LEVEL 3
FLOOR PLAN (GEORGE)**

Revision

III

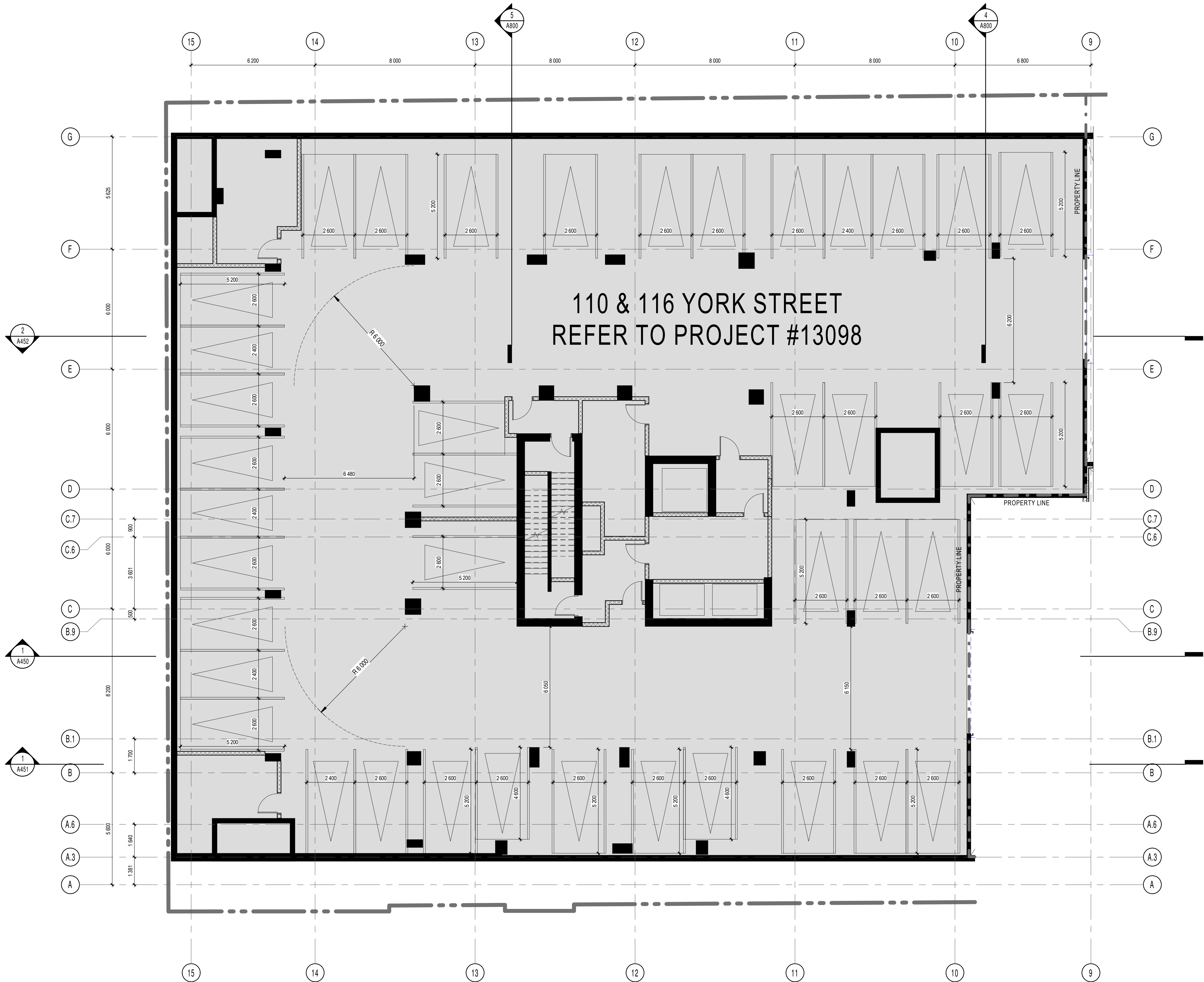
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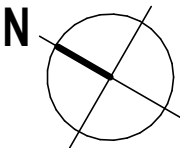
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P3B FLOOR PLAN (YORK)

