

# 20054 NAVAN DEVELOPMENT - BLOCK 15

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GATINEAU, QC J8Y 1R8  
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20054 NAVAN DEVELOPMENT - BLOCK 15

ARCHITECTURE

FOR CITY REVIEW

2024-07-17

# NAVAN ROAD DEVELOPMENT

2983, Navan Road, Orleans, ON K1C 7G4

OWNER



788, BOUL. SAINT-JOSEPH, SUITE 100 GATINEAU, QC J8Y 4B8

ARCHITECTURAL



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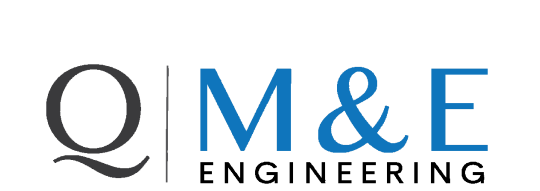
CIVIL ENGINEERS / PLANNER



ENGINEERS - ARCHITECTS - PLANNERS

1565 CARLING AVENUE, SUITE 700, OTTAWA, ON K1Z 6R1

MECHANICAL & ELECTRICAL ENGINEERS



9 GURDWARA ROAD, UNIT 200, OTTAWA, ON K2E 7X6

SURVEYOR



1331 CLYDE AVENUE, SUITE 400, OTTAWA, ON K2C 3G4

ARCHITECT SEAL

REVISIONS

NO	DESCRIPTION	DATE
1	FOR CITY REVIEW	2024-07-17
2	FOR CITY REVIEW	2024-08-22

NOTE

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. DO NOT SCALE DRAWINGS.

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DATE	DESIGNED
2024-07-17	P.POMERLEAU
DATE	DRAWN
	P.POMERLEAU
PROJECT No	CHECKED
2054	P.MARTIN
SHEET TITLE	
STATISTICS	

SHEET No

A003

### SITE INFORMATION & DEVELOPMENT STATISTICS

LOTS	PIN	
	04756 - 1337	
ZONING	GM(2546) H(14.5)	
SITE AREA		
TOTAL SITE AREA:	~5,398.92 m <sup>2</sup> (0.54ha)	
UNITS		
BUILDING C:		
RESIDENTIAL:	47 UNITS	
BUILDING D:		
RESIDENTIAL:	36 UNITS	
COMMERCIAL SPACES:	~840 m <sup>2</sup>	
TOTAL NUMBER OF UNITS:	83 UNITS	
TOTAL COMMERCIAL SPACES:	~840 m <sup>2</sup>	
SPECIFIC PROVISIONS	REQUIRED	PROVIDED
MAXIMUM DENSITY	NO MAX.	153 units/net ha
MINIMUM LOT WIDTH	NO MIN.	-
MINIMUM LOT AREA	NO MIN.	5,732.75 m <sup>2</sup>
MAXIMUM BUILDING HEIGHT	14.5 m	16 m
SETBACKS		
MINIMUM FRONT YARD:	3 m	3 m
MINIMUM CORNER SIDE YARD:	3 m	3 m
MINIMUM INTERIOR SIDE YARD:		
NON-RESIDENTIAL OR MIXED-USE:	5 m	5 m
MID-RISE RESIDENTIAL :	3 m	3 m
MINIMUM REAR YARD:		
FROM A RESIDENTIAL ZONE:	7.5 m	7.5 m
FOR A RESIDENTIAL BUILDING:	7.5 m	7.5 m
PARKING RATES	REQUIRED	PROVIDED
BUILDING A:		
R12 - APARTEMENTS	1.0 p/unit = 47	47 (UNDERGROUND)
VISITOR:	0.2 p/unit = 9.6	9 (UNDERGROUND)
BUILDING B:		
R12 - APARTEMENTS	1.0 p/unit = 36	36 (UNDERGROUND)
VISITOR:	0.2 p/unit = 7.2	7 (UNDERGROUND)
N79 - RETAIL STORE:	3.4 p/100 m <sup>2</sup> GFA = 30.4	32 (EXTERIOR)
<b>TOTAL: 131</b>		

NUMBER OF CAR PARKING				NUMBER OF BIKE PARKING		
TYPE OF PARKING	LEVEL	NUMBER	SYMBOL	TYPE	LEVEL	NUMBER
PARKING - COMMERCIAL	GROUND	32	C	BIKE - COMMERCIAL	GROUND	4
PARKING - RESIDENTIAL	LEVEL U1	83	R	BIKE - RESIDENTIAL	LEVEL U1	63
PARKING - VISITOR	LEVEL U1	16	V			
<b>TOTAL</b>		<b>131</b>				<b>63</b>

STATISTICS - NUMBER OF UNITS - BUILDING C				STATISTICS - AMENITY AREA - BUILDING C			
TYPE	NUMBER	AV. AREA	DISTRIBUTION	TYPE	AREA	REQUESTED	
1 BED	18	55 m <sup>2</sup>	50%	AMENITY COMMUNAL	147 m <sup>2</sup>	(36*6)*0.5=108m <sup>2</sup>	
2 BED	18	86 m <sup>2</sup>	50%	AMENITY PRIVATE	452 m <sup>2</sup>	(36*6)*0.5=108m <sup>2</sup>	
	36	141 m <sup>2</sup>			600 m <sup>2</sup>		

STATISTICS - NUMBER OF UNITS - BUILDING D				STATISTICS - AMENITY AREA - BUILDING D			
TYPE	NUMBER	AV. AREA	DISTRIBUTION	TYPE	AREA	REQUESTED	
1 BED	29	59 m <sup>2</sup>	62%	AMENITY COMMUNAL	147 m <sup>2</sup>	(47*6)*0.5=141m <sup>2</sup>	
2 BED	18	85 m <sup>2</sup>	38%	AMENITY PRIVATE	590 m <sup>2</sup>	(47*6)*0.5=141m <sup>2</sup>	
	47	145 m <sup>2</sup>			738 m <sup>2</sup>		

