

535

Legget Drive

ISSUED FOR SITE PLAN APPROVAL (SPA)

NEUF architect(e)s | KRP Properties | Novatech | 13338 | October 4, 2024

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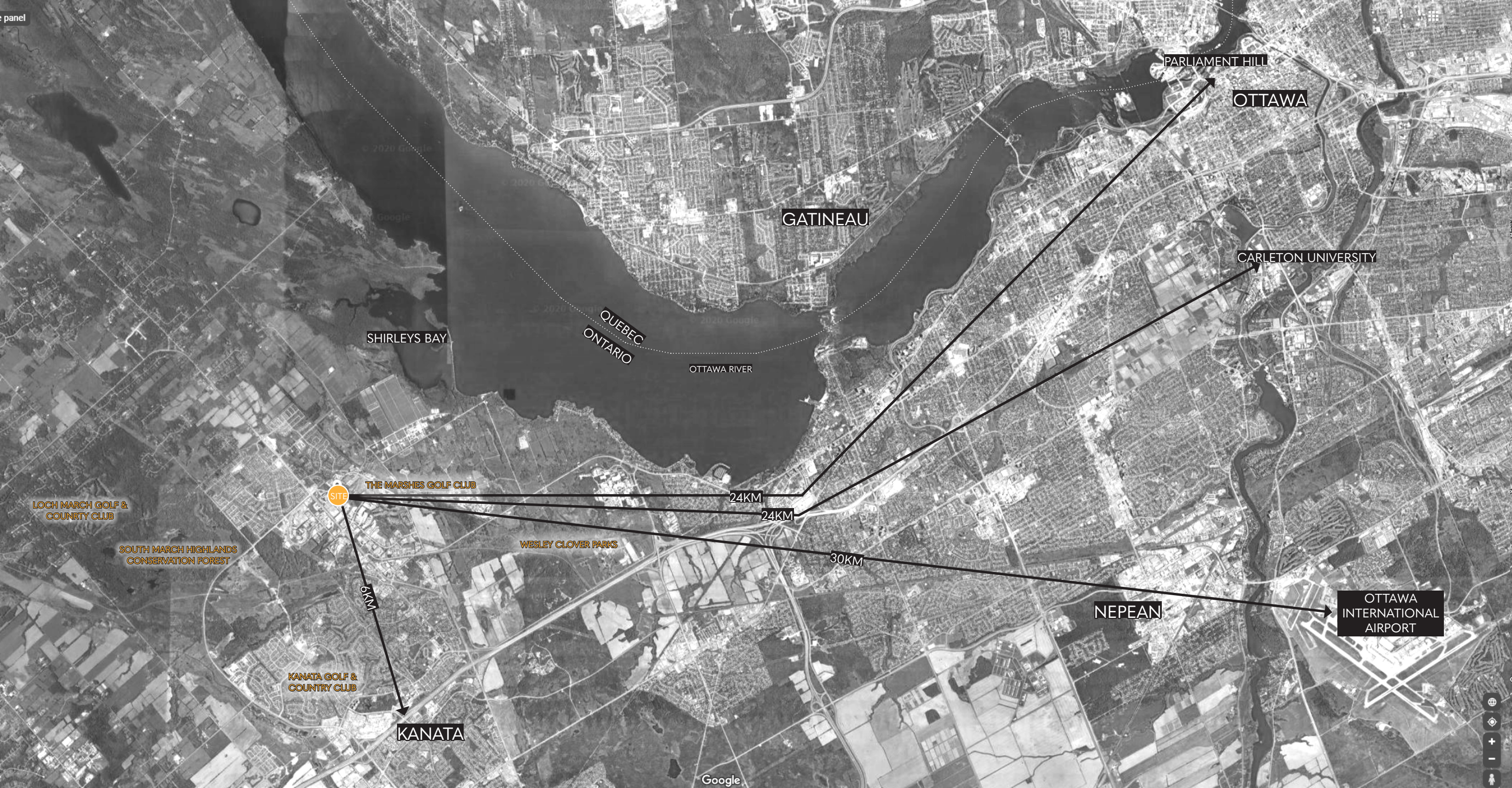
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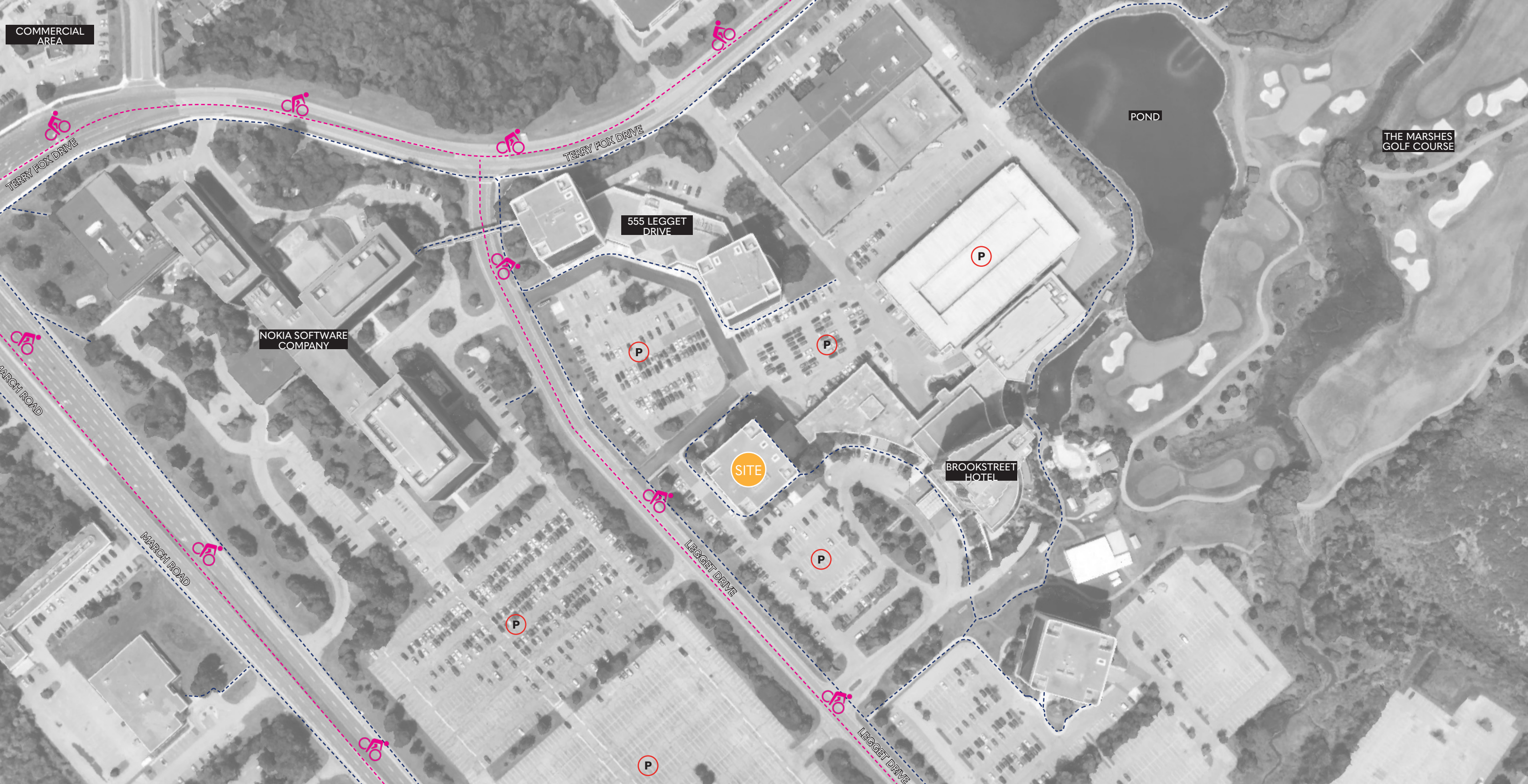
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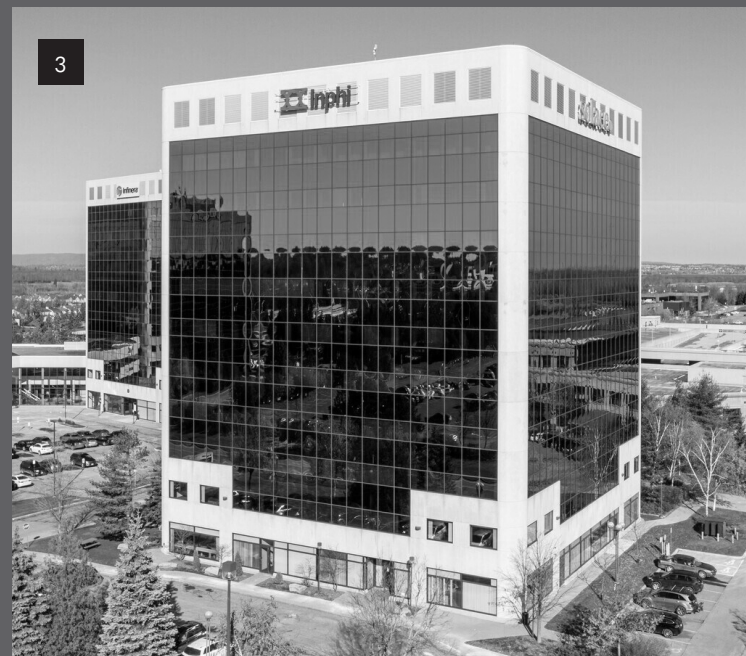