1 : 100

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A198B



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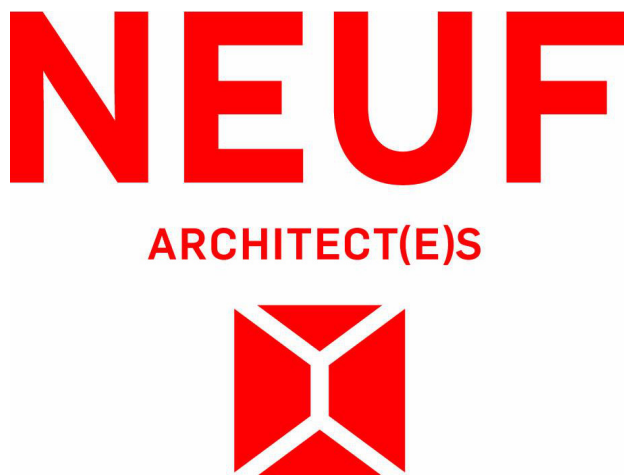
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Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO	REVISION	DATE (yyyy.mm.dd)
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III	SITE PLAN REVISION RESPONSE	2024.08.26

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LH

DATE (aa.mm.jj)

SEP 2022

Scale

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Drawing Title

**PARKING LEVEL 3
FLOOR PLAN (YORK)**

Revision

III

Dwg Number

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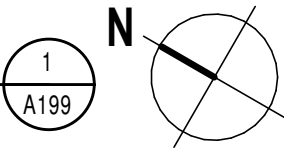
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325 DALHOUSIE
HOTEL

P2 OVERALL FLOOR PLAN
1 : 150



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3332, Carling Avenue, Ottawa, ON, K2H 5A8
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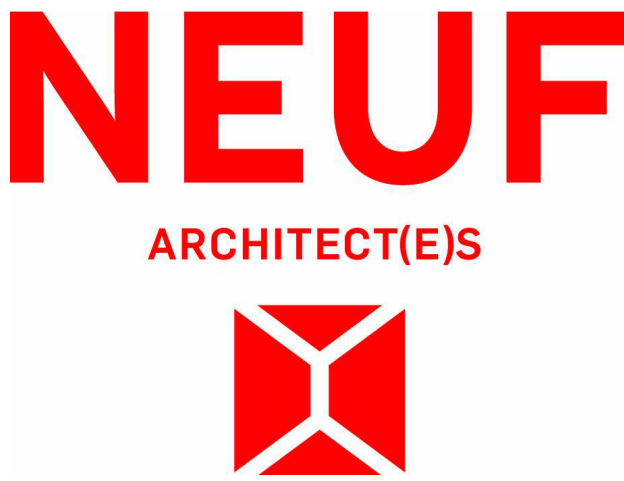
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Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO	REVISION	DATE (yyyy.mm.dd)
TT	FOR COORDINATION	2024.04.04
WW	FOR COORDINATION	2024.05.02
XX	FOR COORDINATION	2024.05.09
YY	FOR COORDINATION	2024.05.14
ZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2024.05.16
AAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26

Drawn by

SJ

Checked by

LC

DATE (aa.mm.jj)

