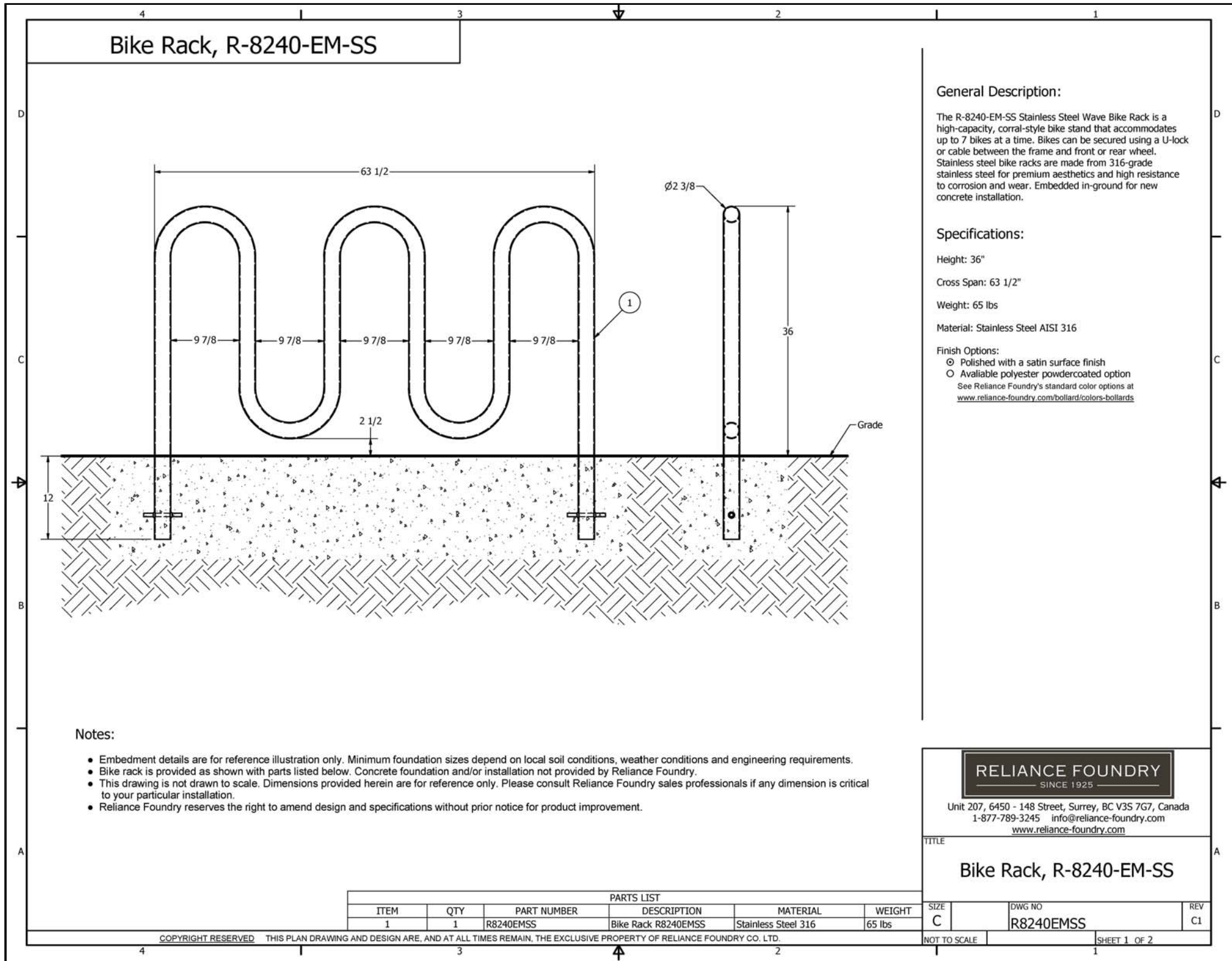




2 BIKE RACK DETAIL
A101

LEGEND:

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	DEMOLITION OF EXISTING FEATURE
---	FIRE ROUTE
---	REQUIRED LANDSCAPED AREA SETBACK
---	REQUIRED YARD SETBACK
---	NEW CONTINUOUS CONCRETE CURBING
---	CURB CUT C/W DEPRESSED CURB
---	BOLLARDS
---	NEW BUILDING FOOTPRINT
---	NEW LANDSCAPING
---	NO PARKING, PAINTED LINES
---	DIRECTION OF TRAFFIC
---	MAIN BUILDING ENTRANCE / EXITS
---	SECONDARY BUILDING ENTRANCE / EXITS
---	TYPICAL PARKING STALL (2.6m x 5.8m)
---	BARRIER-FREE PARKING STALL (4.4m x 5.8m)
---	ACCESSIBLE PARKING SIGN
---	FIRE DEPARTMENT CONNECTION