#### GROSS FLOOR AREA

LEVEL	GFA	PARKING	COMMERCIAL	COMMON	RESIDENTIAL	BALCONIES
LEVEL U1	3681 m <sup>2</sup>	3681 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
	3681 m <sup>2</sup>	3681 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>

BUILDING C	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	ROOF
	952 m <sup>2</sup>	958 m <sup>2</sup>	958 m <sup>2</sup>	958 m <sup>2</sup>	66 m <sup>2</sup>
	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
	840 m <sup>2</sup>	113 m <sup>2</sup>	113 m <sup>2</sup>	113 m <sup>2</sup>	66 m <sup>2</sup>
	0 m <sup>2</sup>	845 m <sup>2</sup>	845 m <sup>2</sup>	845 m <sup>2</sup>	147 m <sup>2</sup>
	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
	840 m <sup>2</sup>	518 m <sup>2</sup>	2535 m <sup>2</sup>	600 m <sup>2</sup>	

#### STATISTICS - UNITS DESCRIPTION

UNIT TYPE	BEDROOM	KITCHEN SINK	BATH SINK	TOILETS	SHOWER/TUB	SHOWER
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BUILDING C	TYPE A	TYPE B	TYPE C	TYPE D	TYPE E	TYPE F	TYPE G	TYPE H	TYPE I	TYPE J
	2 BED	1 BED	1 BED	1 BED	2 BED	2 BED	1 BED	1 BED	2 BED	2 BED
	1	1	2	1	3	2	2	2	3	3
	2	1	2	1	2	2	2	2	2	2
	1	1	2	1	1	1	1	1	1	1
	1	1	2	1	2	2	2	2	2	2
	1	1	2	1	2	2	2	2	2	2
	1	1	2	1	2	2	2	2	2	2
	1	1	2	1	2	2	2	2	2	2
	1	1	2	1	2	2	2	2	2	2
	1	1	2	1	2	2	2	2	2	2
	1	1	2	1	2	2	2	2	2	2

BUILDING D	TYPE A	TYPE B	TYPE C	TYPE D	TYPE E	TYPE F	TYPE G	TYPE H	TYPE I	TYPE J
	2 BED	1 BED	1 BED	1 BED	2 BED	2 BED	1 BED	1 BED	2 BED	2 BED
	1	1	2	1	3	2	2	2	3	3
	2	1	2	1	2	2	2	2	2	2
	1	1	2	1	1	1	1	1	1	1
	1	1	2	1	2	2	2	2	2	2
	1	1	2	1	2	2	2	2	2	2
	1	1	2	1	2	2	2	2	2	2
	1	1	2	1	2	2	2	2	2	2
	1	1	2	1	2	2	2	2	2	2
	1	1	2	1	2	2	2	2	2	2
	1	1	2	1	2	2	2	2	2	2



