
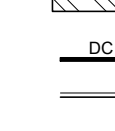

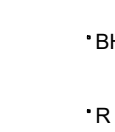

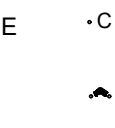





SIGNAGE LEGEND:	PAINTED SIGN LEGEND:
REFR TO SPEC SECTION 10 14 54 TRAFFIC SIGNAGE	REFR TO SPEC SECTION 32 17 23 PAINTING TRAFFIC LINES AND MARKINGS
 NO TRESPASSING	 WHITE PAINTED BARRIER-FREE PARKING SYMBOL AND PARKING LINES
 FIRE ROUTE	 WHITE PAINTED CAR PARKING LINES
 BARRIER-FREE PARKING	 WHITE PAINTED SYMBOL FOR ELECTRIC CAR CHARGING STATION
 STOP SIGN	

TOPOGRAPHICAL PLAN INFORMATION:
SURVEY PROPERTY BOUNDARIES TAKEN FROM TOPOGRAPHICAL PLAN
OF PART OF LOT 1 CONCESSION 9, GEOGRAPHIC TOWNSHIP OF
GLOUCESTER, CITY OF OTTAWA, WEST OF BOUNDARY ROAD,
PIN 04324-0177 AND PIN 04324-0161, PER PLAN 4R-13964

PREPARED BY ANNIS, O'SULLIVAN, VOLLEBECK LTD.
DATED AUGUST 15, 2018

**SITE ZONING AS PER OTTAWA ZONING BY-LAW 2008-250 SITE
DESIGNATION**
RG - RURAL, GENERAL INDUSTRIAL ZONE
AREA "D" OF SCHEDULE "I", CITY OF OTTAWA

BUILDING CLASSIFICATION:
THE BUILDING IS CLASSIFIED AND DESIGNED TO CONFORM TO THE
ONTARIO BUILDING CODE 2020

OCCUPANCY:
GROUP F DIVISION 2 - UP TO 2 STOREYS, SPRINKLERED (3.2.2.72.)
GROUP D - UP TO 3 STOREYS, SPRINKLERED (3.2.2.54.)

BUILDING STATISTICS:
NUMBER OF STOREYS = 1
THE BUILDING IS SPRINKLERED

NUMBER OF ACCESS ROUTES REQUIRED = 1
NUMBER OF ACCESS ROUTES PROVIDED = 2

CONSTRUCTION TYPE = NON-COMBUSTIBLE CONSTRUCTION

NOTE: ALL ZONING DEFINITIONS AND REQUIREMENTS AS PER CITY OF OTTAWA ZONING BY-LAW 2008-250

ZONING MECHANISM	REQUIRED	PROVIDED
ADDRESS	5494-5510 BOUNDARY ROAD GLOUCESTER, ON	TRUCK TRANSPORT TERMINAL AND CROSS DOCK
DEFINITION	RG RURAL GENERAL INDUSTRIAL ZONE	
MIN.LOT WIDTH	30 m	200 m
MIN. LOT AREA	4, 000 m ²	31,969.7 m ²
MIN. FRONT YARD SETBACK	15 m	54.47 m
MIN. CORNER SIDE SETBACK	12 m	N/A
MIN. INT. SIDE YARD SETBACK	8 m	62.9 m
MIN. REAR YARD SETBACK	15 m	167.7 m
MAX. LOT COVERAGE	50%	14%
MAX. BUILDING HEIGHT	15 m	±10 m
MIN. WIDTH OF LANDSCAPING	1.5 m	MIN. 3 m
STANDARD PARKING SPACE	2.6m x 5.2m (max 3.1m wide)	2.6m x 5.2m
ACCESSIBLE PARKING SPACE	3.6m x 5.2m	3.4m x 5.2m (TYPE A), 2.4 x 5.2m (TYPE B)
PARKING REQUIREMENTS AREA D: RURAL	46 OFFICE: 2.4 / 100 m ² G.F.A CROSS DOCK: 0.8 / 100 m ² G.F.A	90
BARRIER-FREE PARKING	3	2 (TYPE A) + 2 (TYPE B)
LOADING SPACES	1 (MIN. 3.5 m WIDE x 7 m LONG)	72
BICYCLE PARKING RATE	3 (1 / 2000 m ² of G.F.A.)	4
GROSS FLOOR AREA		- m ² (- s.f.)
BUILDING AREA (FOOTPRINT)		4,400 m ² (47,360 s.f.)
OFFICE AREA		642 m ² (6,910 s.f.)
CROSS DOCK AREA		3,758 m ² (40,450 s.f.)

[illegible]

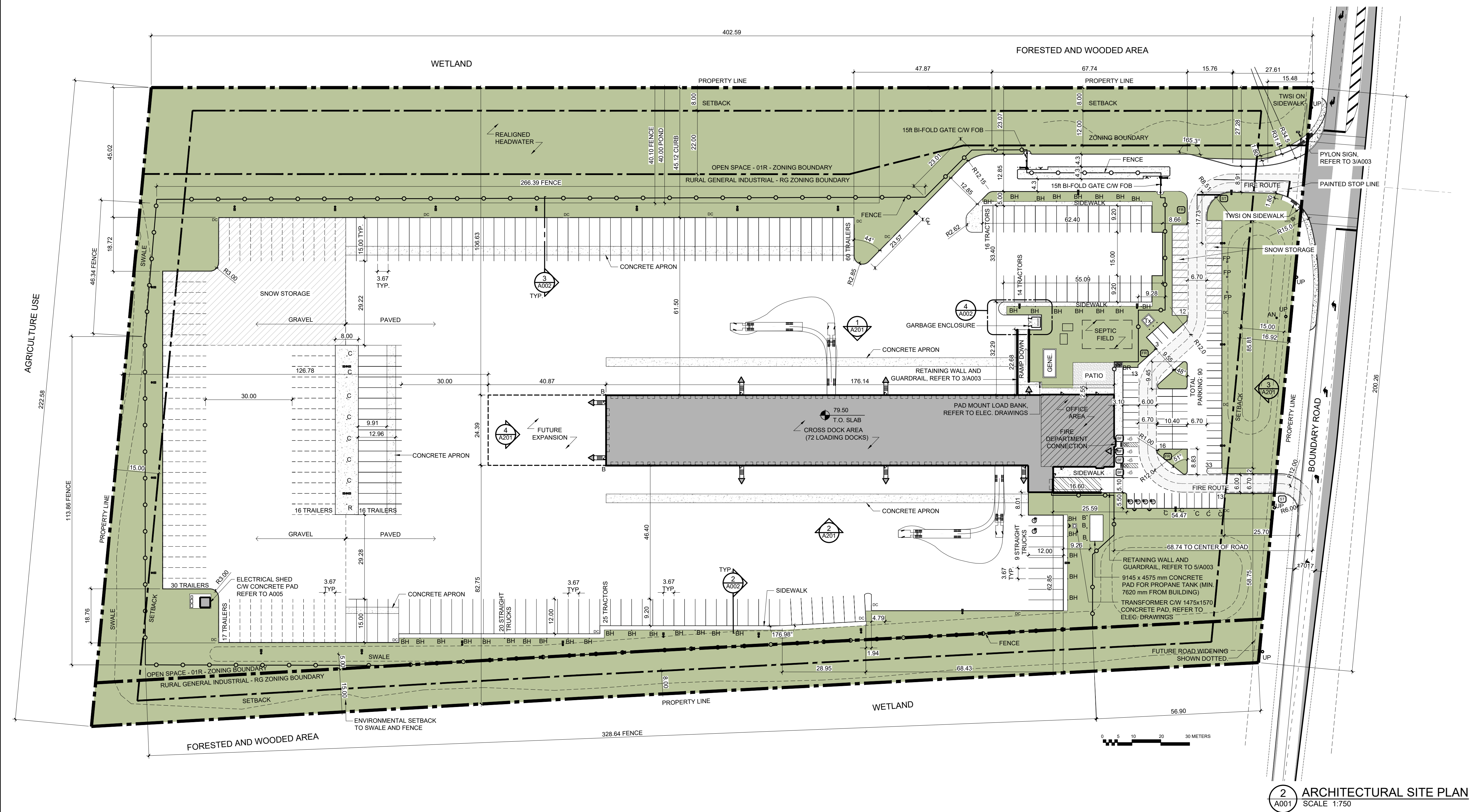
71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
tel. 613.224.0095 fax 613.224.9811