PROPERTY BOUNDARY AND TOPOGRAPHIC INFORMATION DERIVED FROM TOPOGRAPHICAL PLAN OF PART OF LOT 29 CONCESSION 1 (OLD SURVEY) GEOGRAPHIC TOWNSHIP OF CUMBERLAND CITY OF OTTAWA PREPARED BY ANNS, O'SULLIVAN, VOLLEBECK LTD. PROPERTY IDENTIFICATION NUMBER - PART 1 AND 2 ON 4R-23578 DATED MAY 13, 2022

SITE STATISTICS:

	REQUIREMENTS	PROPOSED (Based on newly proposed property lines)	COMPLIANT
ZONING DESIGNATION	"L-4 H21"	"L-4 H21"	Y
MIN LOT AREA	2,000 m ²	25,476 m ²	Y
MIN LOT WIDTH	N/A	97.8 m	Y
MAX LOT COVERAGE	65%	45%	Y
BUILDING AREA (BLDG FOOTPRINT)	N/A	11,522 m ²	Y
GROSS FLOOR AREA	N/A	WAREHOUSE BLDG A= 12,878 m ² BLDG B= 14,436 m ² TOTAL = 27,314 m ²	Y
FLOOR SPACE INDEX	MAXIMUM FSI OF 2	28,788 m ² / 25,476 m ² = 1.13	Y
BUILDING USES	AS PERMITTED BY IL-4 H21	SELF STORAGE FACILITY	Y
MINIMUM YARD REQUIREMENTS	FRONT YARD = 7.5 m; INTERIOR SIDE YARD (W) = 7.5 m REAR YARD = 7.5 m	FRONT YARD (S) = 7.5m (Old Montreal) INTERIOR SIDE YARD (W) = 7.5m CORNER SIDE YARD (E) = 10.2m REAR YARD (N) = 7.5m	Y
SETBACK FROM WATERCOURSE / WATERSHEDS (SEC. 69)	SETBACK TO HIGH WATER MARK - 30m REQUIRED	30m PROVIDED	Y
MAXIMUM BUILDING HEIGHT	21m	4 STOREYS 13.2m	Y
LANDSCAPING	PROPERTY LINE ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE, 3m, MAY BE REDUCED TO ONE METRE IF A 1.4 METRE HIGH OPAQUE SCREEN IS PROVIDED ABUTTING A STREET, 3m IN ALL OTHER CASES, NO MINIMUM	MINIMUM 3m LANDSCAPING BUFFER ALONG DAIRY DRIVE AND OLD MONTREAL ROAD	Y
PARKING	0.4 SPACES PER 100 SQUARE METRES ABOVE 5,000 SQUARE METRES OF GROSS FLOOR AREA LIGHT INDUSTRIAL BLDG C & D 0.8 SPACES PER 100 SQUARE METRES FOR THE FIRST 5,000 SQUARE METRES OF GROSS FLOOR AREA 76-100 PARKING SPACES 4 SPACES REQUIRED 1 PER 2000 m ² 28,788/2000 = 14 REQUIRED	BLDG A & B REQUIRED: (5,000m ² /100m ²)*0.8 = 40 (27,314m ² -5,000m ² /100m ²)*0.4 = 89 Total = 129 BLDG C & D REQUIRED: (14,74m ² /100m ²) = 14.74 14.74*0.8 = 11.792 Total = 12 TOTAL: 141 PARKING SPACES REQUIRED PROPOSED: 89 PARKING SPACES 4 BF SPACE PROVIDED 24 PROVIDED	N

NO DRAWING DIVISION SHALL BE VIEWED INDEPENDENTLY. CONTRACTOR AND ALL SUB CONTRACTORS TO REVIEW AND BE FAMILIAR WITH ENTIRE DRAWING SET.