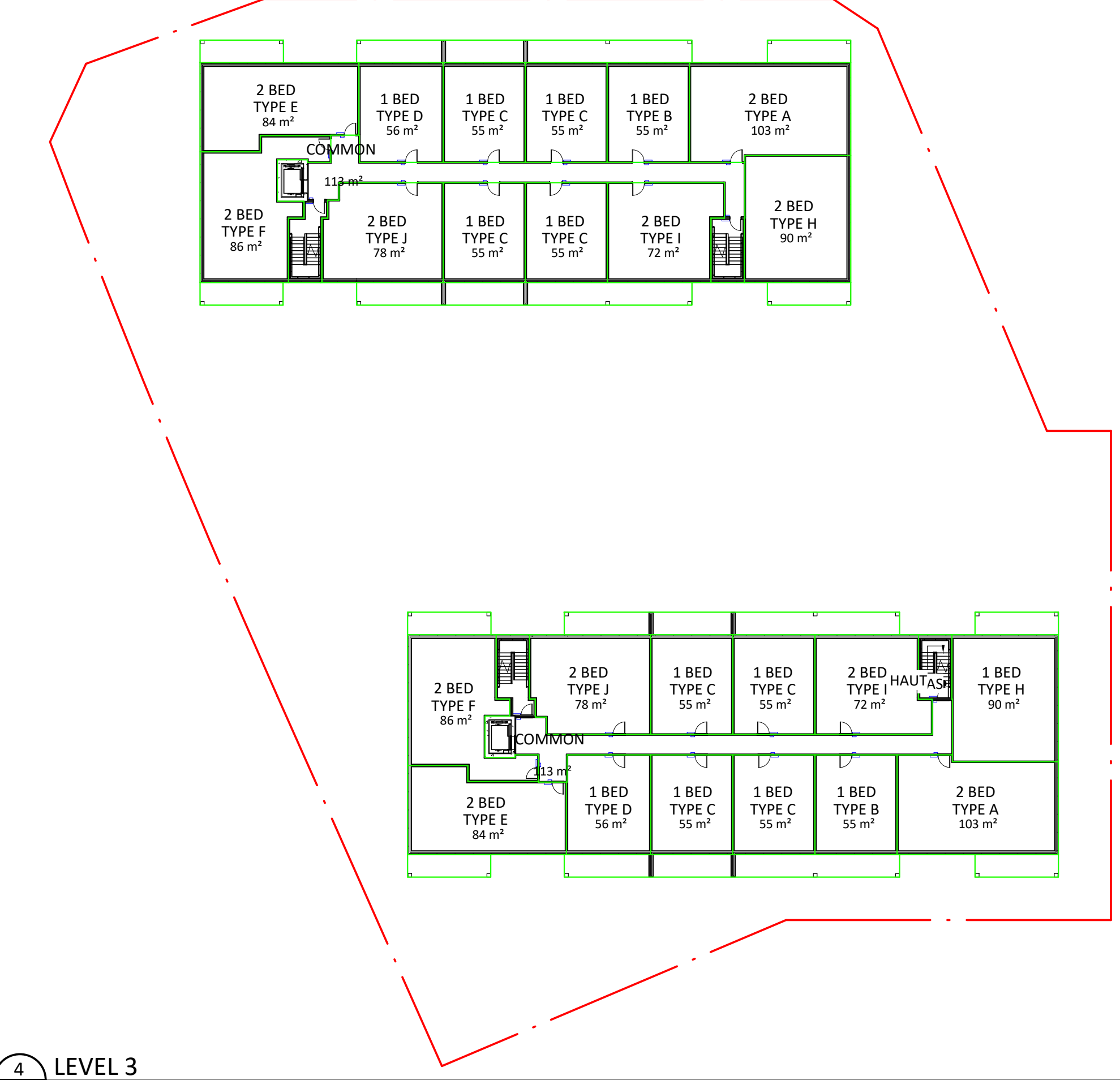
1 LEVEL U1  
A351 1:350



2 LEVEL 1  
A351 1:350



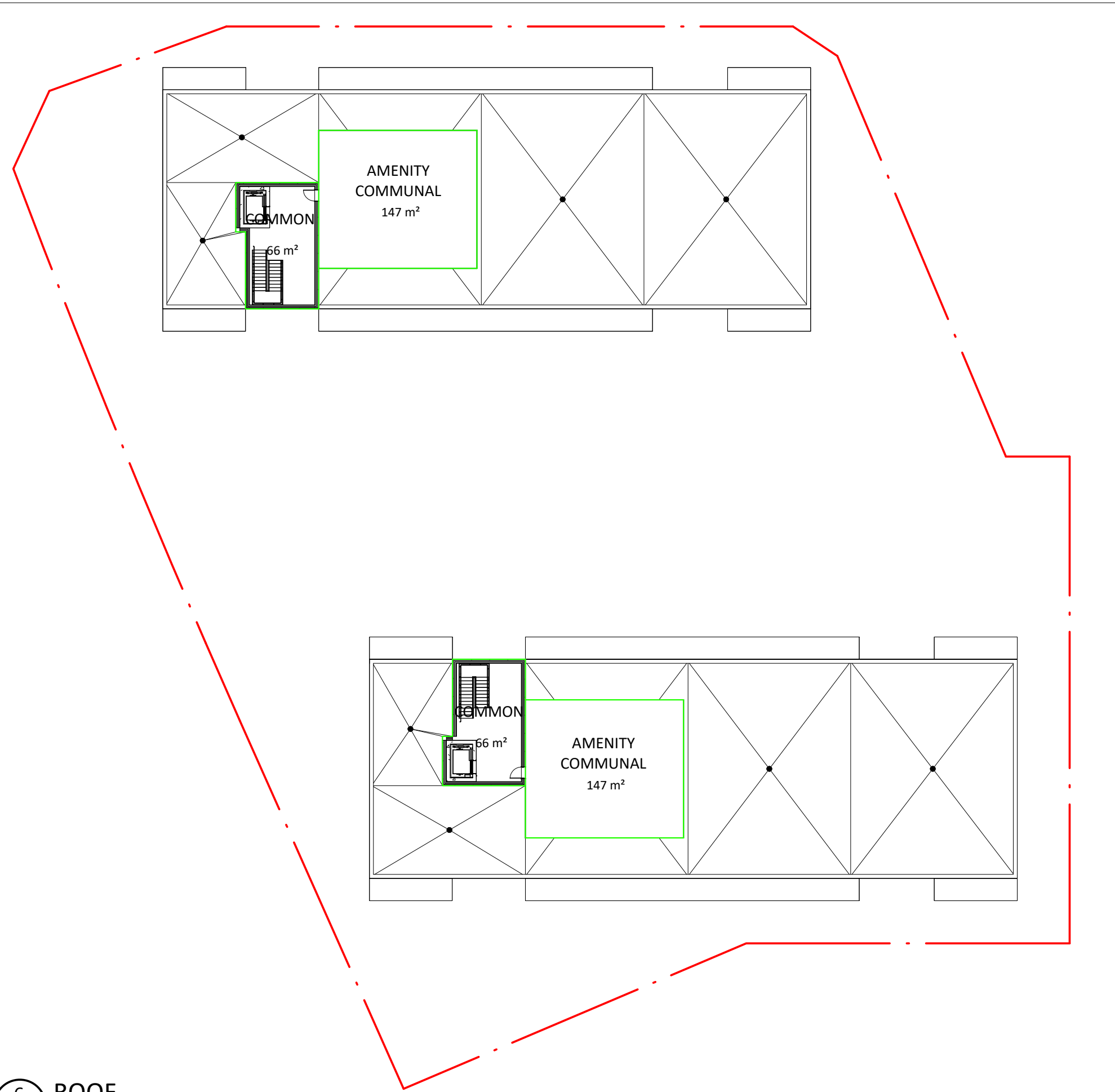
3 LEVEL 2  
A351 1:350



4 LEVEL 3  
A351 1:350



5 LEVEL 4  
A351 1:350



6 ROOF  
A351 1:350



NO	DESCRIPTION	DATE
1	FOR CITY REVIEW	2024-07-17
2	FOR CITY REVIEW	2024-03-25
3	FOR CITY REVIEW	2024-04-04
4	FOR CITY REVIEW	2023-11-28
5	FOR COORDINATION	2023-11-08
6	FOR COORDINATION	2023-11-01
7	FOR COORDINATION	2023-10-14
8	FOR COORDINATION	2023-11-03
9	FOR COORDINATION	2023-08-30
10	FOR COORDINATION	2023-08-18
11	FOR COORDINATION	2023-08-18
12	FOR COORDINATION	2023-08-18
13	FOR COORDINATION	2023-08-18
14	FOR COORDINATION	2023-08-18
15	FOR COORDINATION	2023-08-18
16	FOR COORDINATION	2023-08-18
17	FOR COORDINATION	2023-08-18
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96	FOR COORDINATION	2023-08-18
97	FOR COORDINATION	2023-08-18
98	FOR COORDINATION	2023-08-18
99	FOR COORDINATION	2023-08-18
100	FOR COORDINATION	2023-08-18

NOTE  
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DATE	DESIGNED
2024-07-17	P.POMERLEAU
DATE	DRAWN
	P.POMERLEAU
PROJECT NO	CHECKED
2054	P.MARTIN
DATE	SHEET TITLE
	GLOBAL SITE PLAN

**SITE PLAN LEGEND**

[Symbol]	EXISTING BUILDING	[Symbol]	LOT LINE
[Symbol]	NEW BUILDING	[Symbol]	SETBACKS
[Symbol]	NEW BUILDING WITH COMMERCIAL SPACE AT-GRADE	[Symbol]	NEW TREE
[Symbol]	GRASS	[Symbol]	FIREWALL
[Symbol]	ASPHALT	[Symbol]	SIDEWALK

**SITE INFORMATION & DEVELOPMENT STATISTICS**

LOTS	PIN
	04756-0303
	04756-0315
	04756-0316
	04756-1337

ZONING: GM(2546) H(14.5)

**SITE AREA**

TOTAL SITE AREA: ~53,441.14 m<sup>2</sup> (5.34ha)  
TOTAL DEVELOPABLE AREA: ~45,956.28 m<sup>2</sup> (4.59ha)  
NET SITE AREA: ~38,956.28 m<sup>2</sup> (3.89ha)

**UNITS**

TOWNHOUSES: 67 UNITS

BLOCK 01:  
1 X RESIDENTIAL APARTMENT BUILDING: 48 UNITS  
1 X MIXED USE BUILDING: 36 UNITS  
RESIDENTIAL: ~899 m<sup>2</sup>  
