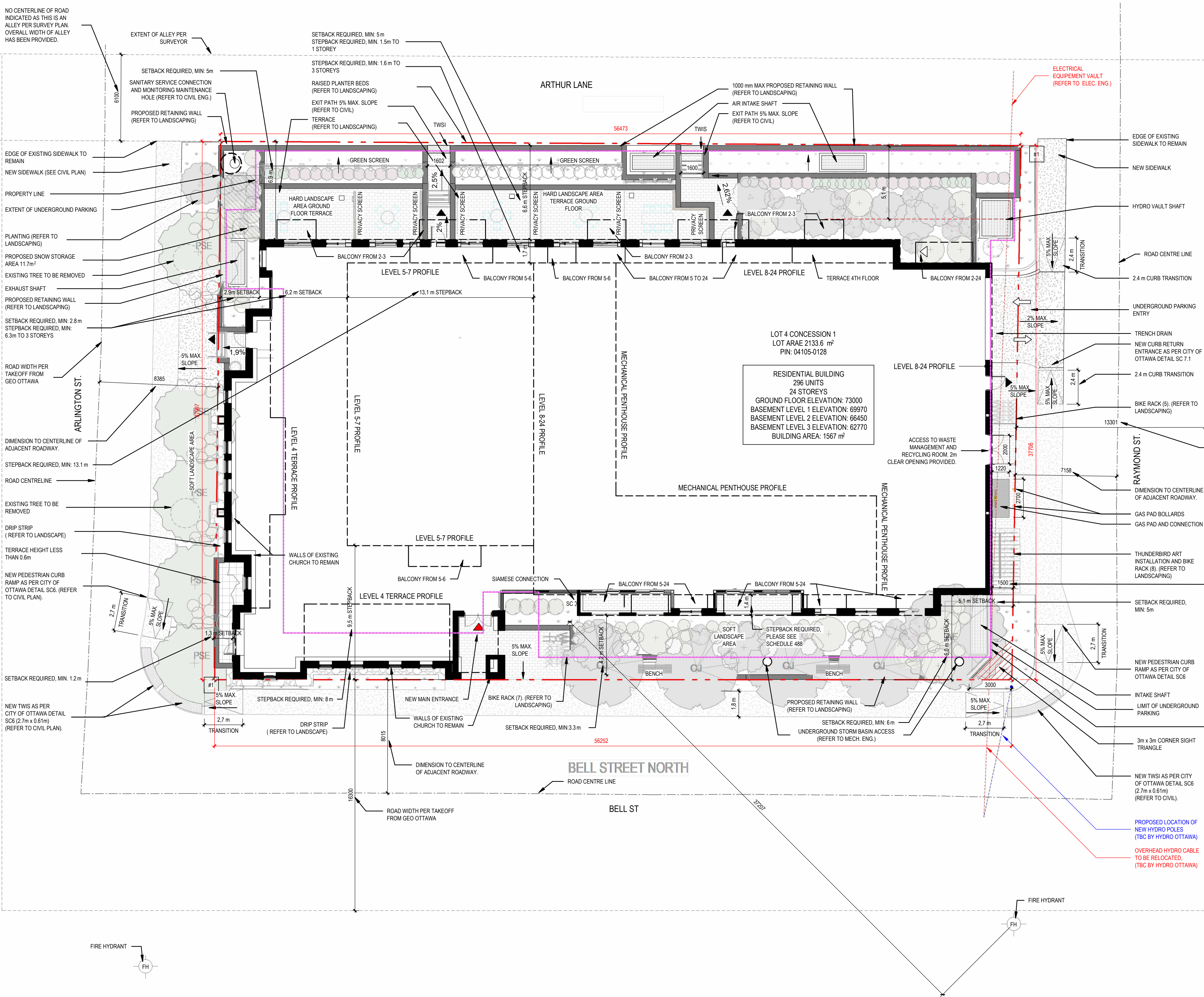




SITE ABBREVIATIONS

AD	AREA DRAIN
CB	CATCH BASIN
D.C.	DEPRESSED CURVE
UP	UTILITY POLE
RM	REMOTE MONITOR
STM MH	STORMWATER MANHOLE
FDC	FIRE DEPARTMENT CONNETION
SC	SIAMSE CONNECTION
GW	GUIDE WIRE
LS	LIGHT STANDARD (REFER TO ELEC. ENG.)
FH	FIRE HYDRANT
TWIS	TACTILE WALKING INDICATOR STRIP
MUP	MULTI-USE PATHWAY

STREET SIGNS

FOR ALL THE SIGNS FOLLOW THE SPECIFICATIONS OF THE CITY OF OTTAWA	
#1	STOP SIGN
#2	FIRE ROUTE SIGN
#3	PRIORITY TO PEDESTRIAN SIGN
#4	LIMITED PARKING SIGNAGE
#5	ONE WAY SIGN
#6	YIELD SIGNAGE
#7	ACCESSIBILITY PARKING SIGN
#8	Ottawa Fire Services - UNDERGROUND PARKING STRUCTURE WITH GREEN 150Pa SIGNAGE

GENERAL NOTES:
REFER TO CIVIL AND LANDSCAPING FOR SITE COORDINATION.
REFER TO CIVIL FOR STREET CURB AND SURFACE SLOPE DETAILS.
PRECAST RETAINING WALL TO BE ENGINEERED AND SUPPLIED BY OTHERS.

---	PROPOSED NEW HYDRO CABLE
---	EXISTING OVERHEAD HYDRO CABLE

SITE LEGEND

	PRINCIPAL ENTRANCE
	ENTRANCE
	EXIT
	FIRE HYDRANT (FH)
	SIEMSE CONNECTION (FDC)
	STREET SIGNAGE
	PROPERTY LINE
	ROAD CENTRELINE
	BUILDING EDGE