5494-5510 BOUNDARY ROAD
GLOUCESTER, ON



03

CITY'S FILE NUMBER: D07-XX-XX-XXXX



2 ARCHITECTURAL SITE PLAN
A001 SCALE 1:750

CITY PLAN NO. XXXX

03	ISSUE FOR SITE PLAN CONTROL APPLICATION	24 SEPT 2024
02	ISSUE FOR 60% SUBMISSION	15 AUG 2024
01	ISSUE FOR 30% SUBMISSION	27 JUNE 2024
no.	revision	date

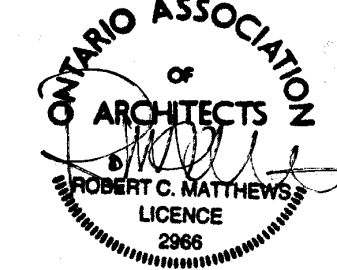
N45 ARCHITECTURE INC.

71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
tel. 613.224.0095 fax 613.224.9811

DAY & ROSS

5494-5510 BOUNDARY ROAD
GLOUCESTER, ON

seal



drawing title
SITE DETAILS

scale

AS SHOWN

drawn by

DL

date

JUNE 2024

checked by

RM

project number

22-765

drawing number

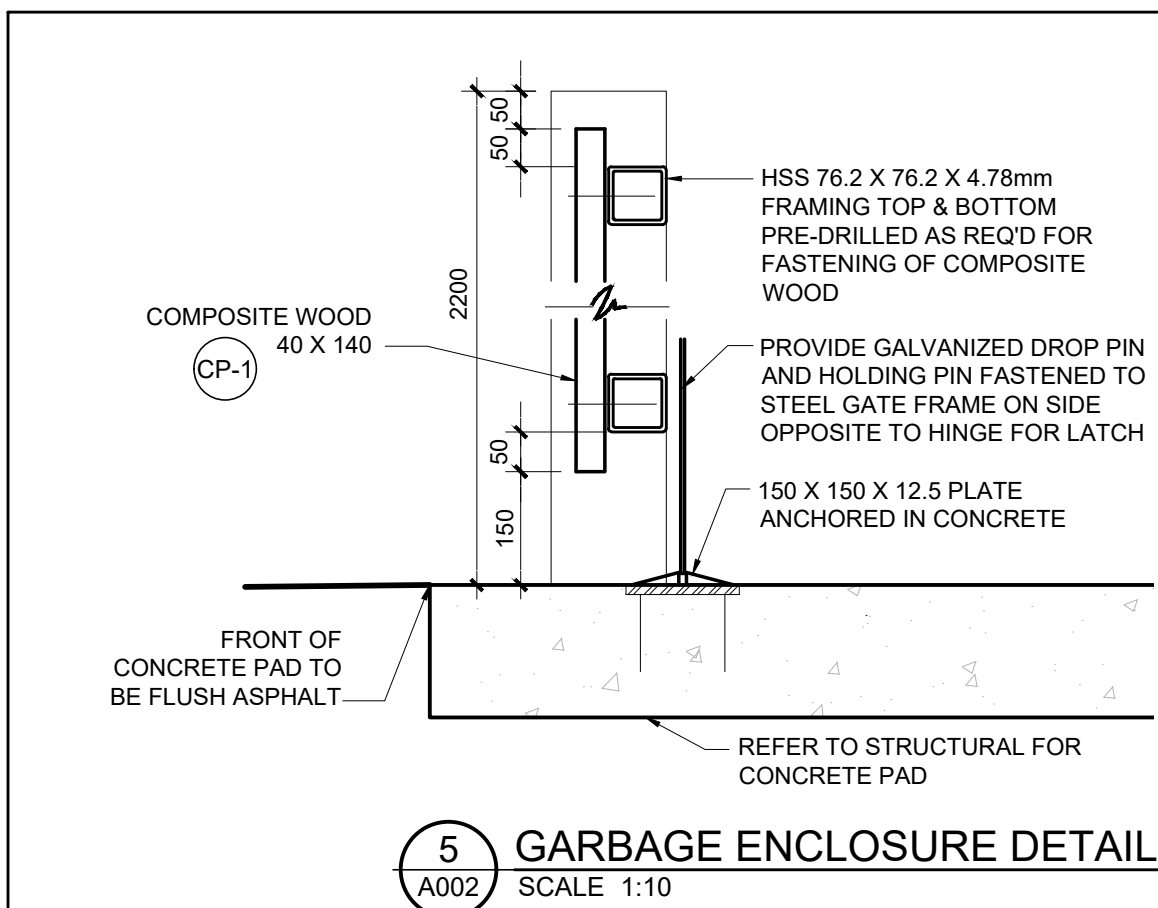
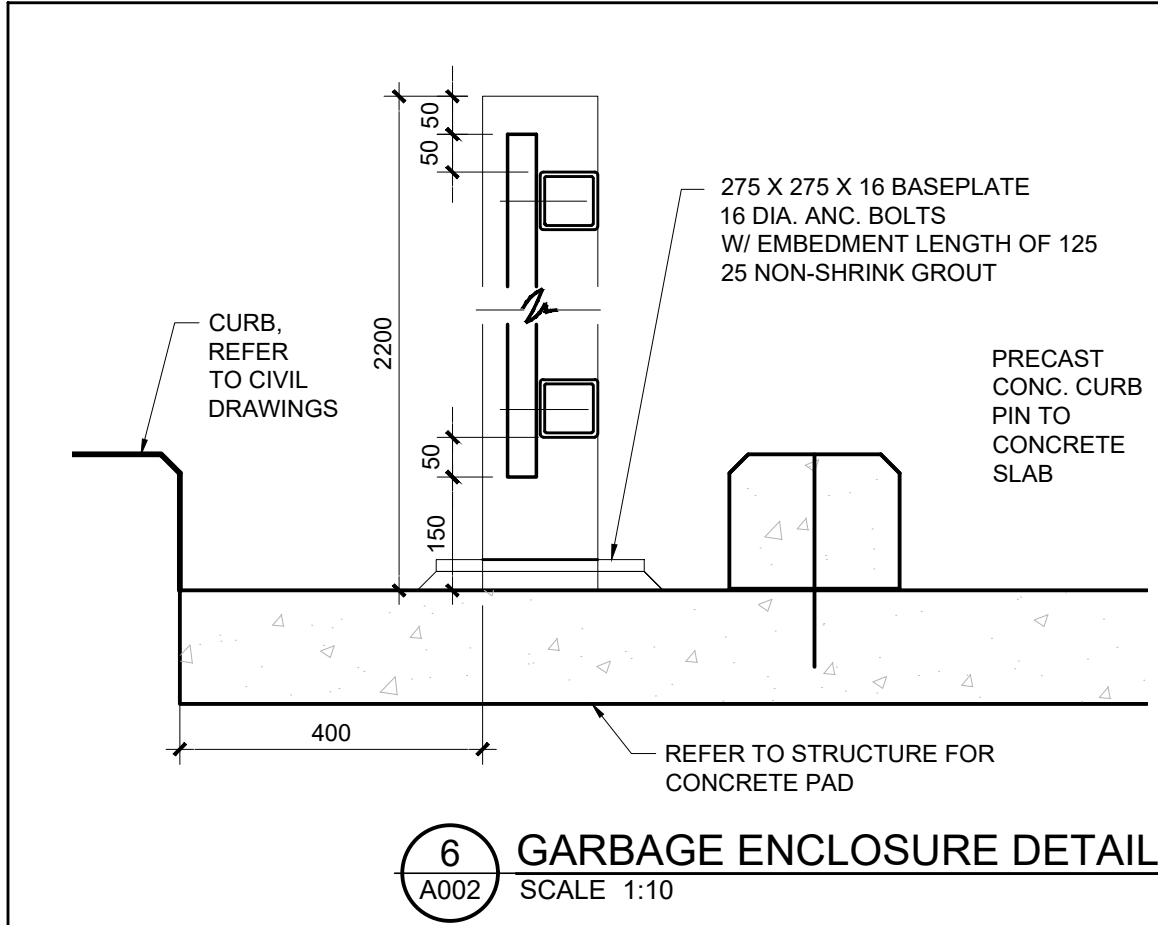
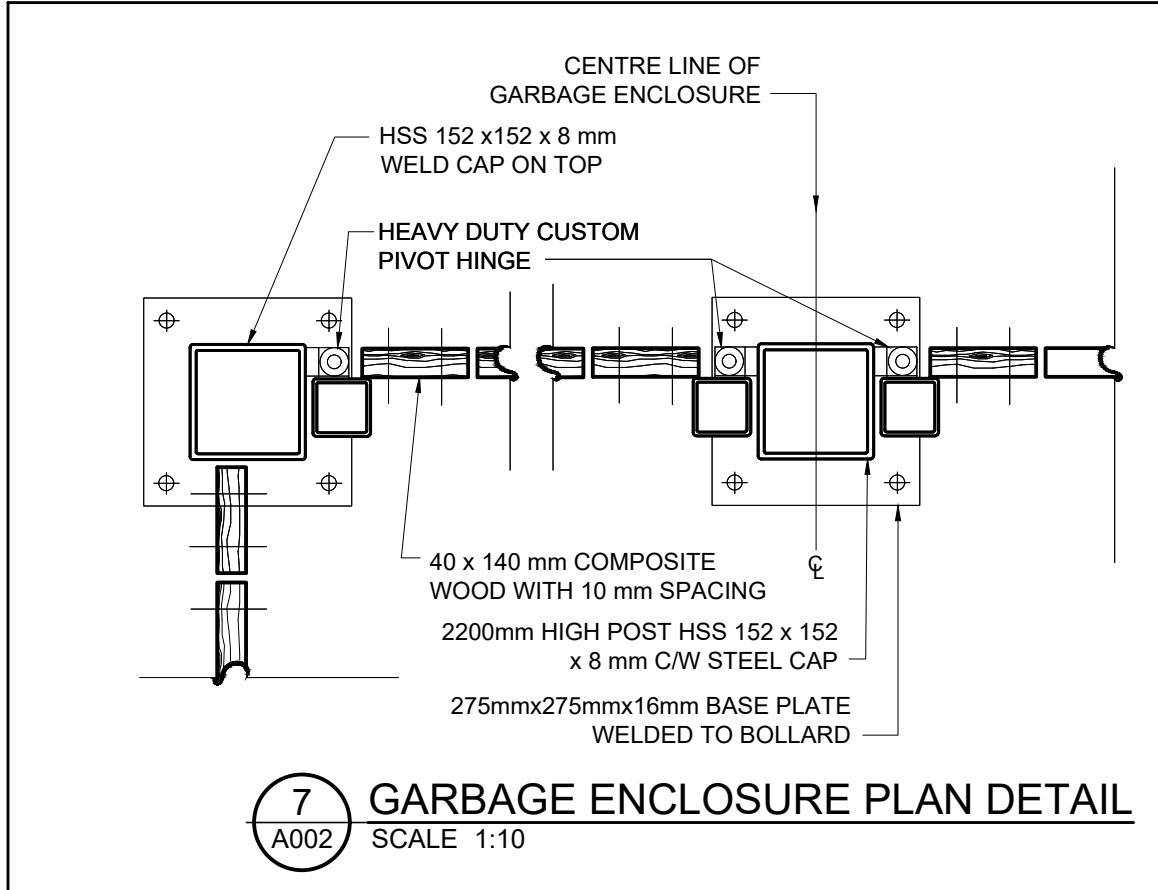