COMMERCIAL SPACES: ~899 m<sup>2</sup>

BLOCK 02:  
1 X RESIDENTIAL APARTMENT BUILDING: 47 UNITS  
1 X MIXED USE BUILDING: 36 UNITS  
RESIDENTIAL: ~899 m<sup>2</sup>  
COMMERCIAL SPACES: ~899 m<sup>2</sup>

BLOCK 03:  
2 X RESIDENTIAL APARTMENT BUILDING: 96 UNITS

TOTAL NUMBER OF UNITS: 330 UNITS  
TOTAL COMMERCIAL SPACES: ~1,798 m<sup>2</sup>

	REQUIRED	PROVIDED
MAXIMUM DENSITY	NO MAX.	84.8 units/net ha
MINIMUM LOT WIDTH	NO MIN.	5.8 m
MINIMUM LOT AREA	NO MIN.	174 m <sup>2</sup>
MAXIMUM BUILDING HEIGHT	14.5 m	14.5 m

**SETBACKS**

MINIMUM FRONT YARD:	3 m	3 m
MINIMUM CORNER SIDE YARD:	3 m	3 m
MINIMUM INTERIOR SIDE YARD:		
NON-RESIDENTIAL OR MIXED-USE:	5 m	5 m
LOW-RISE RESIDENTIAL:	1.2 m	1.2 m
MID-RISE RESIDENTIAL:	3 m	3 m
MINIMUM REAR YARD:		
ABUTTING A STREET:	3 m	3 m
FROM A RESIDENTIAL ZONE:	7.5 m	7.5 m
FOR A RESIDENTIAL BUILDING:	7.5 m	7.5 m

**PARKING RATES**

R9 - TOWNHOUSES:	1 p/unit = 67	67 (GARAGES)
VISITOR:	0	67 DRIVE AISLES

BLOCK 14:

R12 - APARTEMENTS	1.0 p/unit = 84	84 (UNDERGROUND)
VISITOR:	0.2 p/unit = 17	18 (UNDERGROUND)
N79 - RETAIL STORE:	3.4 p/100 m <sup>2</sup> GFA = 30.6	32 (EXTERIOR)
		TOTAL: 134

BLOCK 15:

R12 - APARTEMENTS	1.0 p/unit = 83	83 (UNDERGROUND)
VISITOR:	0.2 p/unit = 16.6	16 (UNDERGROUND)
N79 - RETAIL STORE:	3.4 p/100 m <sup>2</sup> GFA = 30.6	32 (EXTERIOR)
		TOTAL: 131

BLOCK 17:

R12 - APARTEMENTS	1.0 p/unit = 96	96 (UNDERGROUND)
VISITOR:	0.2 p/unit = 19.2	19 (15 EXT. + 4 UND.)
		TOTAL: 115

**GROSS FLOOR AREA**

TOWNHOUSE A:	267 m <sup>2</sup>
TOWNHOUSE B:	239 m <sup>2</sup>
TOWNHOUSE C:	232 m <sup>2</sup>
TOWNHOUSE C (CORNER UNIT):	236 m <sup>2</sup>
TOWNHOUSE D:	225 m <sup>2</sup>
TOTAL MODEL 01 (ABBBBBBA):	1,968 m <sup>2</sup>
TOTAL MODEL 02 (ABBBBBBA):	1,729 m <sup>2</sup>
TOTAL MODEL 03 (ABBBBBBA):	1,490 m <sup>2</sup>
TOTAL MODEL 04 (CDDCCDC):	1,611 m <sup>2</sup>
TOTAL MODEL 05 (CDDCCDC):	1,386 m <sup>2</sup>