	UNDERGROUND PARKING EXTEND
	VERTICAL BICYCLE PARKING 1500mm x 500mm
	BICYCLE PARKING AT GROUND LEVEL 1800mm x 600mm
	WALLS OF EXISTING CHURCH TO REMAIN
	TWIS
	ROAD IN ASPHALT
	PEDESTRIAN PATH
	SIDEWALK
	BUILDING AREA
	SOFT LANDSCAPING (REFER TO LANDSCAPE)
	450mm DRIP STRIP (REFER TO LANDSCAPE)
	PAVERS (REFER TO LANDSCAPE)
	MECHANICAL EQUIPEMENTS
	TRAFFIC DIRECTION
	PROPOSED SNOW STORAGE

Property Area		2025-10-03	
Zoning	H		
Property Area	2133.6 sq. m	22,966 sq. ft	

PROJECT STATISTICS		BUILDING	
BUILDING HEIGHT (m)	74.4 m		
TOTAL GFA AND RESIDENTIAL USE	20951 m²		
LOT COVERAGE	1442 m²		

UNIT STATISTICS	1F	2nd	3rd	4th	5th-6th	7th	8th-24th	TOTAL
MULTIPLES	1	1	1	1	2	1	17	
STUDIO	4	2	2	5	6	5	0	20
1 Bedroom	5	6	8	7	8	5	0	41
1 Bedroom + Den	5	4	2	0	0	0	0	7
2 Bedroom	0	3	4	3	3	5	5	23
2 Bedroom + Den	0	0	0	0	0	0	0	0
3 Bedroom	0	0	0	0	0	0	0	0
3 Bedroom + Den	1	1	0	0	0	0	0	2
TOTAL	14	19	16	16	34	11	187	296

CAR PARKING		REQUIRED	PROVIDED
RESIDENT PARKING - 296 UNITS		0.20	67
VISITOR PARKING - 296 UNITS		0.04	11
TOTAL			88
OUTDOOR			0
Accessible parking		0.04	3.62