FEB 2024

Scale

1 : 150

Drawing Title

**PARKING LEVEL 2
FLOOR PLAN**

Revision

III

Dwg Number

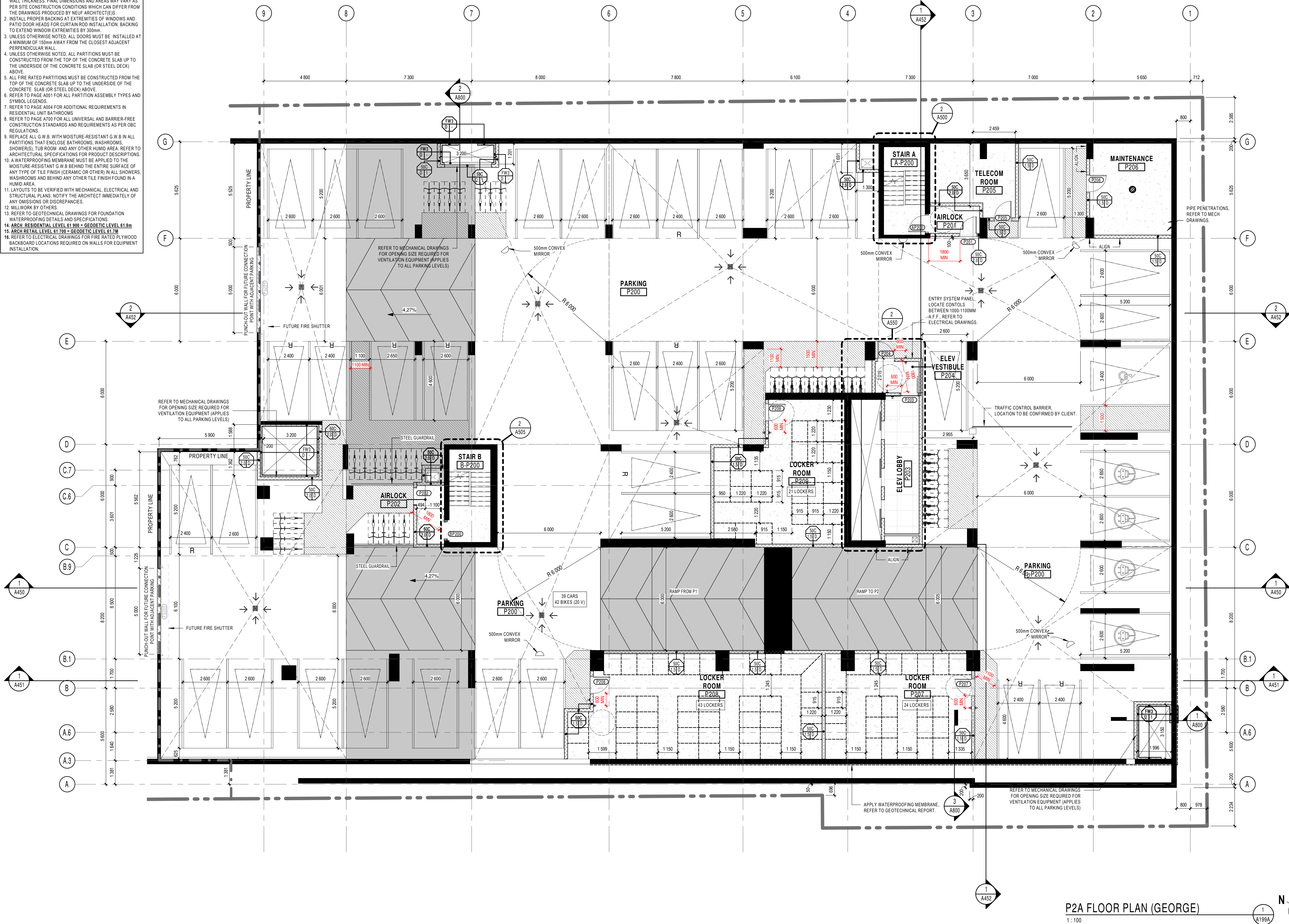
A199

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D070-12-12-0199

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P2A FLOOR PLAN (GEORGE)

1:100

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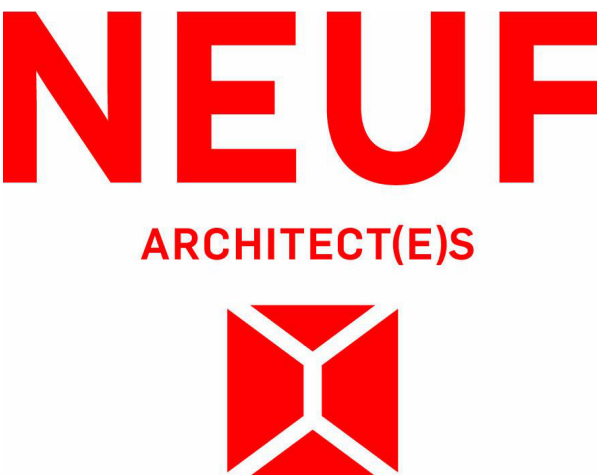
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Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO	REVISION	DATE (yyyy.mm.dd)
FF	FOR COORDINATION	2023.11.13
JJ	FOR COORDINATION	2023.11.27
KK	FOR COORDINATION	2023.12.04
LL	FOR COORDINATION	2023.12.15
MM	FOR PERMIT	2023.12.21
OO	FOR COORDINATION	2024.01.23
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III	SITE PLAN REVISION RESPONSE	2024.08.26

Drawn by

SJ

DATE (aa.mm.jj)

SEP 2022

Drawing Title

PARKING LEVEL 2

FLOOR PLAN (GEORGE)

Revision

III

Checked by

LH

Scale

As indicated

Drawing Title

PARKING LEVEL 2

FLOOR PLAN (GEORGE)