Revisions

No.	For	Date
6	SITE PLAN APPROVAL	06/17/2025
5	SITE PLAN APPROVAL	04/07/2024
4	SITE PLAN APPROVAL	12/05/2024
3	SITE PLAN APPROVAL	09/24/2024
2	PRE-CON SUBMISSION	06/13/2024
1	REVISED FOR PHASE 3 PRE-CON SUBMISSION	02/15/2024

To: (Version) For: Date:

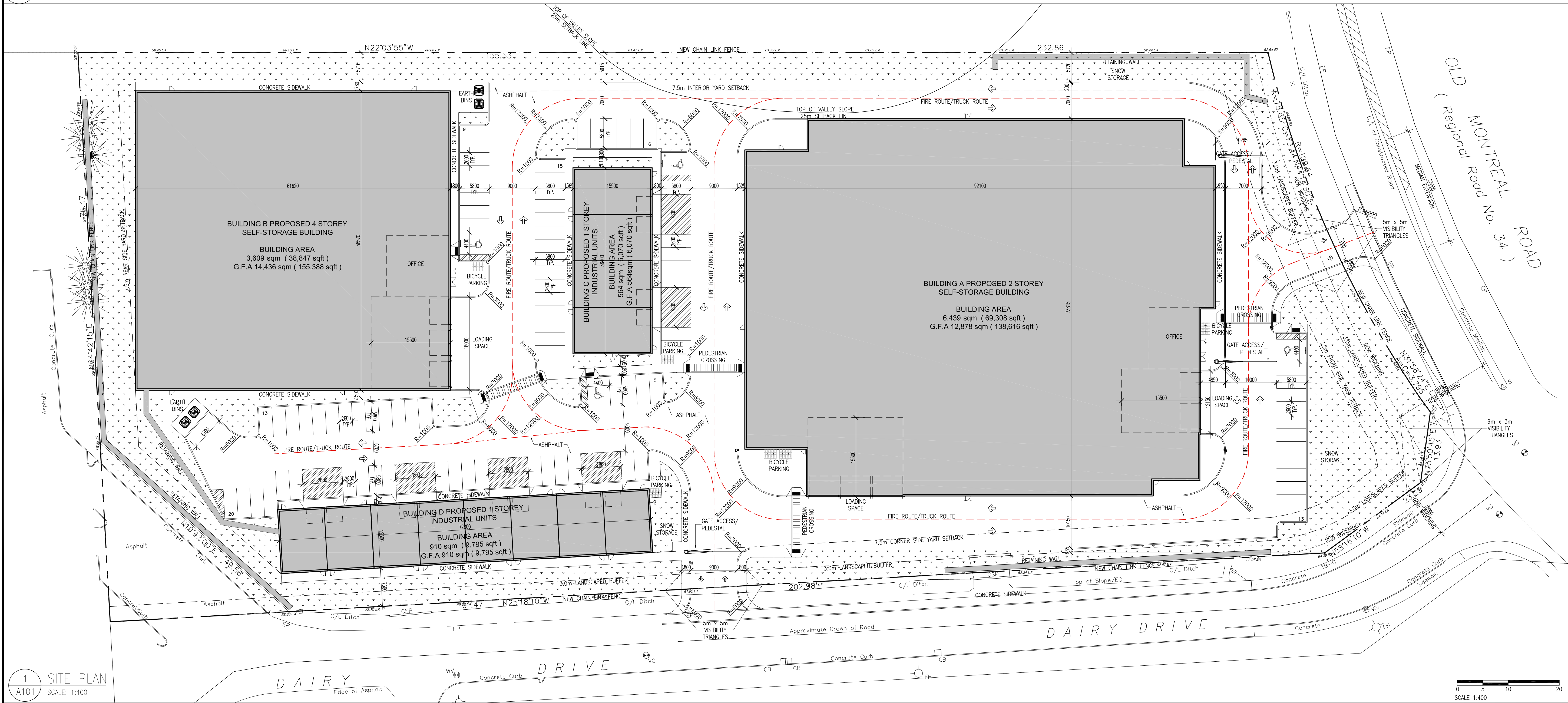
Issue Table

NOTE:
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. DO NOT SCALE DRAWINGS.

CONTRACTORS AND SUBCONTRACTORS SHALL USE THIS DRAWING IN CONJUNCTION WITH OTHER DISCIPLINARY ENGINEER DRAWINGS AND TENANT FIT-UP DRAWINGS.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL ISSUED FOR CONSTRUCTION BY DESIGN PROFESSIONAL UNDER ISSUE COLUMN.

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1 SITE PLAN
A101
SCALE: 1:400

ALL DRAWINGS ARE TO BE REVIEWED AS A FULL PACKAGE SET.

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Project:
PROPOSED SELF-STORAGE BUILDINGS
1015-1045 DAIRY DRIVE, OTTAWA, ON.
FILE NUMBER: D07-24-0122
PLAN NUMBER: 19229

Drawing Title:
SITE PLAN

Drawn By: MG Scale: AS NOTED
Checked By: SE Plot Date:
Project Date: 07.13.2023
Project No: 23-104
Drawing No: A101 Sheet Version: 0