SITE LOCATION MAP (5KM)





-  : BICYCLE LANE (ON-ROAD)
-  : PEDESTRIANS PATHS
-  : PARKING



EXISTING AERIAL & STREET VIEWS



EXISTING CONDITIONS 535 LEGGET DRIVE

INTRODUCTION

INTRODUCTION

THE PROJECT AT 535 LEGGET DRIVE INVOLVES THE CONVERSION OF AN EXISTING 11-STORY OFFICE BUILDING INTO A RESIDENTIAL APARTMENT COMPLEX, CONSISTING OF 115 RENTAL UNITS. THE PRIMARY OBJECTIVE IS TO REVITALIZE THE BUILDING BY INTEGRATING CONTEMPORARY ARCHITECTURAL ELEMENTS THAT BREATHE NEW LIFE INTO THE SPACE AND CONTRIBUTE TO CREATING A VIBRANT AND INVITING RESIDENTIAL COMMUNITY.

MODERNIZING THE EXTERIOR WITH ELEGANCE

The design approach focuses on modernizing the building's exterior while enhancing its functionality as a residential space. A key feature of the design is the introduction of a continuous canopy around the ground floor, which will provide a sense of elegance and create a visually striking floating effect. The canopy, along with distinctive cladding on the ground floor, will establish a strong visual identity, ensuring the building stands out within the Kanata landscape.

DYNAMIC FAÇADE ENHANCEMENTS

To further enhance the building's exterior, the proposal includes replacing the existing window wall system with a new, more dynamic façade. This updated system will allow for the integration of Juliette balconies and textured spandrel panels, offering each unit a greater connection to the outdoors and increasing interior privacy.

COMPREHENSIVE RESIDENTIAL AMENITIES

Residents of 535 Legget Drive will enjoy access to a range of amenities both within the building and in the adjacent Brookstreet Hotel. The on-site amenities will be designed to complement the modern living environment being created, while the proximity to the Brookstreet Hotel will offer residents the opportunity to take advantage of additional services and facilities, enhancing their overall living experience.