Dwg Number

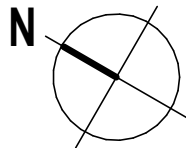
A199A

16814

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12. MILL WORK BY OTHERS.
13. REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION AND DRAINAGE/ROOFING DETAILS AND SPECIFICATIONS.
14. **ARCHITECTURAL LEVEL: 61.700 ±** **GEOTECHNICAL LEVEL: 61.9m**
15. **ARCHITECT REFERENCE: 61.700 ±** **GEOTECHNICAL LEVEL: 61.7m**
16. REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED PLYWOOD BASE BOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



1 : 100



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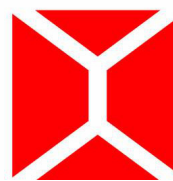
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ARCHITECT(E)S

CLARIDGE
HOMES

141 GEORGE STREET

12810

NO	REVISION	DATE (yyyy.mm.dd)
TT	FOR COORDINATION	2024.04.04
WW	FOR COORDINATION	2024.05.02
XX	FOR COORDINATION	2024.05.09
YY	FOR COORDINATION	2024.05.11
ZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2024.05.11
AAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.23
DDD	FOR SHORING COORDINATION	2024.06.03
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26

SJ

Drawing Title

Abstract

LF

PARKING LEVEL 2 FLOOR PLAN (YORK)

Revision

Dwg Number

A199B

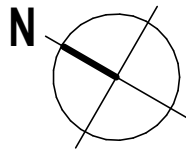
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P1 OVERALL FLOOR PLAN
1 : 150

1
A200



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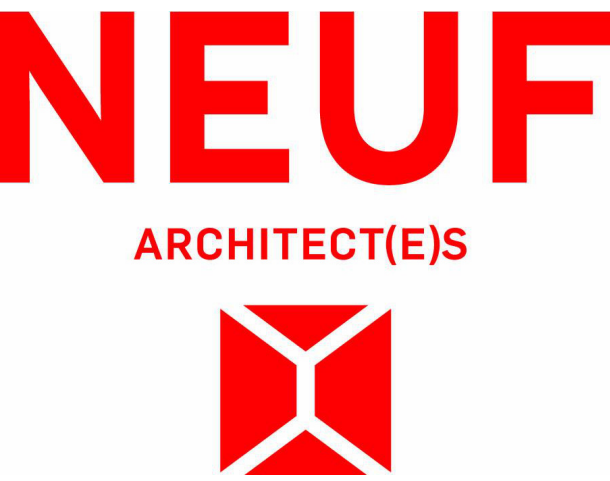
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Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO	REVISION	DATE (yyyy.mm.dd)
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WW	FOR COORDINATION	2024.05.02
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ZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2024.05.16
AAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
GGG	FOR TENDER - ADDENDUM 02	2024.07.09
III	SITE PLAN REVISION RESPONSE	2024.08.26

Drawn by

SJ

DATE (aa.mm.jj)