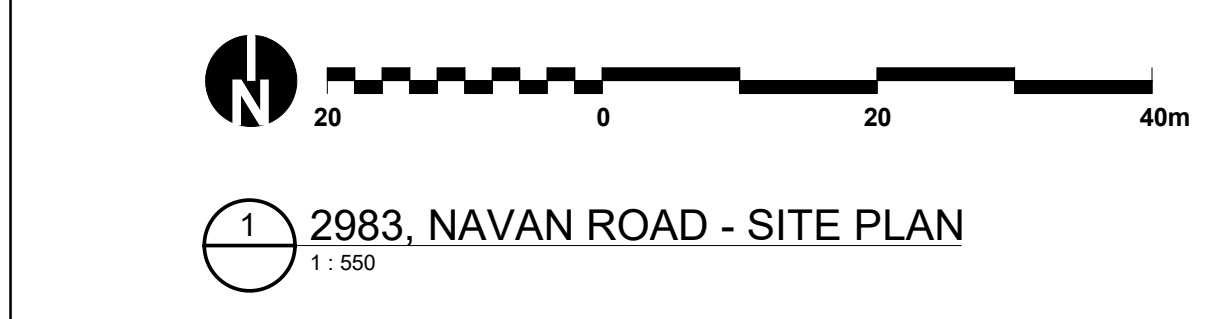
MIXED USE BUILDING (TOTAL OF 2 BUILDINGS):	TOTAL: 3,926 m <sup>2</sup>
RESIDENTIAL:	3,027 m <sup>2</sup>
COMMERCIAL:	899 m <sup>2</sup>
RESIDENTIAL APARTMENT BUILDING (TOTAL OF 4 BUILDINGS):	TOTAL: 3,927 m <sup>2</sup>
RESIDENTIAL:	3,927 m <sup>2</sup>

NOTE

1. ASSUMES TYPICAL RESIDENTIAL FLOOR HEIGHT OF 3m.
2. THE BASE PLAN (LOT LINES, EXISTING ROADS AND SURROUNDING AREAS) IS BASED ON THE TOPOGRAPHICAL PLAN OF SURVEY, SURVEYED STANTEC GEOMATICS LTD.
3. DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**LOTS AREAS**

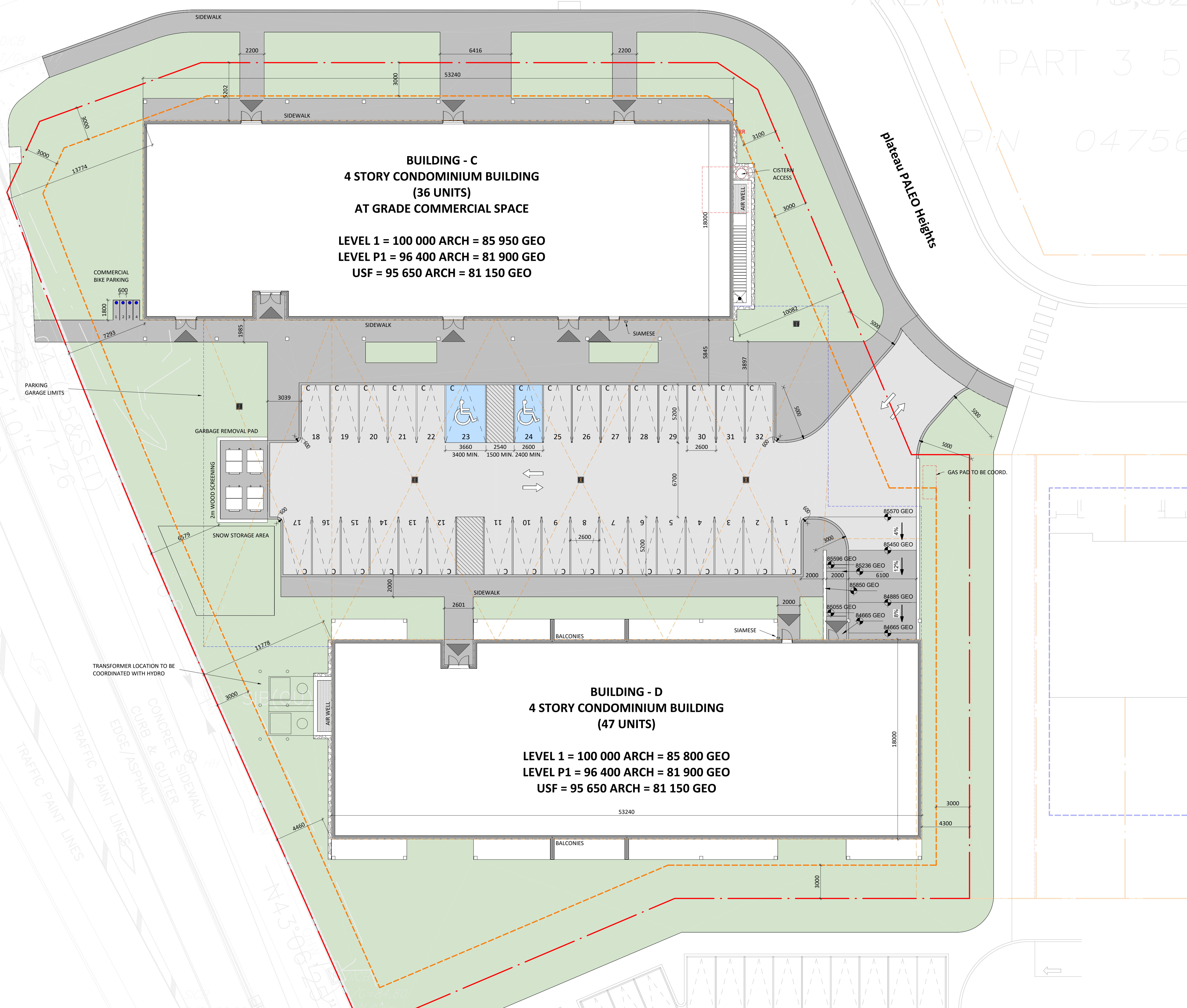
LOT NUMBER	AREAS (M2)	LOT NUMBER	AREAS (M2)
B01-1	394	B06-4	154
B01-2	184	B06-5	163
B01-3	184	B06-6	154
B01-4	189	B06-7	369
B01-5	189	B07	2,002
B01-6	184	B08-1	525
B01-7	184	B08-2	174
B01-8	299	B08-3	184
B02-1	281	B08-4	174
B02-2	176	B08-5	184
B02-3	184	B08-6	174
B02-4	184	B08-7	234
B02-5	174	B09-1	234
B02-6	233	B09-2	174
B03-1	250	B09-3	184
B03-2	182	B09-4	184
B03-3	182	B09-5	174
B03-4	182	B09-6	234
B03-5	182	B10-1	234
B03-6	182	B10-2	174
B03-7	250	B10-3	184
B04-1	233	B10-4	184
B04-2	174	B10-5	174
B04-3	184	B10-6	487
B04-4	174	B11-1	748
B04-5	184	B11-2	286
B04-6	174	B11-3	265
B04-7	278	B11-4	246
B05-1	368	B11-5	242
B05-2	154	B11-6	242
B05-3	163	B11-7	321
B05-4	163	B12	240
B05-5	154	B13	1,232
B05-6	206	B14	5,728
B06-1	206	B16	7,811
B06-2	154	B17	5,312
B06-3	163		