LANDSCAPE AND ACCESSIBILITY IMPROVEMENTS

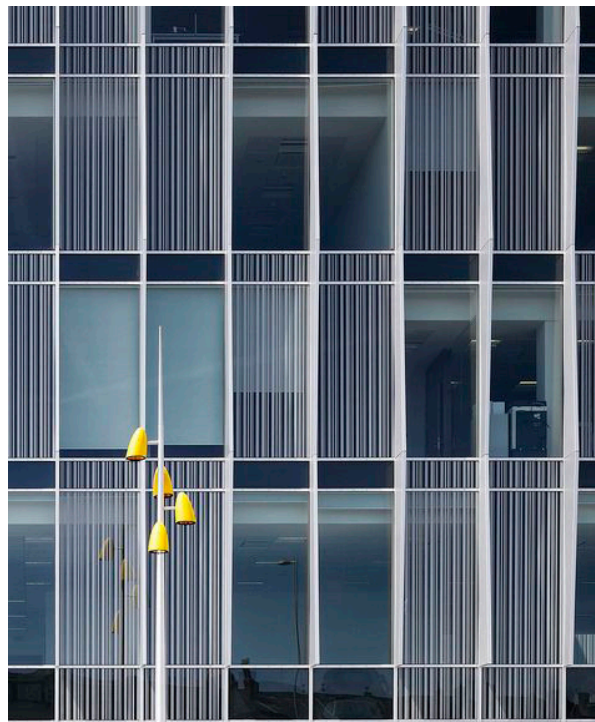
In addition to the architectural modifications, there is a commitment to enhancing the surrounding landscape. A new entrance to the project from Legget Drive will be created, designed to improve accessibility and presence. The landscape upgrades will include the addition of more green spaces and an increased number of trees, which will serve as a buffer between the building and Legget Drive, contributing to the aesthetic and environmental quality of the project. Similar to the architectural elements, the materials and textures used in the landscape will be updated, marking this project as a distinct and innovative direction for the Brookstreet campus.

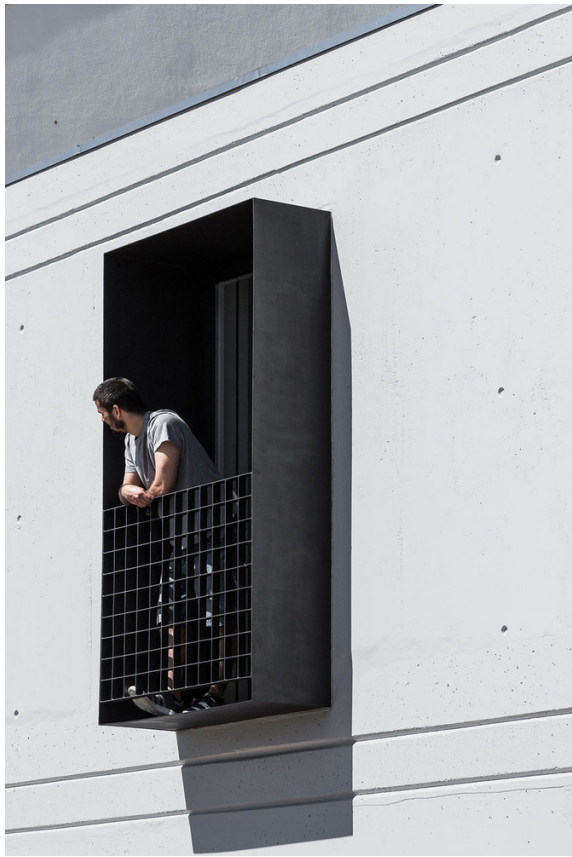
TRANSFORMING THE OFFICE INTO A VIBRANT COMMUNITY

This comprehensive redesign will transform the existing office building into a vibrant residential community, offering residents a modern living environment with a wide range of amenities. The design ensures that the building will not only meet the needs of its future residents but also contribute positively to the Kanata neighborhood.

535







THE PROJECT FOCUSES ON CONVERTING AN EXISTING OFFICE BUILDING INTO A RESIDENTIAL SPACE WITHIN A BUSINESS DISTRICT, WHILE SURROUNDING BUILDINGS REMAIN COMMERCIAL. KEY DESIGN CONSIDERATIONS INCLUDE:

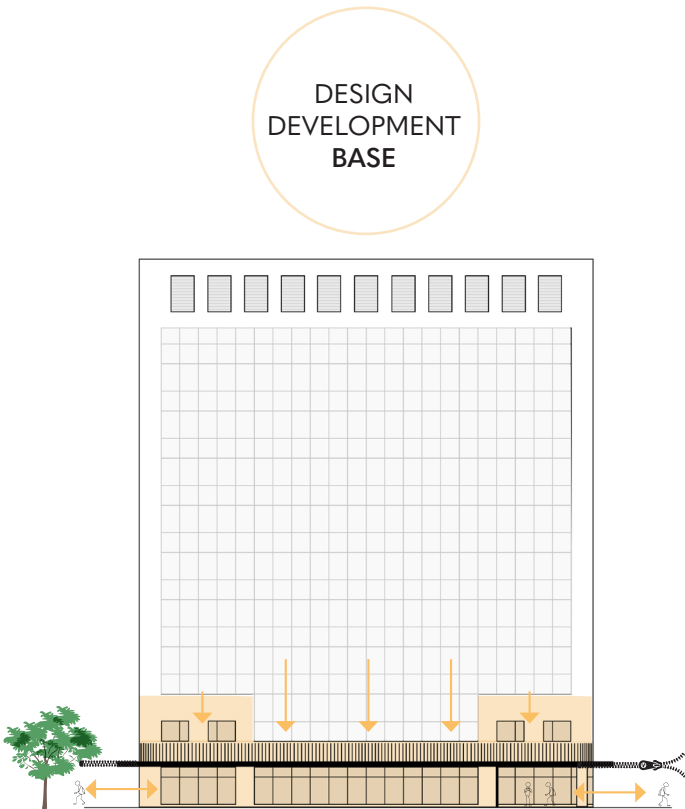
RESIDENTIAL IDENTITY: DESIGN STRATEGIES WILL EMPHASIZE THE BUILDING’S NEW RESIDENTIAL PURPOSE, ENSURING A CLEAR DISTINCTION FROM ITS PREVIOUS COMMERCIAL USE.