SEP 2022

Drawing Title

**PARKING LEVEL 1
OVERALL FLOOR PLAN**

Checked by

LH

Scale

1 : 150

Dwg Number

Revision

III

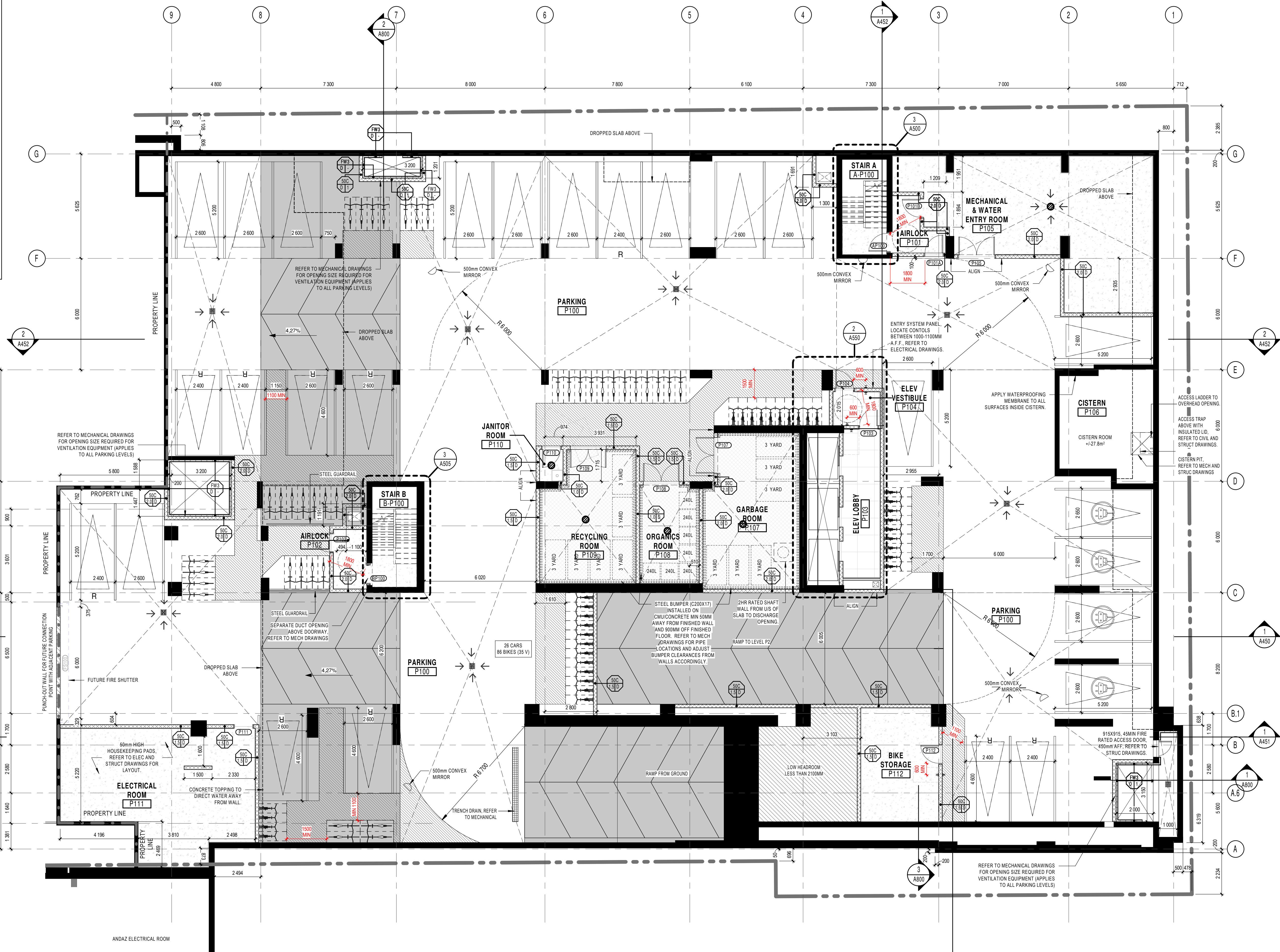
Dwg Number

A200

16814

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P1A FLOOR PLAN (GEORGE)

1:100

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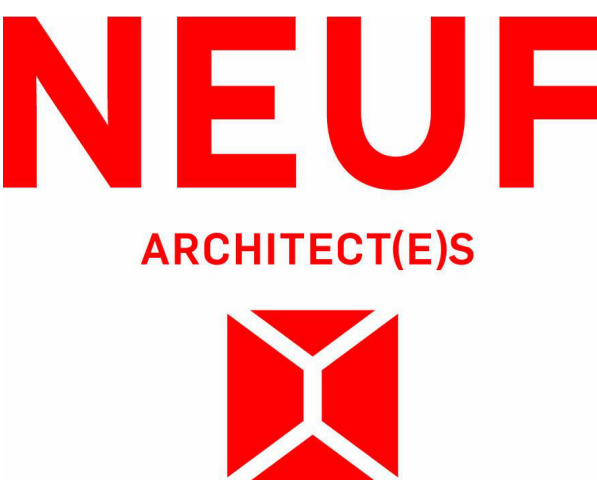
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Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

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III	SITE PLAN REVISION RESPONSE	2024.08.26

Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

SEP 2022

Scale

As indicated

Drawing Title

**PARKING LEVEL 1
FLOOR PLAN (GEORGE)**

Revision

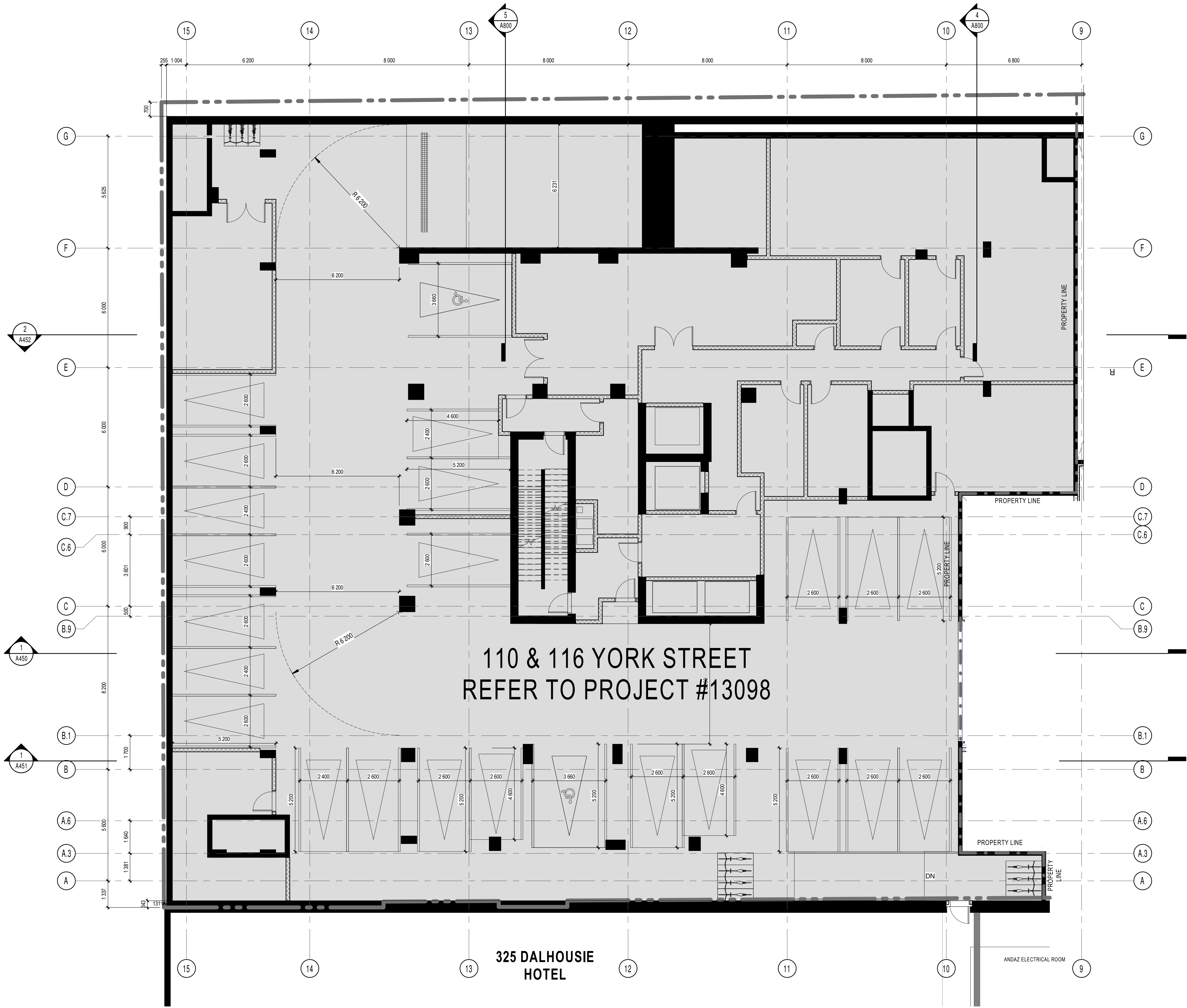
III

Dwg Number

A200A

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P1B FLOOR PLAN (YORK)

1 : 100

1
A200B



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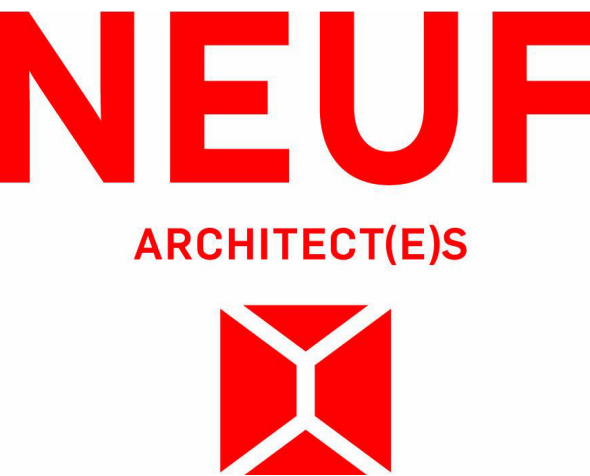
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Architect

NEUF Architectes INC.
19 Robson Street, 4th floor, Ottawa ON K1N 6J1
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Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA

No.