LEGEND - SITE PLAN

- LOT LINE
- SETBACKS
- ELECTRICAL LINE
- EASEMENTS
- 0000 GEO - ÉLÉVATION GÉODÉSIQUE
- EXISTING BUILDING
- DEMOLISHED BUILDING
- EXISTING TREE
- DEMOLISHED TREE
- NEW TREE
- NEW PLANT
- GRASS
- PEA GRAVEL
- SIDEWALK
- ASPHALT
- RADIANT ZONE
- LANDSCAPED AREA



**BUILDING - C**  
**4 STORY CONDOMINIUM BUILDING**  
**(36 UNITS)**  
**AT GRADE COMMERCIAL SPACE**  
**LEVEL 1 = 100 000 ARCH = 85 950 GEO**  
**LEVEL P1 = 96 400 ARCH = 81 900 GEO**  
**USF = 95 650 ARCH = 81 150 GEO**

**BUILDING - D**  
**4 STORY CONDOMINIUM BUILDING**  
**(47 UNITS)**  
**LEVEL 1 = 100 000 ARCH = 85 800 GEO**  
**LEVEL P1 = 96 400 ARCH = 81 900 GEO**  
**USF = 95 650 ARCH = 81 150 GEO**

REVISIONS

NO	DESCRIPTION	DATE
1	FOR CITY REVIEW	2024-07-17
2	FOR CITY REVIEW	2024-08-21

NOTE  
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DATE 2024-07-17	DESIGNED P.POMERLEAU
PROJECT No 20554	DRAWN P.POMERLEAU
	CHECKED P.MARTIN