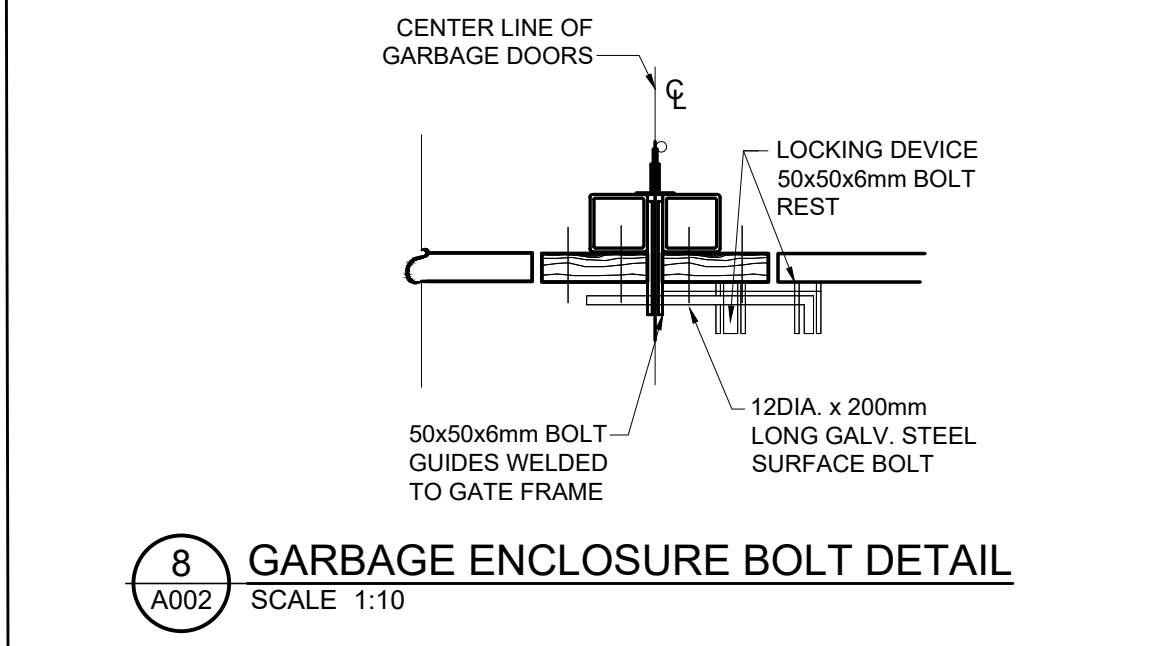
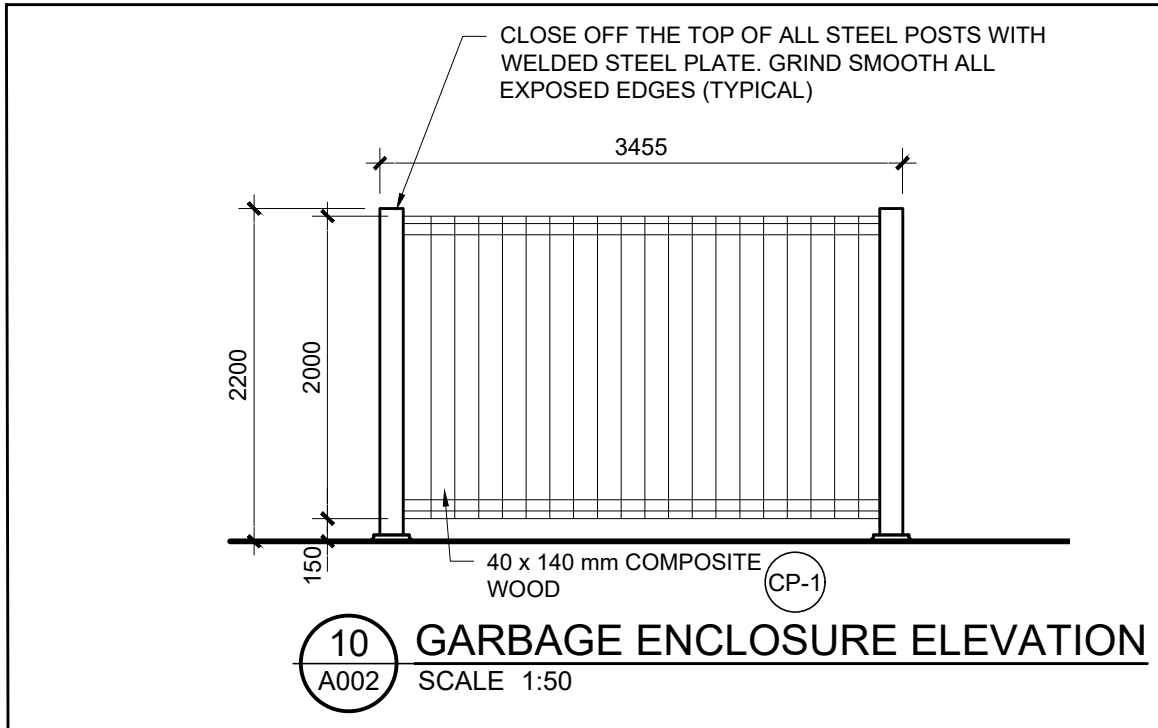
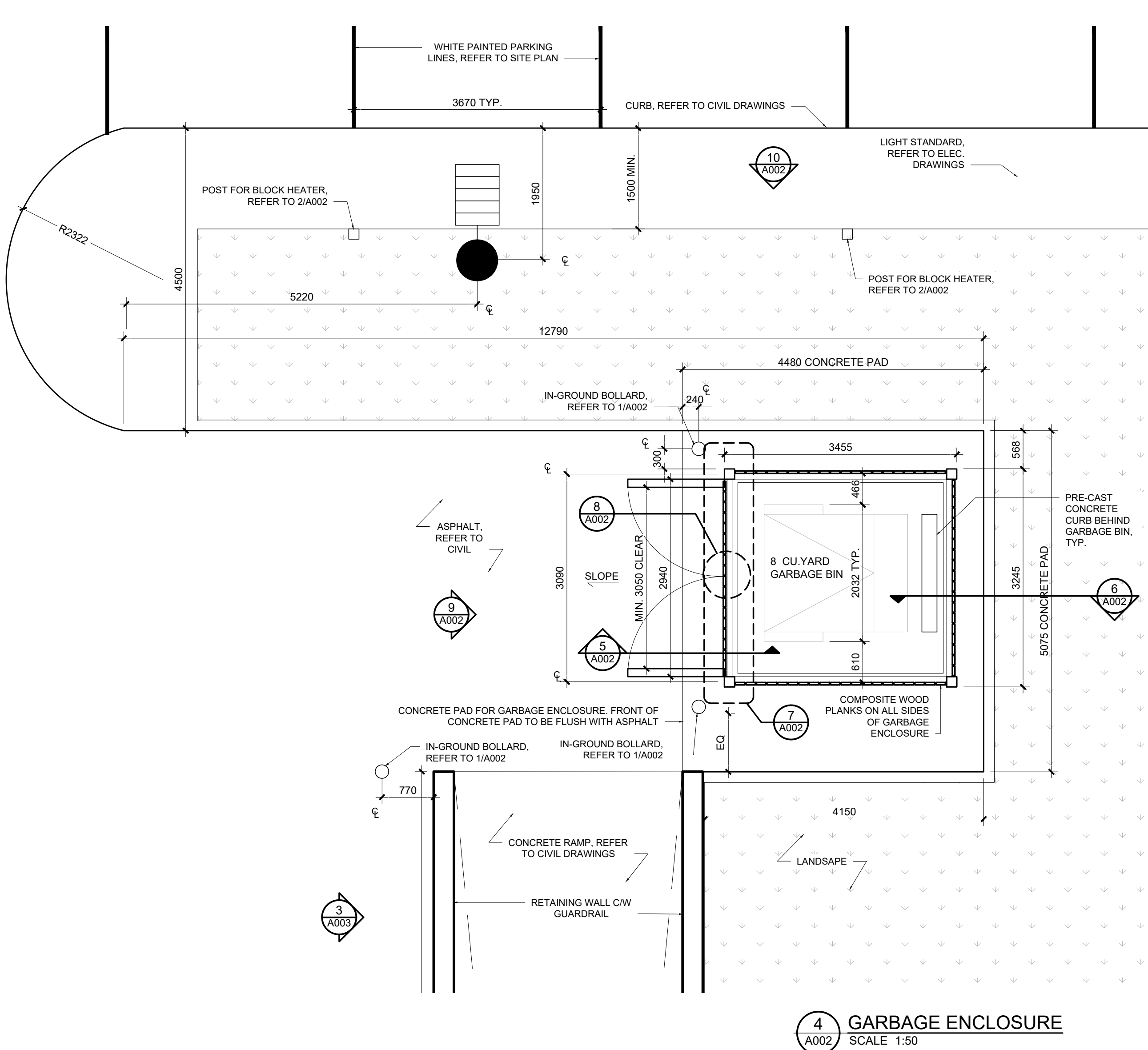
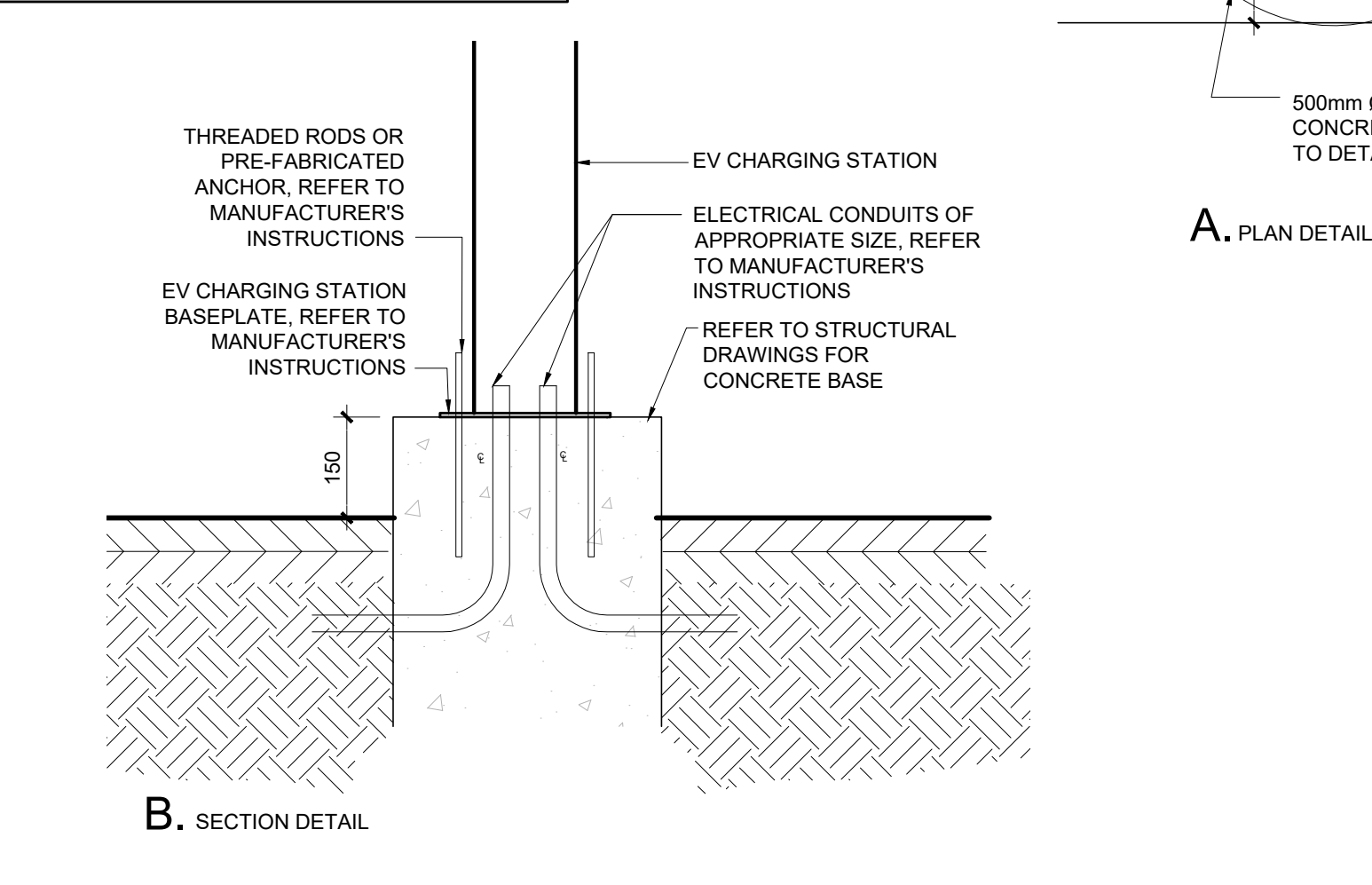