12810

NO	REVISION	DATE (yyyy.mm.dd)
SS	FOR COORDINATION	2024.04.01
TT	FOR COORDINATION	2024.04.04
WW	FOR COORDINATION	2024.05.02
XX	FOR COORDINATION	2024.05.09
YY	FOR COORDINATION	2024.05.14
ZZ	RE ISSUED FOR SITE PLAN	2024.05.16
AAA	FOR COORDINATION	2024.06.21
CCC	FOR TENDER	2024.06.23
DDD	FOR SHORING COORDINATION	2024.06.03
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26

Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

FEB 2024

Scale

As indicated

Drawing Title

**PARKING LEVEL 1
FLOOR PLAN (YORK)**

Revision

III

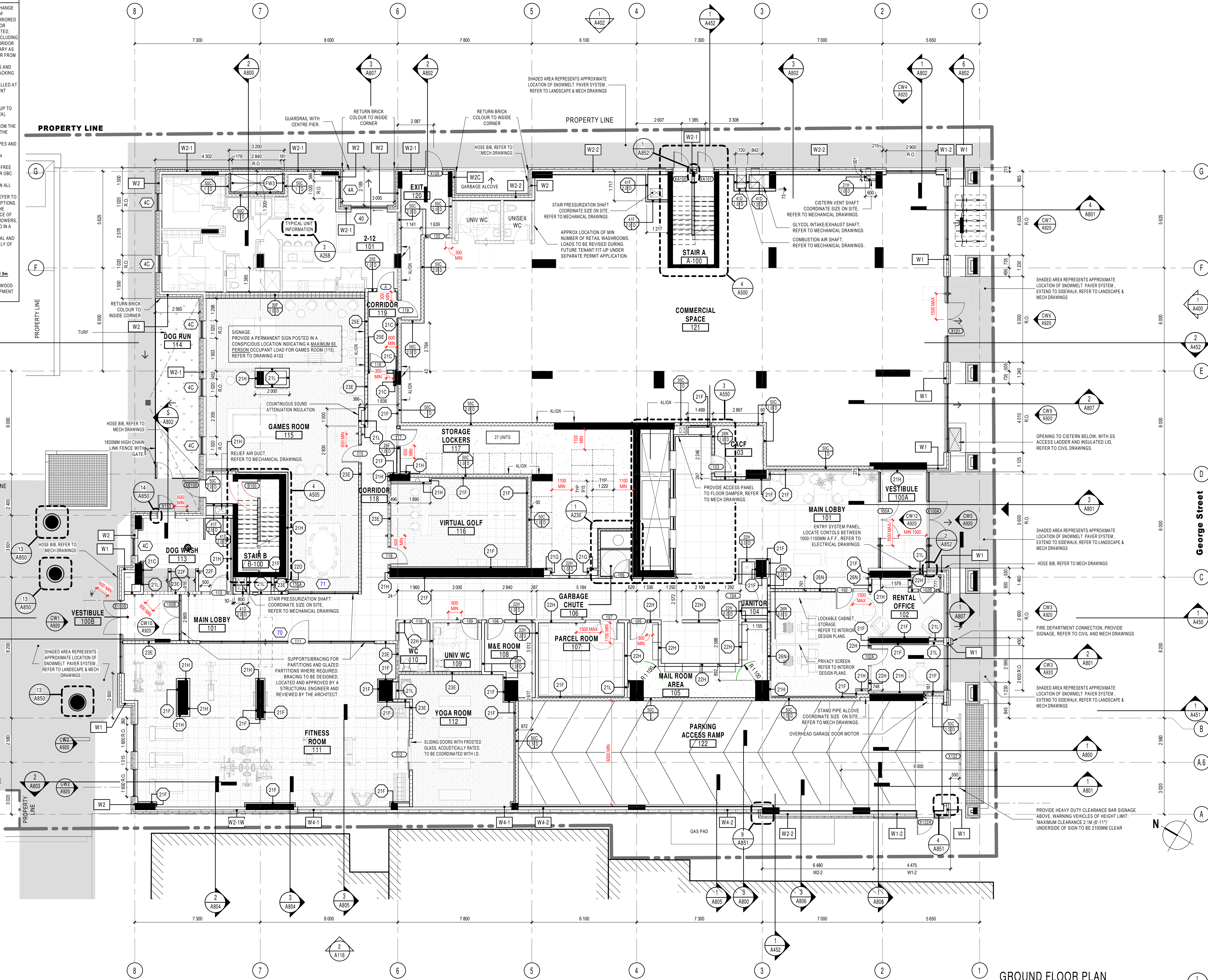
Dwg Number

A200B

16814

GENERAL NOTES

1. AREAS AND DIMENSIONS ARE APPROXIMATE AND MAY CHANGE WITHOUT NOTICE. IF APPLICABLE, AREA AND LOCATION OF BALCONIES/TERRACES MAY BE CHANGED, VARIED OR MIRRORRED FROM ONE FLOOR TO ANOTHER. FURNITURE IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS OTHERWISE NOTED, GROSS UNIT AREA IS OBTAINED ON THE DRAWINGS BY INCLUDING EXTERIOR WALLS AND HALF OF BOTH DEMISING AND CORRIDOR WALL THICKNESS. FINAL DIMENSIONS AND AREAS MAY VARY AS PER SITE CONSTRUCTION CONDITIONS WHICH CAN DIFFER FROM THE DRAWINGS PRODUCED BY NEUF ARCHITECTS INC.
2. INSTALL PROPER BACKING AT EXTREMITIES OF WINDOWS AND PATIO DOOR HEADS FOR CURTAIN ROD INSTALLATION. BACKING TO EXTEND WINDOW EXTREMITIES BY 300mm.
3. UNLESS OTHERWISE NOTED, ALL DOORS MUST BE INSTALLED AT A MINIMUM OF 150mm AWAY FROM THE CLOSEST ADJACENT PERPENDICULAR WALL.
4. UNLESS OTHERWISE NOTED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
5. ALL FIRE RATED PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
6. REFER TO PAGE A001 FOR ALL PARTITION ASSEMBLY TYPES AND SYMBOL LEGENDS.
7. REFER TO PAGE A004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT BATHROOMS.
8. REFER TO PAGE A700 FOR ALL UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER OBC REGULATIONS.
9. REPLACE ALL G.W.B. WITH MOISTURE-RESISTANT G.W.B. IN ALL PARTITIONS THAT ENCLOSE BATHROOMS, WASHROOMS, SHOWERS, TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
10. A WATERPROOFING MEMBRANE MUST BE APPLIED TO THE MOISTURE-RESISTANT G.W.B. BEHIND THE ENTIRE SURFACE OF ANY TYPE OF TILE FINISH (CERAMIC OR OTHER) IN ALL SHOWERS, WASHROOMS AND BEHIND ANY OTHER TILE FINISH FOUND IN A HUMID AREA.