SHEET TITLE  
**SITE PLAN - BLOCK 15**





788, BOUL. SAINT-JOSEPH, SUITE 100 GATINEAU, QC J8Y 4B8



(418) 851-8954  
INFO@PMAARCHITECTES.COM  
3070, CHEMIN DES QUATRE-BORGEDES  
QUÉBEC (QC) G1W 2W4  
PMAARCHITECTES.COM



53, BOUL. SAINT-RAYMOND, GATINEAU, QC J8Y 1R8



1565 CARLING AVENUE, SUITE 700, OTTAWA, ON K1Z 8R1



9 GURDWARA ROAD, UNIT 200, OTTAWA, ON K2E 7X6



1331 CLYDE AVENUE, SUITE 400, OTTAWA, ON K2C 3G4



REVISIONS

NO	DESCRIPTION	DATE
1	FOR CITY REVIEW	2024-07-17
2	FOR CITY REVIEW	2024-08-12
3	DESCRIPTION	DATE

NOTE

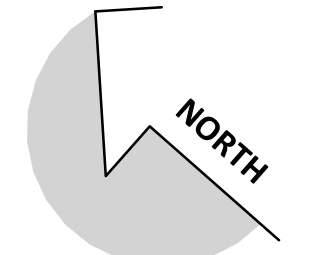
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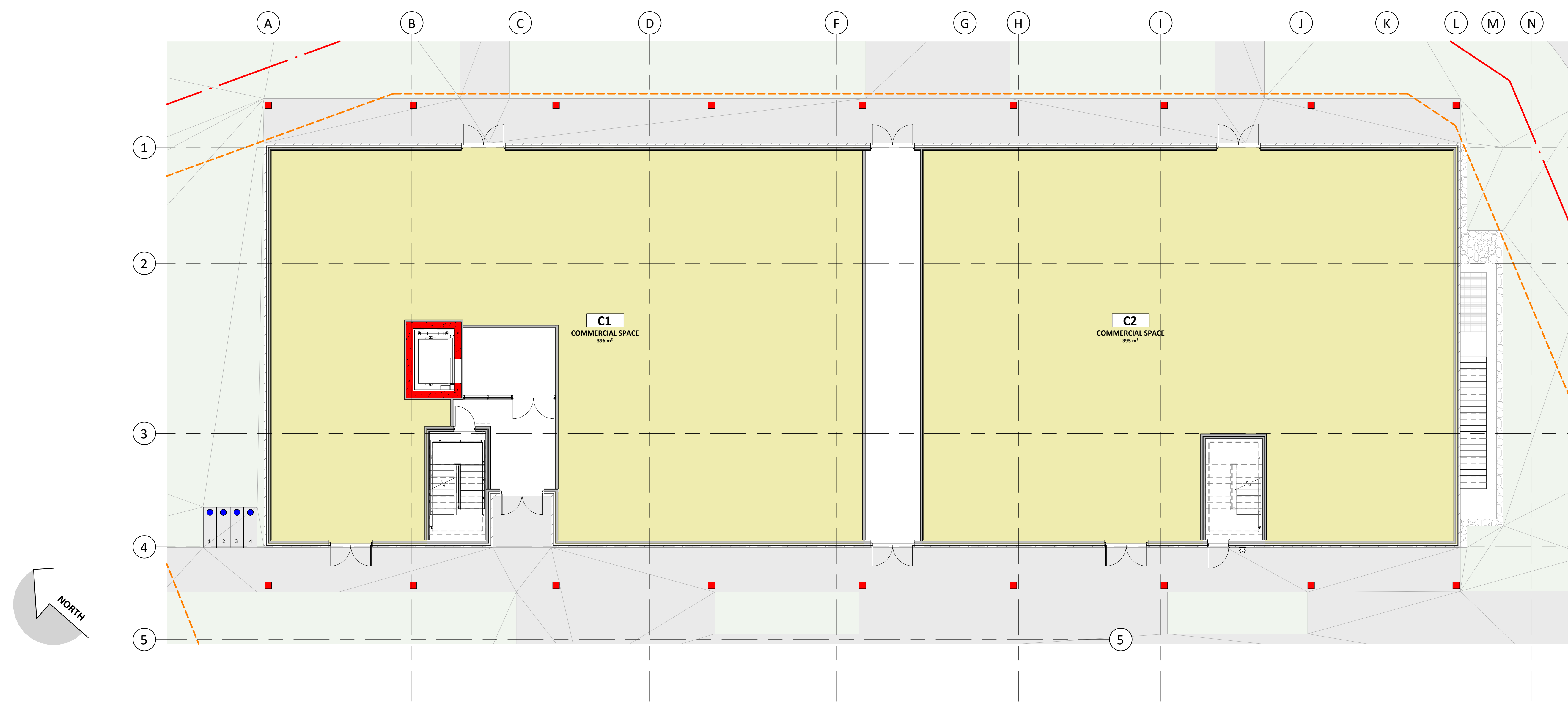
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DATE 2024-07-17	DESIGNED P.POMERLEAU
PROJECT No 20054	DRAWN P.POMERLEAU
	CHECKED P.MARTIN

SHEET TITLE  
**LEVEL U1**







1 C - LEVEL 1  
A351 1:100



2 D - LEVEL 1  
A351 1:100

REVISIONS

NO	DESCRIPTION	DATE
1	FOR CITY REVIEW	2024-07-17
2	FOR CITY REVIEW	2024-08-21

NOTE

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PROJECT No 2054	CHECKED P.POMERLEAU