BICYCLE PARKING		REQUIRED	PROVIDED
APARTMENT BUILDING - 296 UNITS		1.00	296
350 + 20 exterior spaces			

ZONE R58(2916) to S488-H		REQUIRED	PROVIDED
MINIMUM LOT AREA	615m²		2133.6 m²
MINIMUM LOT WIDTH	22.50		38
MIN. FRONT YARD SETBACK- Arlington Ave	Existing building, 0m		Existing building, 0m
MIN. CORNER YARD SETBACK - Bell St	Existing building, 0m		Existing building, 0m
MINIMUM INTERIOR SIDE YARD SETBACK - Arthur Ln	5 m		6.7 m
MINIMUM REAR YARD SETBACK - Raymond St	0 m		1.5 m
MAXIMUM BUILDING HEIGHT	78m (per Schedule 488)		74.4 m
MINIMUM LANDSCAPE AREA	24%		24% (511.4m)
MINIMUM WIDTH OF DRIVE AISLE FOR PARKING LOT ACCESSORY TO A RESIDENTIAL USE (by law 2020-299)	0.0m		0.0m
MIN. WIDTH OF DRIVE AISLE FOR PARKING GARAGE	6.0m		6.0m

AMENITY AREA		REQUIRED	PROVIDED
ZONING BY-LAW SECTION 137			
MINIMUM FOR APARTMENT DWELLING - 8m²/UNIT	1776m²		2028m²
MINIMUM 50% COMMUNAL	888m²		958m²
AT LEAST ONE COMMUNAL AREA > 54 m²	54m²		78m²
RESIDENTIAL COMMUNAL AMENITY AREA			
INTERIOR COMMUNAL AMENITY (GF, 3RD, 4TH)	-		463m²
EXTERIOR COMMUNAL AMENITY (GF, 4TH, 7TH)	-		487m²
TOTAL COMMUNAL	-		950m²
RESIDENTIAL PRIVATE AMENITY AREA			
GROUND FLOOR - BALCONIES / TERRACES	-		134m²
2ND FLOOR - BALCONIES / TERRACES	-		57m²
3RD FLOOR - BALCONIES	-		57m²
4TH FLOOR - TERRACES	-		108m²
5TH TO 6TH FLOOR - BALCONIES	-		122m²
7TH FLOOR - BALCONIES / TERRACES	-		37m²
8TH TO 24TH FLOOR - BALCONIES	-		612m²
TOTAL PRIVATE	-		1126m²
TOTAL	1776m²		2076m²

PROPERTY BOUNDARY AND TOPOGRAPHIC INFORMATION DERIVED FROM TOPOGRAPHIC PLAN OF SURVEY OF LOTS 14 & 15 AND PART OF LOTS 13 & 16 (SOUTH OF STONE BOUNDARY LOTS) EAST OF BELL STREET NORTH, REGISTERED PLAN 33, CITY OF OTTAWA, PREPARED BY STANTEC, DATED JUNE 16, 2022.

LEGAL DESCRIPTION: LTS 14 & 15, PL 33, (S OF STONE BOUNDARY) E BELL ST N; PT LTS 13 & 16, PL 33, (S OF STONE BOUNDARY) E BELL ST N; AS IN CR31653, CR101496, CR472519 & CR513256; OTTAWA/NEPEAN



SITE PLAN

1:150

1
A101

NOTES GÉNÉRALES / General Notes

- Ces documents d'architecture sont la propriété exclusive de NEUF architect(e)s et ne pourront être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architect(e)s and cannot be used, copied or reproduced without written pre-authorization.
- Les dimensions apparaissant aux documents devront être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
- Veuillez avoir l'architecte de toute dimension erreur et/ou divergences entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

PLANNER
FOITEN Planning and Urban design
396 Copper Street, Ottawa, ON K2P 2H7
T 613 730 5709 www.foiten.com