11. LAYOUTS TO BE VERIFIED WITH MECHANICAL, ELECTRICAL AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY OMISSIONS OR DISCREPANCIES.
12. MILLWORK BY OTHERS.
13. REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION WATERPROOFING DETAILS AND SPECIFICATIONS.
14. ARCH. RESIDENTIAL LEVEL 51.900 - GEODETIC LEVEL 51.9m
15. ARCH. RETAIL LEVEL 51.700 - GEODETIC LEVEL 51.7m
16. REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED PLYWOOD BACKBOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



GROUND FLOOR PLAN

1:100

GENERAL NOTES

1. These architectural documents are the exclusive property of NEUF architects inc. and cannot be used, copied, or reproduced without written pre-authorization.
2. The contractor is responsible for checking and verifying all dimensions with respect to the project. Any discrepancy shall be reported to the architect.
3. The architect must be notified of all errors, omissions, and discrepancies between these documents and those of the other professionals.
4. Do not scale drawings. The dimensions on these documents must be read and not measured.
5. These drawings are to be read in conjunction with all material relevant to the project.

Mechanical - Electrical Engineer

JAIN

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James B. Lennox & Associates

3332, Carling Avenue, Ottawa, ON, K2H 5A8
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Civil

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240, Michal Coward Drive, Suite 200, Ottawa ON K2M 1P6
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Architect

NEUF Architectes INC.

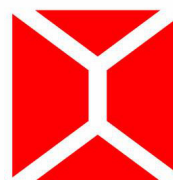
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ARCHITECT(E)S



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MM	FOR PERMIT	2023.12.21
OO	FOR COORDINATION	2024.01.23
RR	FOR COORDINATION	2024.02.26
TT	FOR COORDINATION	2024.04.04
UU	FOR COORDINATION	2024.04.12
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GROUND FLOOR PLAN

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A201

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