SHIFTING PUBLIC PERCEPTION: TO RESHAPE PUBLIC PERCEPTION OF THE BUILDING, AN INVITING ENTRANCE WILL BE CREATED, GROUND-FLOOR AMENITIES WILL BE ADDED, AND THE BUILDING WILL BE REBRANDED WITH A NEW IDENTITY.

HARMONIOUS DISTINCTION: WHILE THE PROJECT WILL INTRODUCE A UNIQUE RESIDENTIAL CHARACTER, IT WILL MAINTAIN VISUAL HARMONY WITH THE SURROUNDING COMMERCIAL STRUCTURES.

ENHANCING EXISTING FEATURES: THE DESIGN WILL REFINE AND BUILD UPON THE BUILDING’S ORIGINAL ARCHITECTURAL ELEMENTS, RESPECTING ITS EXISTING PROPORTIONS AND CHARACTER WHILE ADAPTING THEM TO SUIT THE NEW RESIDENTIAL FUNCTION.

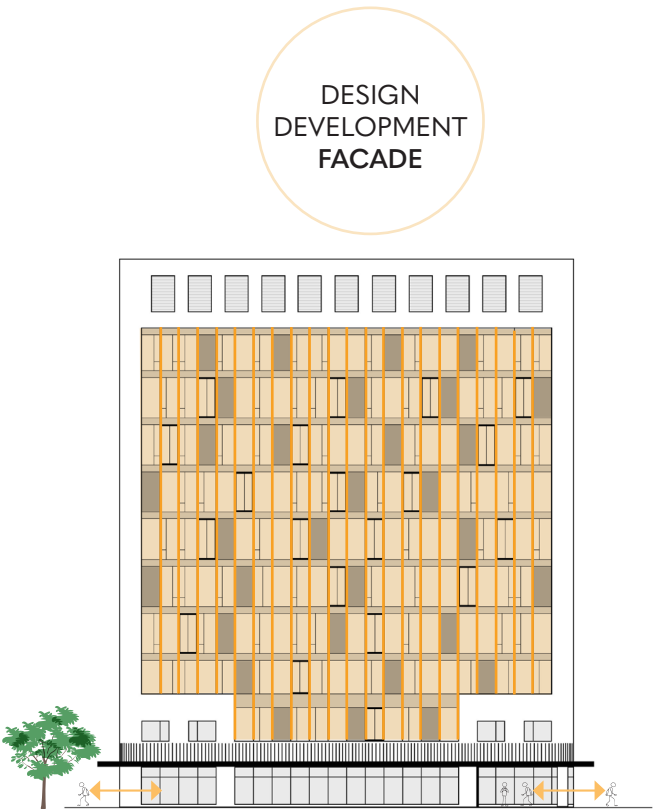
BY ADDRESSING THESE ASPECTS, THE PROJECT AIMS TO CREATE A DESIRABLE RESIDENTIAL SPACE THAT HARMONIZES WITH ITS SURROUNDINGS WHILE ESTABLISHING A DISTINCT NEW IDENTITY.



SENSE OF ARRIVAL: CREATE A WELCOMING ENTRANCE BY CARVING INTO THE BUILDING’S ENVELOPE, INTEGRATING LANDSCAPING, AND HIGHLIGHTING DOUBLE-HEIGHT CORNERS TO ENHANCE VISUAL INTEREST.

EXTENDING THE HOTEL’S PROMENADE: DESIGN AN INVITING GROUND FLOOR THAT CONNECTS TO THE EXISTING HOTEL PROMENADE.

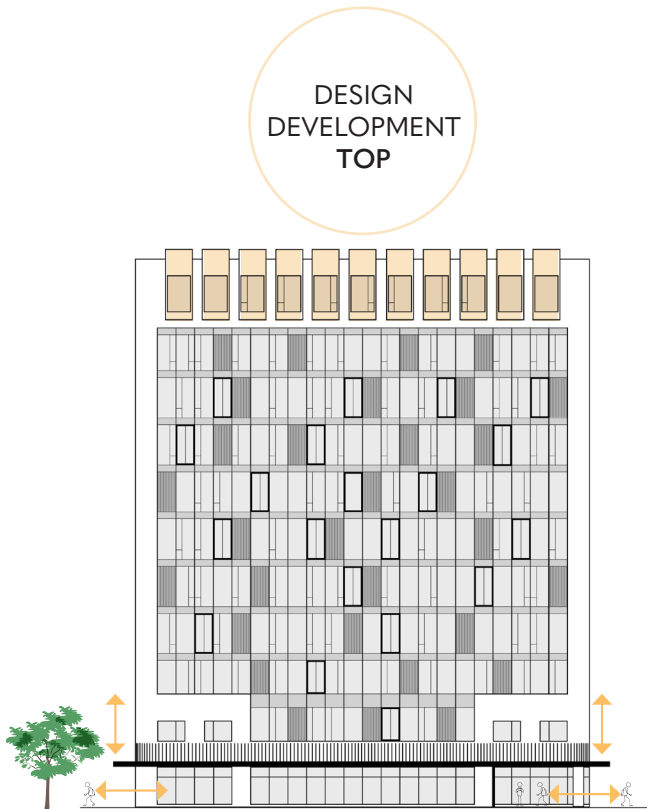
CONTRAST AND FLOATING EFFECT: CREATE VISUAL DISTINCTION BETWEEN THE BUILDING’S LOWER AND UPPER FLOORS BY USING CONTRASTING MATERIALS. ADDING A CONTINUOUS CANOPY ALONG THE FAÇADE ON THE GROUND FLOOR TO CREATE A CAPTIVATING FLOATING EFFECT.



GLASS FAÇADE REDESIGN: THE GLASS FAÇADE WILL BE REIMAGINED TO CREATE A MORE WELCOMING AND RESIDENTIAL CHARACTER FOR THE BUILDING’S EXTERIOR. THE ADDITION OF OPERABLE WINDOWS, JULIETTE BALCONIES, AND TEXTURED METALLIC SPANDRELS WILL ENHANCE THE CONNECTION OF EACH UNIT TO THE OUTDOORS WHILE ALSO INCREASING PRIVACY FOR RESIDENTS.