LANDSCAPE ARCHITECT
SPRUCE LAB
500 Bayview Ave, Suite 300 Toronto, ON M4W 3X8
www.sprucelab.ca

MECHANICAL / ELECTRICAL
Smith + Andersen
600 Carling Avenue, Suite 530 Ottawa, ON K1Z 1G3
T 613 230-1186 www.smithandersen.com

CIVIL
CIMA+
600-1400 Bay Towers Place Ottawa, ON K1J 9B8
T 613 580-2462 www.cima.ca

GEOTECHNICAL
PATERSON GROUP
5 King Drive Ottawa, ON K1N 7T6
T 613 226 7381 www.paterisongroup.ca

STRUCTURAL
D+M Structural Engineers
333 Preston Street, Suite 110 Ottawa, ON K1S 5M4
T 613 651-9490 www.d-m-structural.ca

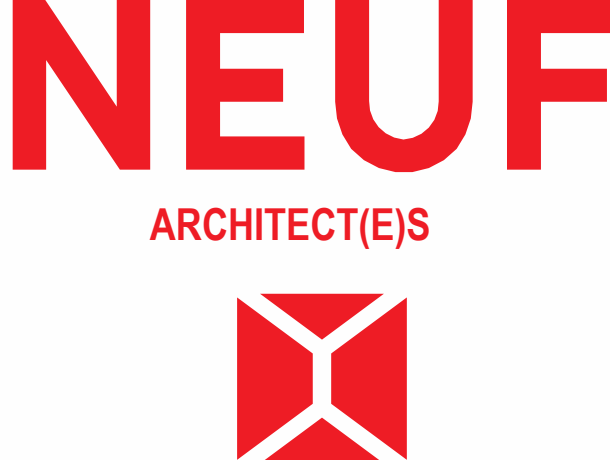
ENVIRONMENTAL
Pinchin Ltd.
1 Hines Road, Suite 200 Kanata, ON K2K 3C7
T 855-746-2446 www.pinchin.com

HERITAGE
Bray Heritage
537 Prince Street, Suite 400 Kingston, ON K7L 1G8
T 613 543-3393 www.brayheritage.com

GENERAL CONTRACTOR
Doran Contractors Ltd.
3197 Allison Rd Ottawa, ON K1T 1W9
T 613 526-2400 www.doranco.ca

ENERGY MODELING
EQ Building Performance Inc
20 Floral Parkway Concord, ON L4K 4R1
T 613 645-1186 www.eqbuilding.com

ARCHITECT
NEUF architect(e)s
630, Loui, René-Lévesque 0 32^e floor, Montreal QC H3B 1S8
T 514 817 1117 www.neuf.ca



CLIENT

150 Elgin St. Suite 1000 Ottawa, ON K2P 1L4
613-693-8600 www.bayviewpartners.com

COVERAGE Project

384 ARLINGTON AVENUE. RESIDENTIAL.
EMPLACEMENT Location NO PROJECT No.
OTTAWA, ON 12805

NO	REVISION	DATE (aa-mm-jj)
A	SPA SUBMISSION	2024-06-07
B	30% COORDINATION	2024 06 14
C	SPA FORMAL SUBMISSION	2024 10 04
D	FOR TENDER 1	2024 10 30
E	FOR INTERNAL REVIEW 3	2024 11 26
F	SPA FORMAL SUBMISSION - REV. 1	2024 12 04
1	FOR FOUNDATION PERMIT	2024 12 23
2	FOR INTERNAL REVIEW 4	2025 08 08
3	SPA FORMAL SUBMISSION - REV. 2	2025 10 03

DESSINÉ PAR Drawn by
R.R.
DATE (aa-mm-jj)
2024-06-07
TITRE DU DESSIN Drawing Title

VÉRIFIÉ PAR Checked by
F.P.
ÉCHELLE Scale
As indicated

SITE PLAN

REVISION Revision NO. DESSIN Dwg Number
3 **A101**