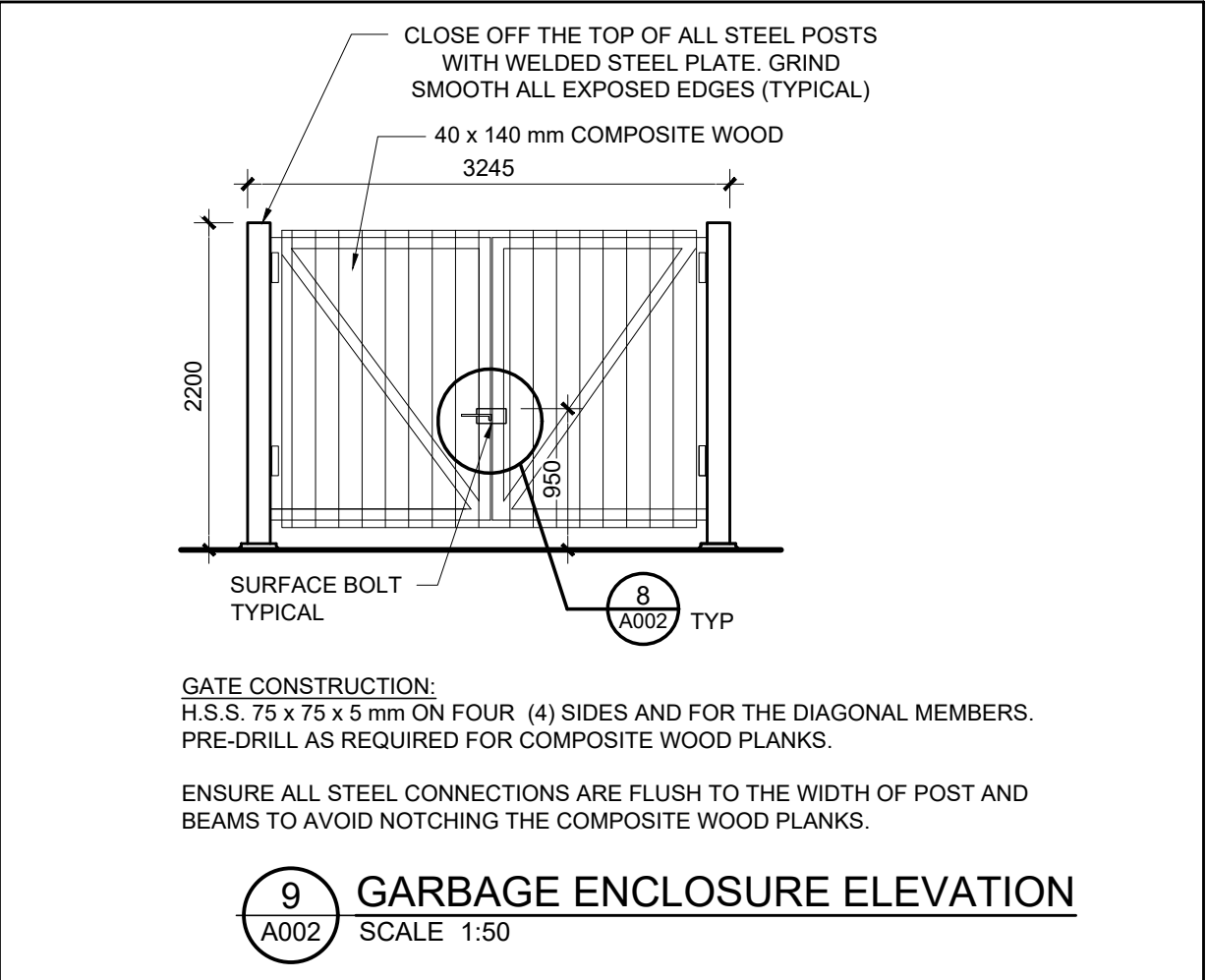
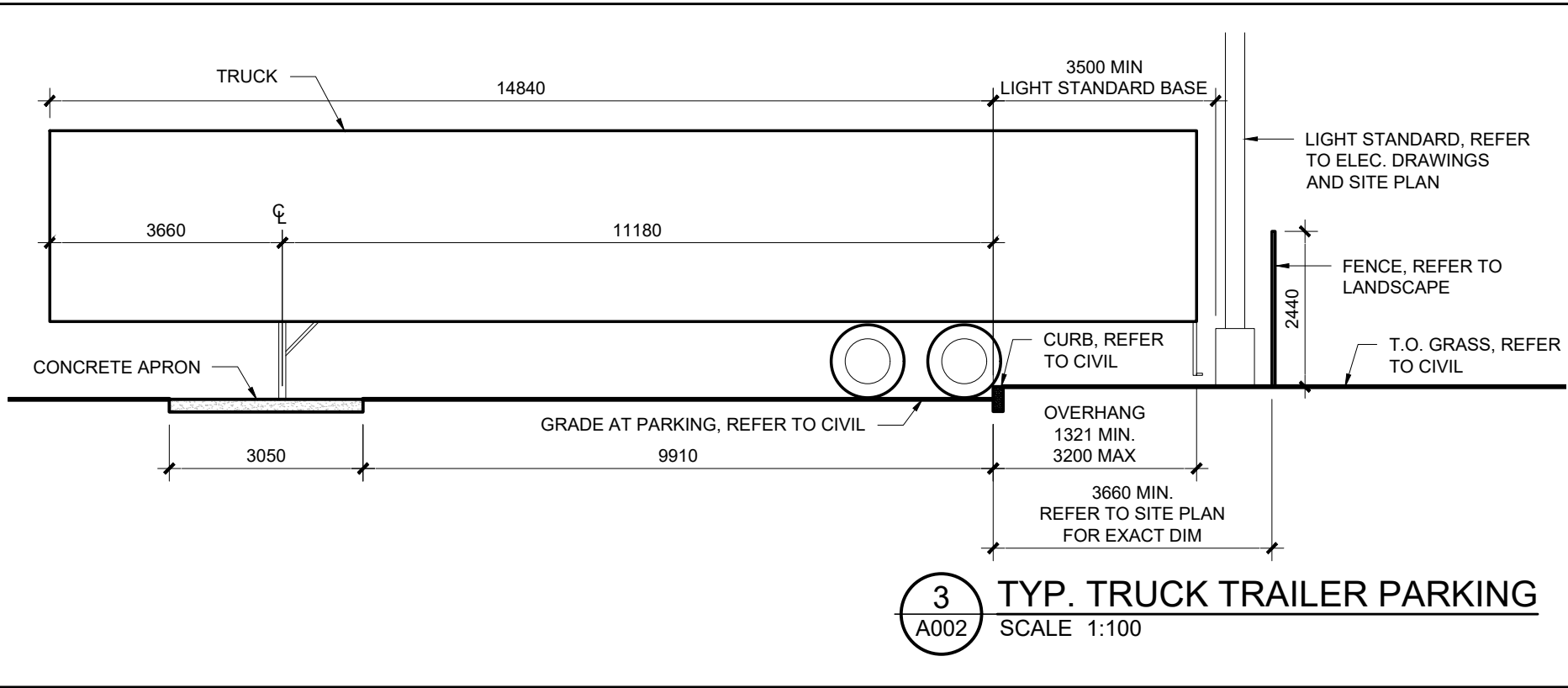
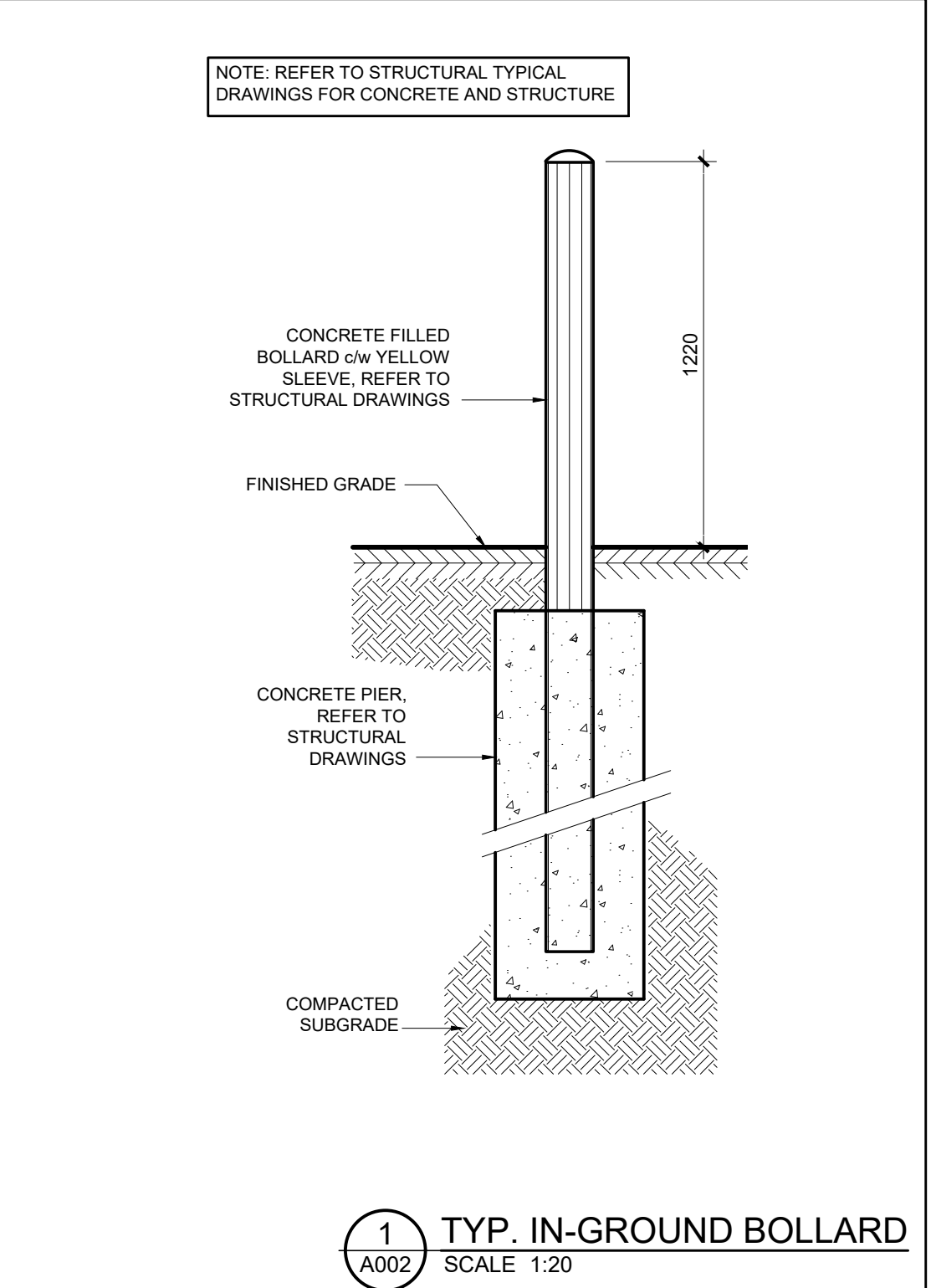
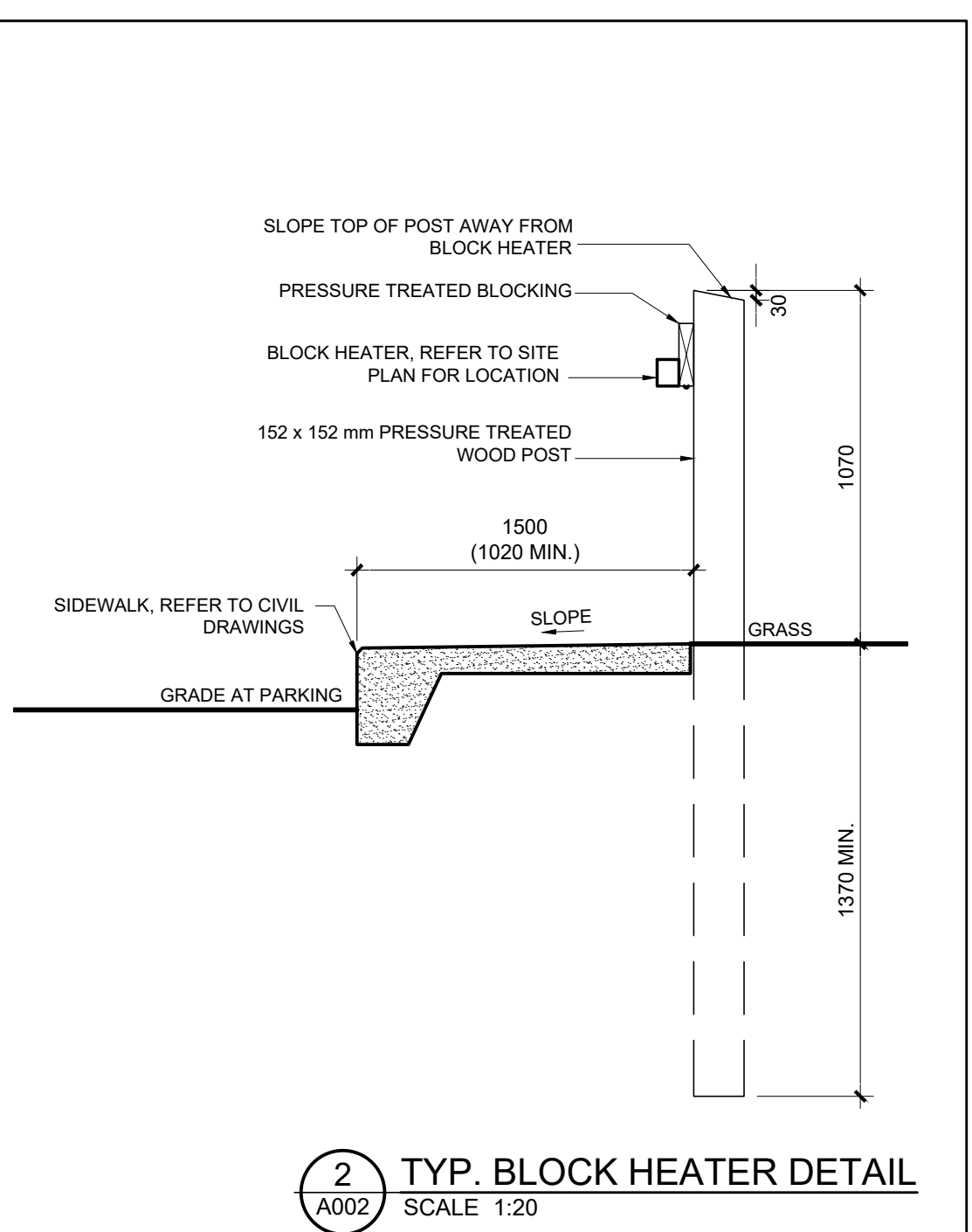
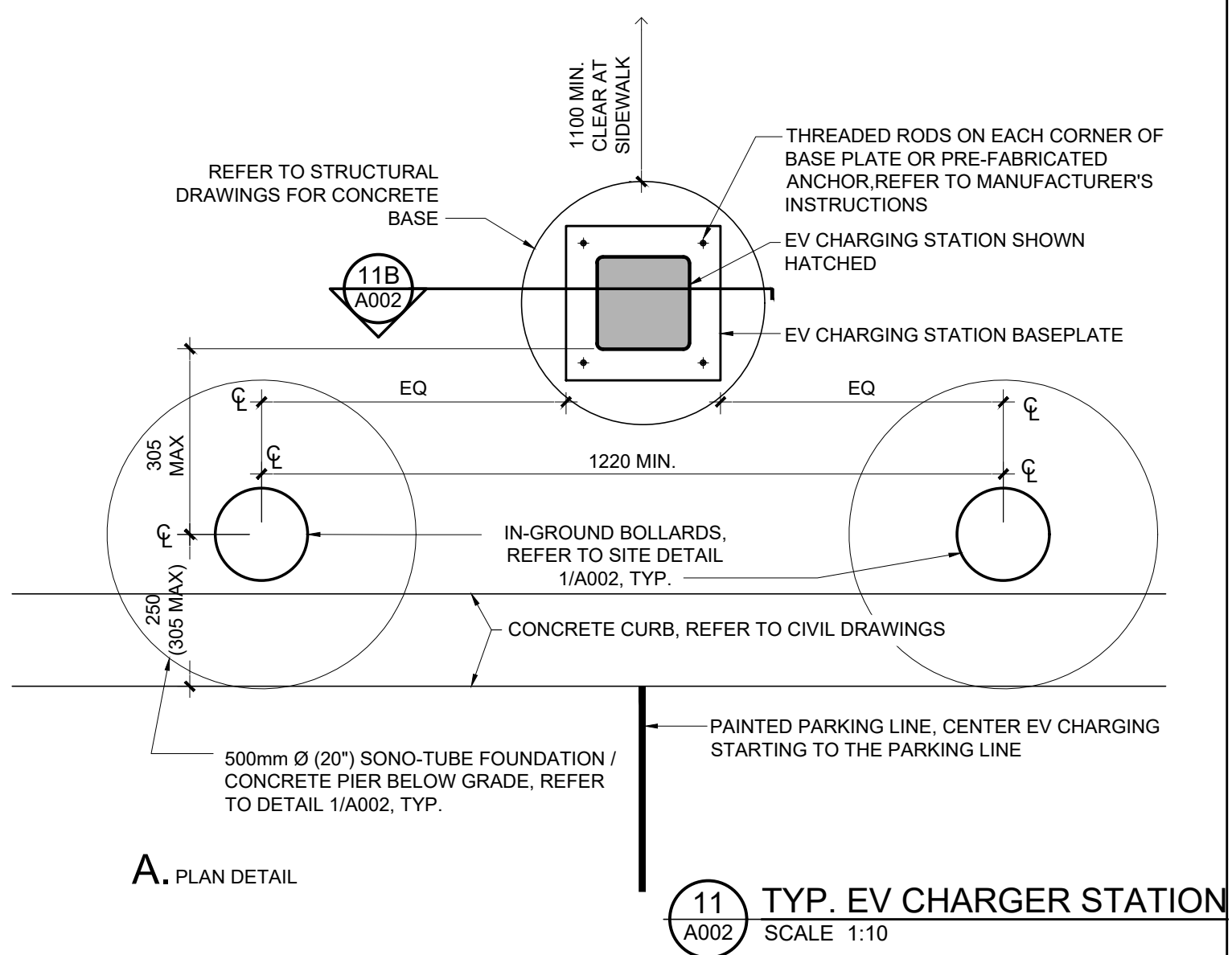
A002