BIRD-FRIENDLY GLAZING AND TEXTURE: THE DESIGN WILL INCORPORATE BIRD-SAFE GLAZING SOLUTIONS WITH TEXTURED PATTERNS THAT NOT ONLY ENHANCE THE BUILDING’S AESTHETIC BUT ALSO CONTRIBUTE TO WILDLIFE CONSERVATION.

PRIVACY ENHANCEMENTS: TO PROVIDE GREATER PRIVACY FOR RESIDENTS, SPANDREL PANELS WILL BE STRATEGICALLY ADDED. THESE, ALONG WITH LINEAR PATTERNS ON THE GLASS, WILL EVOKE THE AESTHETIC OF RESIDENTIAL CURTAINS, OFFERING A SUBTLE YET EFFECTIVE PRIVACY SOLUTION FOR EACH UNIT.



SKYLINE RECOGNITION : DESIGN A DISTINCTIVE ARCHITECTURAL CROWN AND TRANSFORM THE FAÇADE WITH CONTRASTING MATERIALS AND LIGHTING. INCORPORATE FRAMES AROUND EXISTING OPENINGS TO COMPLEMENT AND RESONATE WITH THE DESIGN OF THE FAÇADE BELOW.

NOTE :

- Existing structure materials to be reused with companies to create a circular economy;

RENDERINGS







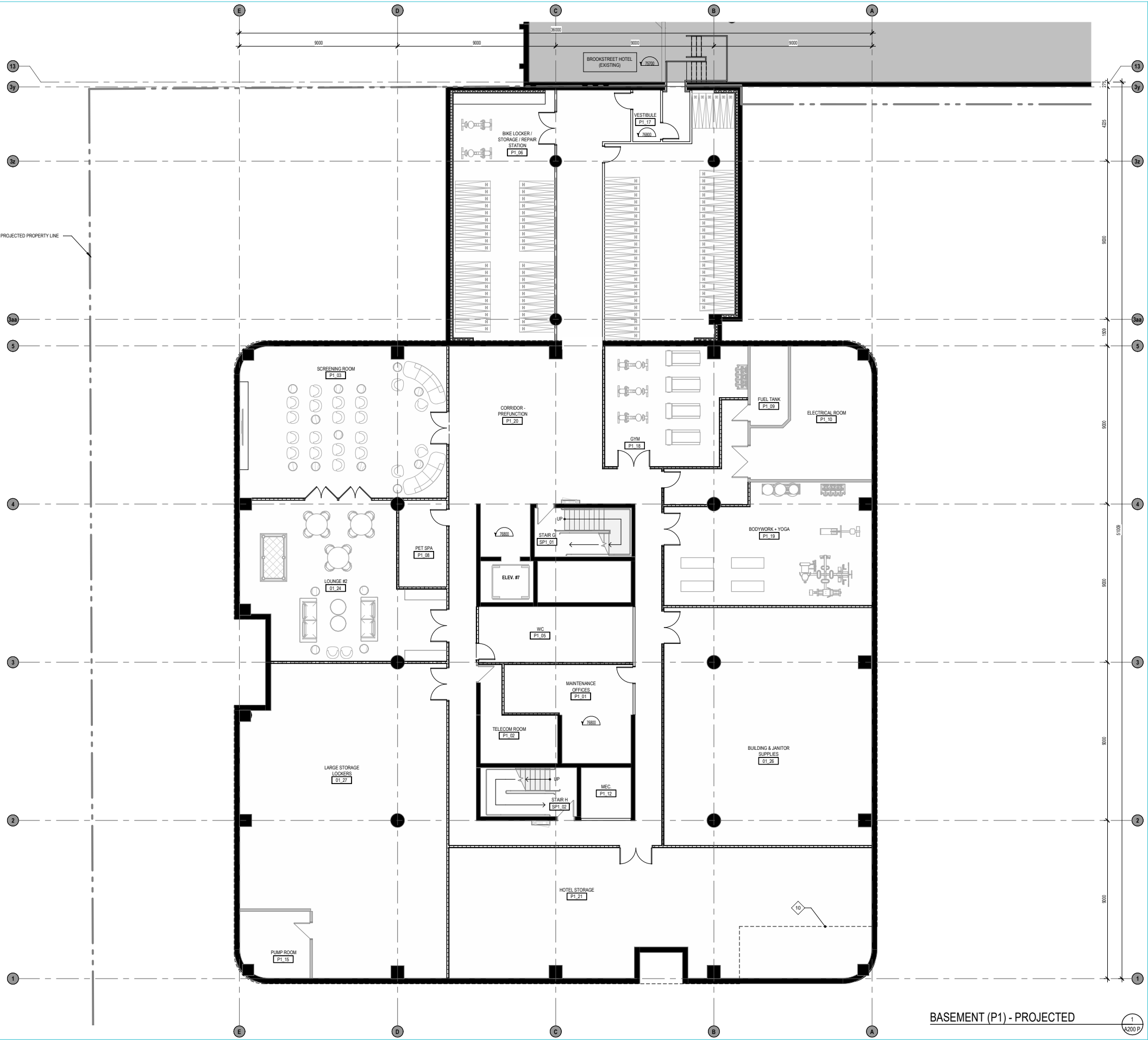
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ANNEXE

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GENERAL NOTES	
# NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
04	PROPOSED NEW VEHICULAR ENTRANCE
05	GRADING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN MOVE-OUT AND GARBAGE COLLECTION (8% MAX FOR GARBAGE COLLECTION SEE CIVIL ENG.)
06	PROPOSED EXTERIOR DECK (REFER TO LANDSCAPE ARCHITECT)
07	NEW SIGNAGE
08	ADDITIONAL TREE (REFER TO LANDSCAPE ARCHITECT)
09	PROJECTED BUILDING OUTLINE - GROUND FLOOR
10	MARQUISE OUTLINE
11	NEW STAIRCASE OUTLINE
12	PROJECTED BUILDING OUTLINE - SECOND FLOOR
13	CONTACT PANEL (SEE ELECTRICAL ENG.)
14	FIRE PANEL (SEE ELECTRICAL ENG.)
15	PROPOSED EXIT STAIR FROM BROOKSTREET HOTEL
16	RELOCATED ROPE GUIDE
17	CONCRETE DRAINAGE SPLASH PAD (REFER TO LANDSCAPE ARCHITECT)
18	SEATING AREA
19	PROPOSED EXTERIOR BIKE PARKING

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SCEAU / Seal



OUVRAGE Project

535 LEGGET DRIVE

EMPLACEMENT Location

535 LEGGET DRIVE,
KANATA, ONTARIO

NO. PROJECT No.