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES.

revision

03

DO NOT SCALE DRAWINGS



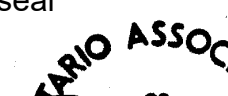




N45 ARCHITECTURE INC.

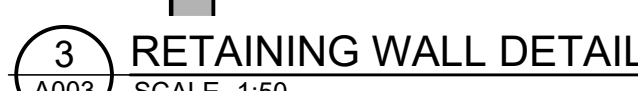
71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
tel. 613.224.0095 fax 613.224.9811

seal

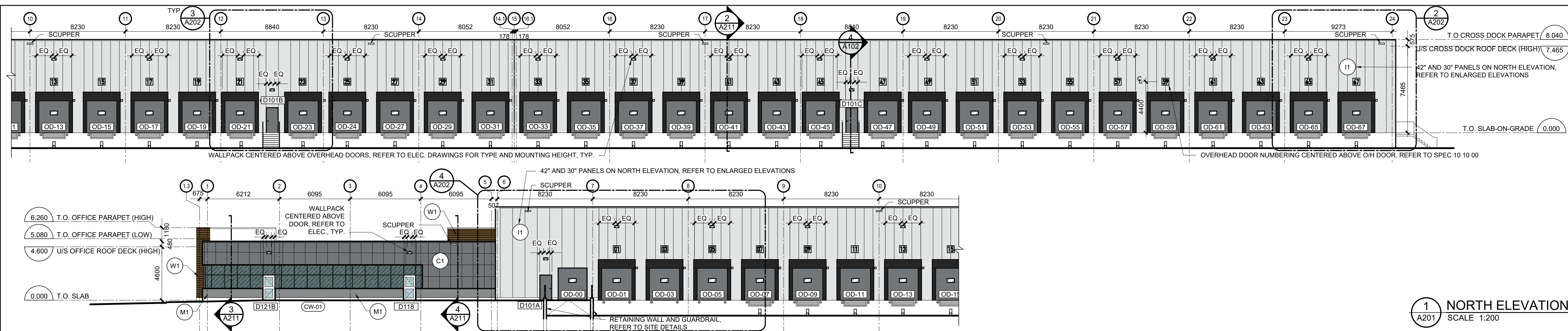


ONTARIO ASSOCIATION
of
ARCHITECTS
ROBERT C. MATTHEWS
LICENCE
2006

CITY'S FILE NUMBER: D07-XX-XX-XXXX



CITY OF ANTONIO TEXAS



Architectural drawing of the South Elevation of a building. The drawing shows a long, low structure with a series of overhead doors (OD) and windows (W). The elevation is divided into two main sections. The upper section shows the main building facade with doors OD-68 to OD-18 and windows W1 to W11. The lower section shows a smaller, more complex structure with doors OD-18 to OD-02 and windows W1 to W13. The drawing includes various annotations such as 'T.O. CROSS DOCK PARAPET', 'U/S CROSS DOCK ROOF DECK (HIGH)', 'T.O. SLAB-ON-GRADE', 'SCUPPER', 'STORM PIPE, REFER TO MECH', 'WALLPACK, REFER TO ELEC. DWGS', 'T.O. OFFICE PARAPET (HIGH)', 'T.O. OFFICE PARAPET (LOW)', 'U/S OFFICE ROOF DECK (HIGH)', and 'T.O. SLAB, 0.000'. The drawing is labeled '2 SOUTH ELEVATION' and 'SCALE 1:200'.

M1

BLACK BRICK
JUMBO BRICK, SHAW BRICK
ATLANTIC PORT MORIEN COLLECTION
SAXON 7 1/2" x 3 9/16" x 3
9/16" GROUT JOINT - COLOUR: PORT MORIEN

C1

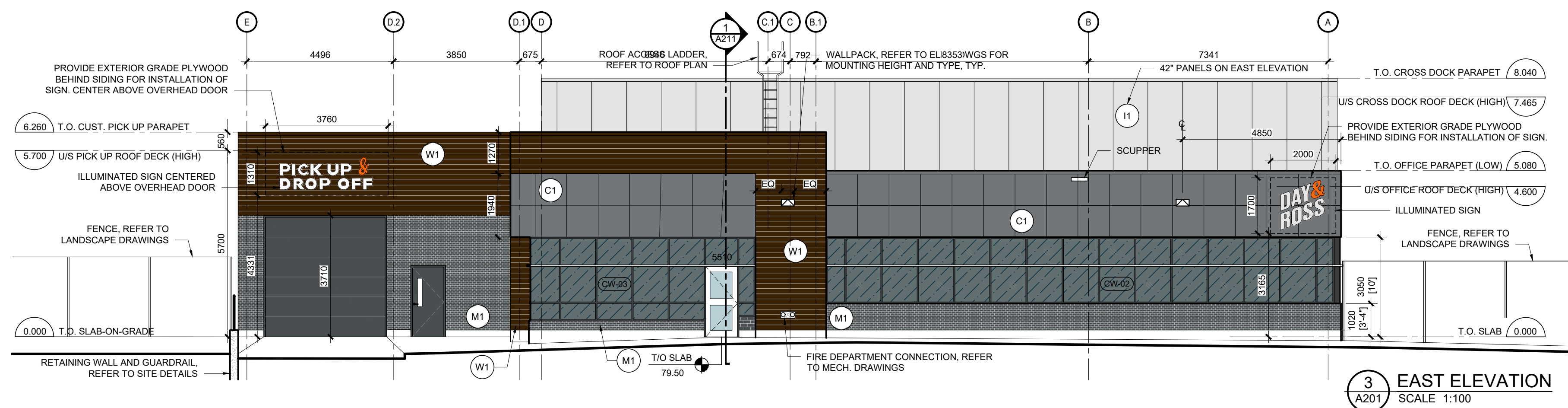
COMPOSITE METAL PANEL
VICWEST ALPOLIC, COLOUR: BGY GREY

I1

INSULATED METAL PANEL
METLSPAN CF, MESA PROFILE
30" AND 42" PANELS, SEE ENLARGED ELEVATIONS
26 ga INTERIOR AND EXTERIOR
EXTERIOR COLOUR: REGAL GREY
INTERIOR COLOUR: IGLOO WHITE

W1

FAUX WOOD SIDING
VICWEST BELLARA, COLOUR:
LIVELIKE WOODGRAIN MOUNTAIN CEDAR

[illegible]