13338

NO	REVISION	DATE (aa-mm-jj)
G	ISSUED FOR SITE PLAN APPROVAL	2024 10 04

Preliminary
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DESSINÉ PAR Drawn by

AT MS

DATE (aa-mm-jj)

24.09.18

TITRE DU DESSIN Drawing Title

SPA - BASEMENT -
PROJECTED

VERIFIÉ PAR Checked by

KP

ECHELLE Scale

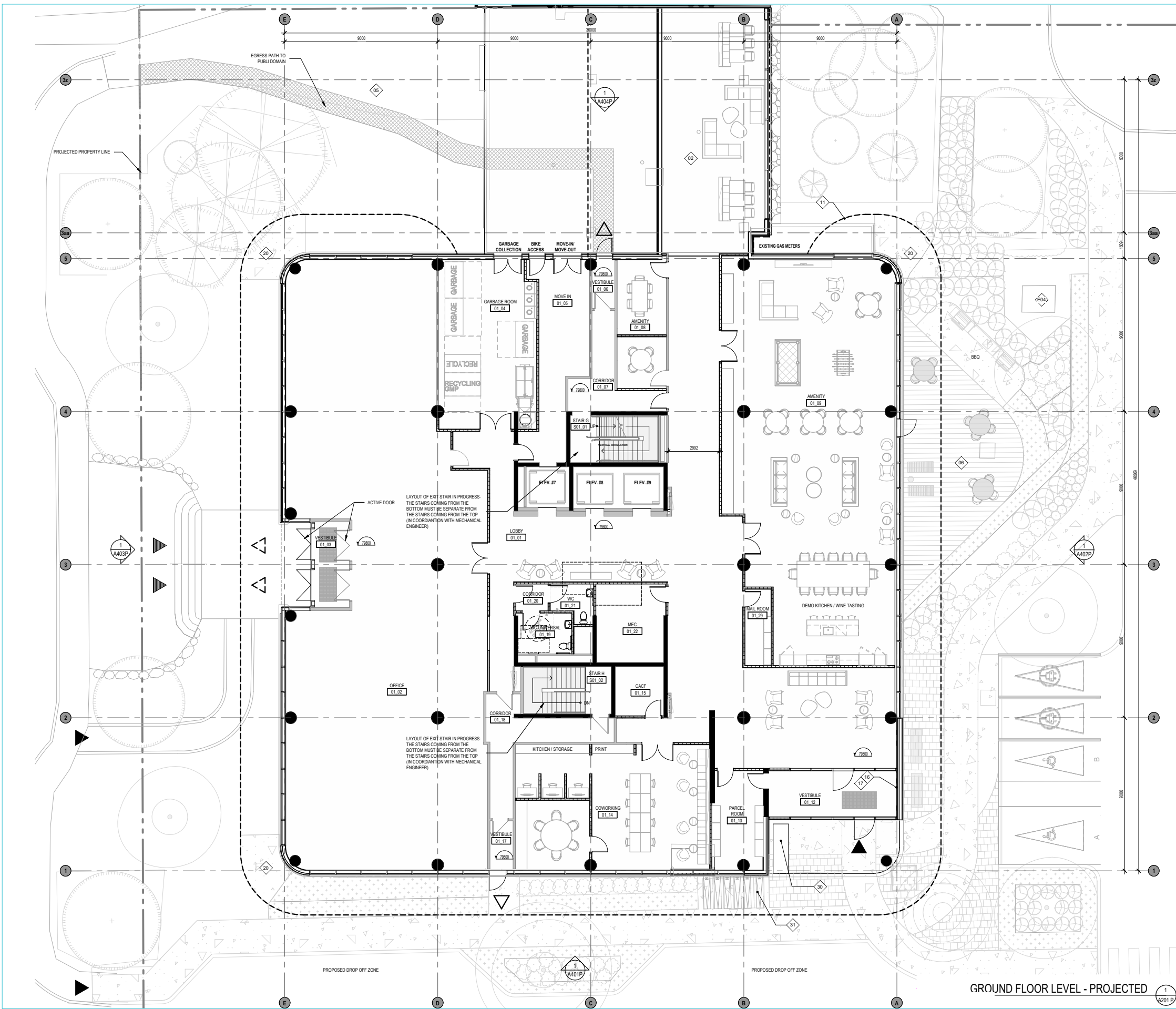
As indicated

REVISION Revision

G

NO. DESSIN Draw Number

A200



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#	DESCRIPTION
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SURFACE LEGEND	
	CLEAR STONE (BY LANDSCAPE ARCHITECT)
	PEDESTRIAN PATH (BY LANDSCAPE ARCHITECT)
	LANDSCAPING (BY LANDSCAPE ARCHITECT)
	DECK (BY LANDSCAPE ARCHITECT)
	INTERVENTION AREA
	ASPHALT (REFER TO CIVIL)
	PAVING (BY LANDSCAPE ARCHITECT)
	DEPRESSED SIDEWALK/ BARRIER FREE TACTILE PAVERS

LINE TYPE & ACCESS LEGEND	
	VEHICULAR ENTRY
	ACCESS TO BUILDING
	ACCESS TO OFFICE
	EXITS
	FIRE ROUTE (ON SITE)
	PROPERTY LINE
	CIRCULATION ARROW

BICYCLE SCHEDULE	
BASEMENT 1	
B9	
GROUND FLOOR LEVEL	
6	
TOTAL: 95	

WALL AND DOOR LEGEND	
	EXISTING WALL
	EXISTING STRUCTURE
	DEMOLISHED WALL
	NEW WALL
	DEMOLISHED DOOR
	EXISTING DOOR
	NEW DOOR

535 LEGGET DRIVE

EMPLACEMENT Location
535 LEGGET DRIVE,
KANATA, ONTARIO

NO. REVISION
G ISSUED FOR SITE PLAN APPROVAL

DATE (aa-mm-jj)
2024 10 04

DESIGNÉ PAR Drawn by
AT MS

DATE (aa-mm-jj)
24.09.18

TITRE DU DESIGN Drawing Title
SPA - GROUND FLOOR - PROJECTED








VERIFIÉ PAR Checked by
KP

ECHELLE Scale
As indicated

REVISION Revision
G

NO. DESIGN / Dwg Number
A201



WALL AND DOOR LEGEND	
	EXISTING WALL
	EXISTING STRUCTURE
	DEMOLISHED WALL
	NEW WALL
	DEMOLISHED DOOR
	EXISTING DOOR
	NEW DOOR

MECHANICAL, Mechanical
ELECTRICAL, Electrical
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EMPLACEMENT Location	NO PROJCT No.
535 LEGGET DRIVE, KANATA, ONTARIO	13338

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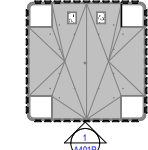
**SPA - TYPICAL FLOOR PLAN
- PROJECTED**

REVISION Revision	NO. DESSIN Dwg Number
G	A203

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SOUTH ELEVATION - PROJECTED
1
A401P



KEY PLAN
1:1000

2
A401P

GENERAL NOTES

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CLIENT Client
KRP Properties

OUVRAGE Project
535 LEGGET DRIVE

EMPLACEMENT Location NO PROJET No.
535 LEGGET DRIVE, 13338
KANATA, ONTARIO

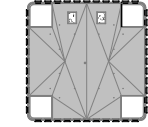
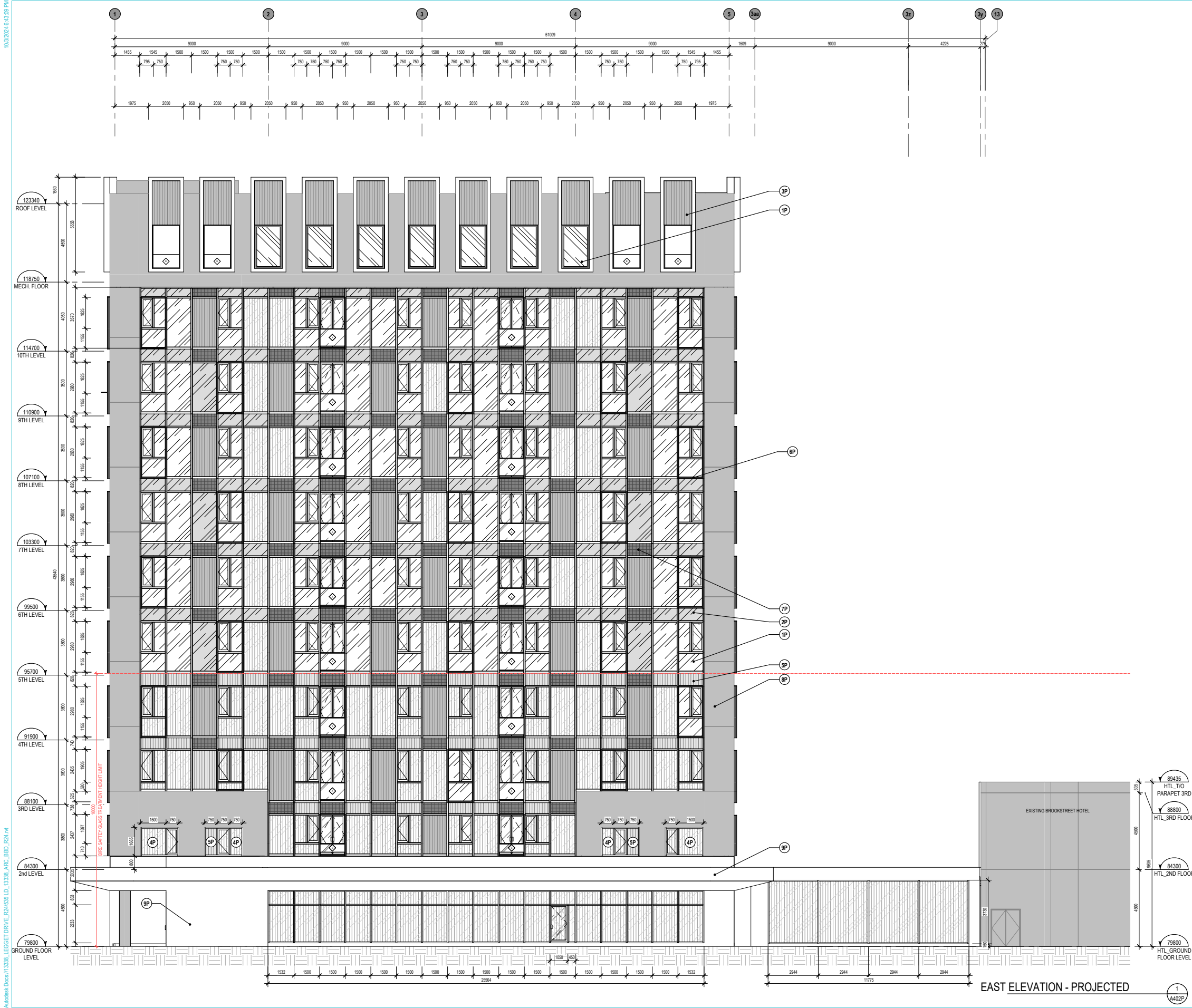
NO	RÉVISION	DATE (aa-mm-jj)
B	ÉMISSION POUR COORDINATION	2024 02 21
C	AUDIT PROGRAMMATION	2024 09 25
D	ISSUED FOR COORDINATION	2024 07 18
E	ISSUED FOR COORDINATION	2024 08 09
F	LIMITED WINDOW WALL TENDER DRAFT	2024 09 13
G	ISSUED FOR SITE PLAN APPROVAL	2024 10 04

DESSINÉ PAR Drawn by AT MS
DATE (aa-mm-jj) 24.06.11
TITRE DU DESSIN Drawing Title SOUTH ELEVATION - PROJECTED

VÉRIFIÉ PAR Checked by KP
ÉCHELLE Scale As indicated

RÉVISION Revision NO. DESSIN Draw Number
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KEY PLAN
1:1000

2
A402P

GENERAL NOTES

# NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
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EXTERIOR MATERIAL LEGEND (PROJECTED)

1P	CLEAR GLASS
2P	GLASS SPANDREL
3P	TEXTURED METALLIC SPANDREL
4P	LINED GLASS (BIRD SAFETY)
5P	LINED GLASS SPANDREL (BIRD SAFETY)
6P	JULIETTE BALCONY FRAME
7P	VENTILATION
8P	PRECAST
9P	METAL CLADDING

GUARDRAIL DETAILS AND SECTIONS LEGEND

◇	GLASS JULIETTE GUARDRAIL
◇	GLASS GUARDRAIL ON TERRACES
◇	GLASS JULIETTE GUARDRAIL ON LEVEL 2 AND 3 ONLY

ELEVATION LEGEND

—	CONSTRUCTION NOTES
—	DEMOLITION NOTES
—	NOTES ON EXISTING ELEMENTS
W	WINDOW TYPE SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
WA	CURTAIN WALL ELEVATION SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
—	RADIATION FACADE SURFACE TO BE PROTECTED, 1 H FRR

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DESIGN INTERIOR/Interior Design
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SEAU/Seal



535 LEGGET DRIVE

EMPLACEMENT/Location
535 LEGGET DRIVE,
KANATA, ONTARIO

NO	RÉVISION	DATE (aa-mm-jj)
B	ÉMISSION POUR COORDINATION	2024 06 21
C	AUDIT PROGRAMMATION	2024 06 25
D	ISSUED FOR COORDINATION	2024 07 18
E	ISSUED FOR COORDINATION	2024 08 09
F	LIMITED WINDOW WALL TENDER DRAFT	2024 09 13
G	ISSUED FOR SITE PLAN APPROVAL	2024 10 04

DESSINÉ PAR/Drawn by
AT MS

VERIFIÉ PAR/Checked by
KP

DATE (aa-mm-jj)
24.06.11

ÉCHELLE/Scale
As indicated

EAST ELEVATION - PROJECTED

RÉVISION/Revision
G

NO DESSIN/Draw Number
A402P

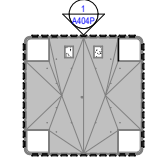
EAST ELEVATION



NEUF
ARCHITECT(E)S



25



KEY PLAN
1:1000

2
A404P

GENERAL NOTES

# NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
04	PROPOSED NEW VEHICULAR ENTRANCE
05	GRADING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN MOVE-OUT AND GARBAGE COLLECTION
06	8% MAX FOR GARBAGE COLLECTION (SEE CIVIL ENG. PROPOSED EXTERIOR DECK) (REFER TO LANDSCAPE ARCHITECT)
07	NEW SIGNAGE
08	ADDITIONAL TREE (REFER TO LANDSCAPE ARCHITECT)
09	PROJECTED BUILDING OUTLINE - GROUND FLOOR
10	MARQUISE OUTLINE
11	NEW STAIRCASE OUTLINE
12	PROJECTED BUILDING OUTLINE - SECOND FLOOR
13	CONTACT PANEL (SEE ELECTRICAL ENG.)
14	FIRE PANEL (SEE ELECTRICAL ENG.)
15	PROPOSED EXIT STAIR FROM BROOKSTREET HOTEL
16	RELOCATED KIDP GUIDE
17	CONCRETE DRAINAGE SPLASH PAD (REFER TO LANDSCAPE ARCHITECT)
18	SEATING AREA
19	PROPOSED EXTERIOR BIKE PARKING

EXTERIOR MATERIAL LEGEND (PROJECTED)

1P	CLEAR GLASS
2P	GLASS SPANDREL
3P	TEXTURED METALLIC SPANDREL
4P	LINED GLASS (BIRD SAFETY)
5P	LINED GLASS SPANDREL (BIRD SAFETY)
6P	JULIETTE BALCONY FRAME
7P	VENTILATION
8P	PRECAST
9P	METAL CLADDING

GUARDRAIL DETAILS AND SECTIONS LEGEND

1	GLASS JULIETTE GUARDRAIL
2	GLASS GUARDRAIL ON TERRACES
3	GLASS JULIETTE GUARDRAIL ON LEVEL 2 AND 3 ONLY

ELEVATION LEGEND

1	CONSTRUCTION NOTES
2	DEMOLITION NOTES
3	NOTES ON EXISTING ELEMENTS
4	WINDOW TYPE SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
5	CURTAIN WALL ELEVATION SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
6	RADIATION FACADE SURFACE TO BE PROTECTED, 1 H FRR

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ELECTRICAL: Électrique
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CUNLIFFE & ASSOCIATES

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ARCHITECTE DE PAYSAGE: Landscape Architect
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ARCHITECTES: Architect
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SENAU / Sena

CLIENT: Client



Ouvrage: Project
535 LEGGET DRIVE

EMPLACEMENT: Location
535 LEGGET DRIVE,
KANATA, ONTARIO

NO PROJET No:
13338

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AT MS

VÉRIFIÉ PAR: Checked by
KP

DATE (aa-mm-jj):
24.06.11

ÉCHELLE: Scale
As indicated

TITRE DU DESSIN: Drawing Title
NORTH ELEVATION - PROJECTED

RÉVISION: Revision
G

NO DESSIN: Draw Number
A404P

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