SHEET TITLE

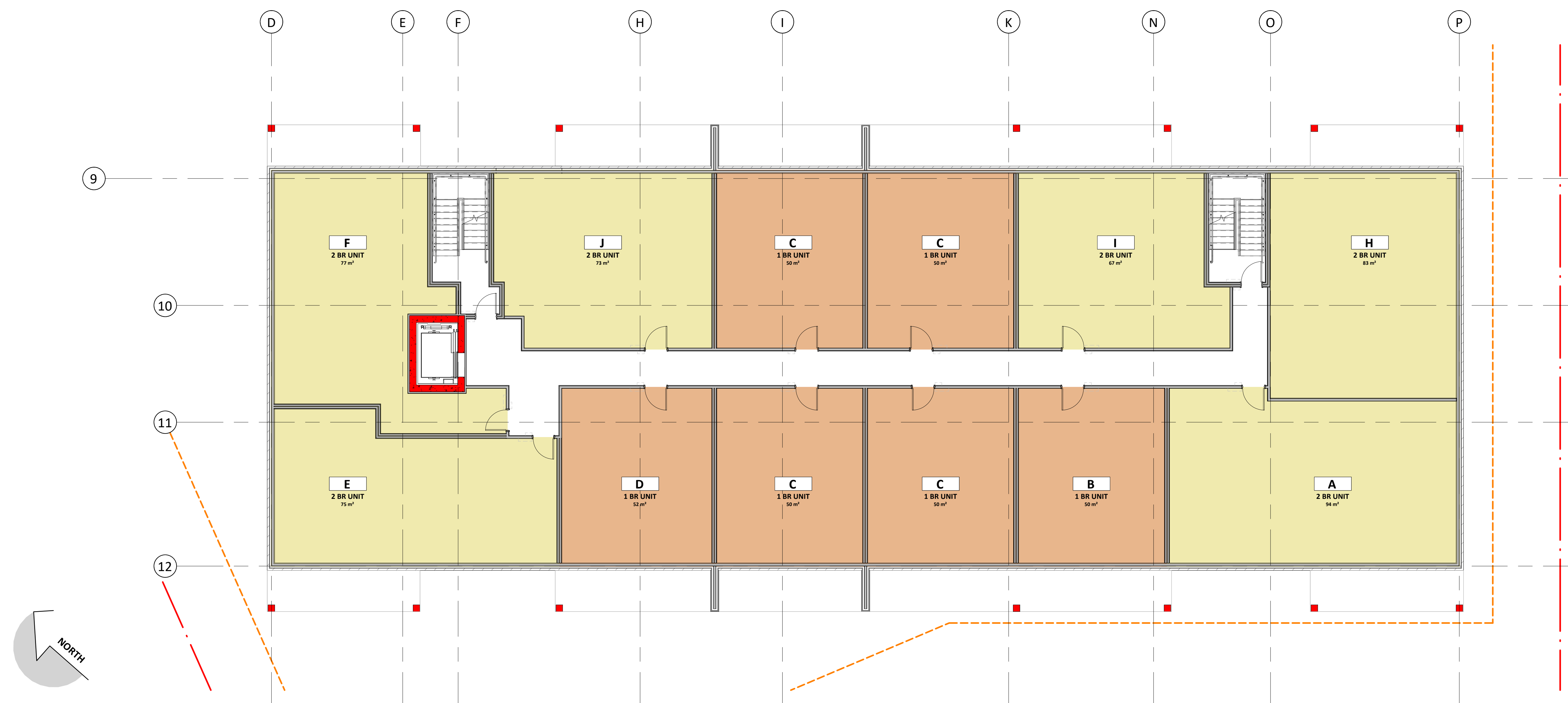
GROUND FLOOR BUILDINGS C & D

SHEET No  
A202





2 C - LEVEL 2  
1:100



1 D - LEVEL 2  
1:100

REVISIONS

NO	DESCRIPTION	DATE
1	FOR CITY REVIEW	2024-07-17
2	FOR CITY REVIEW	2024-08-21

NOTE

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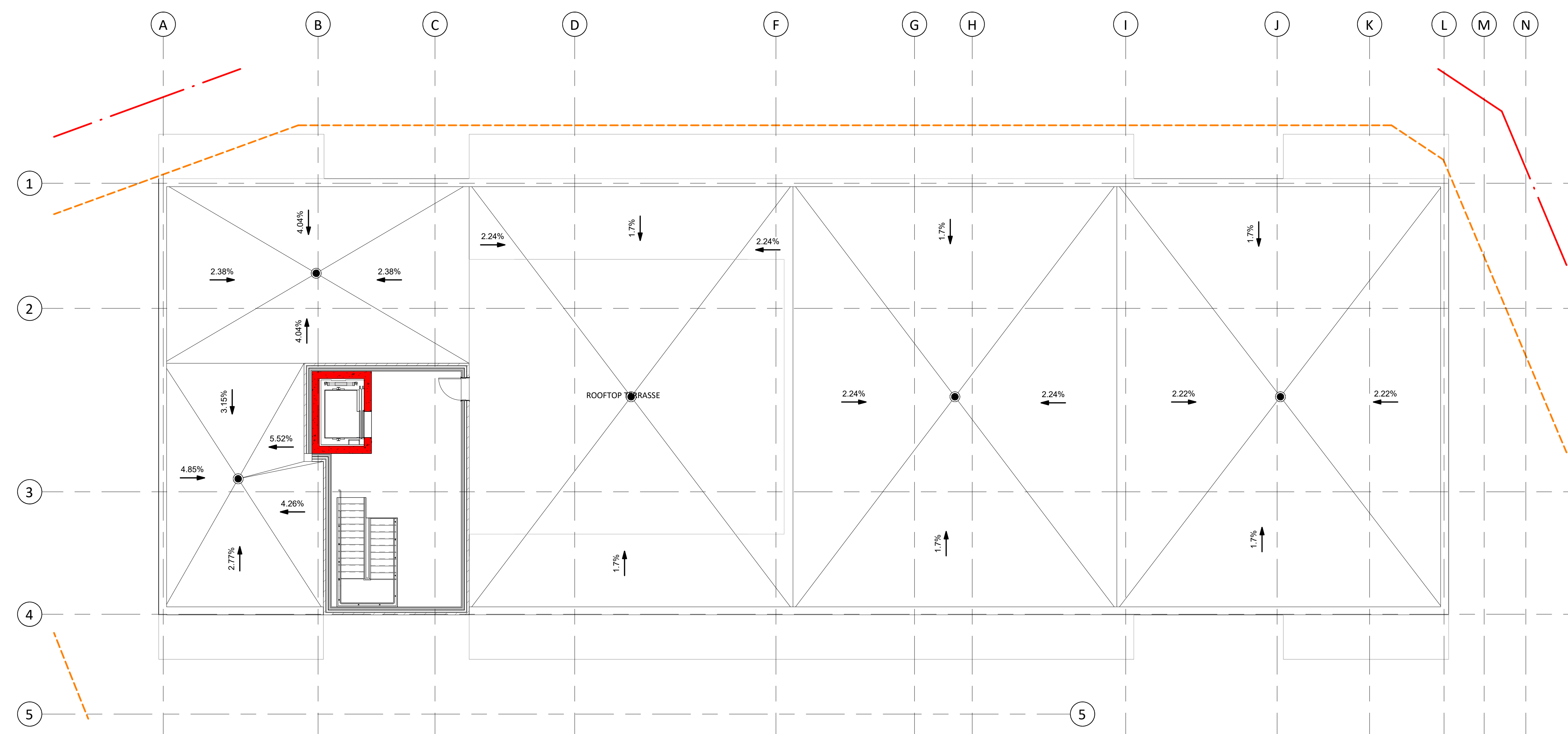
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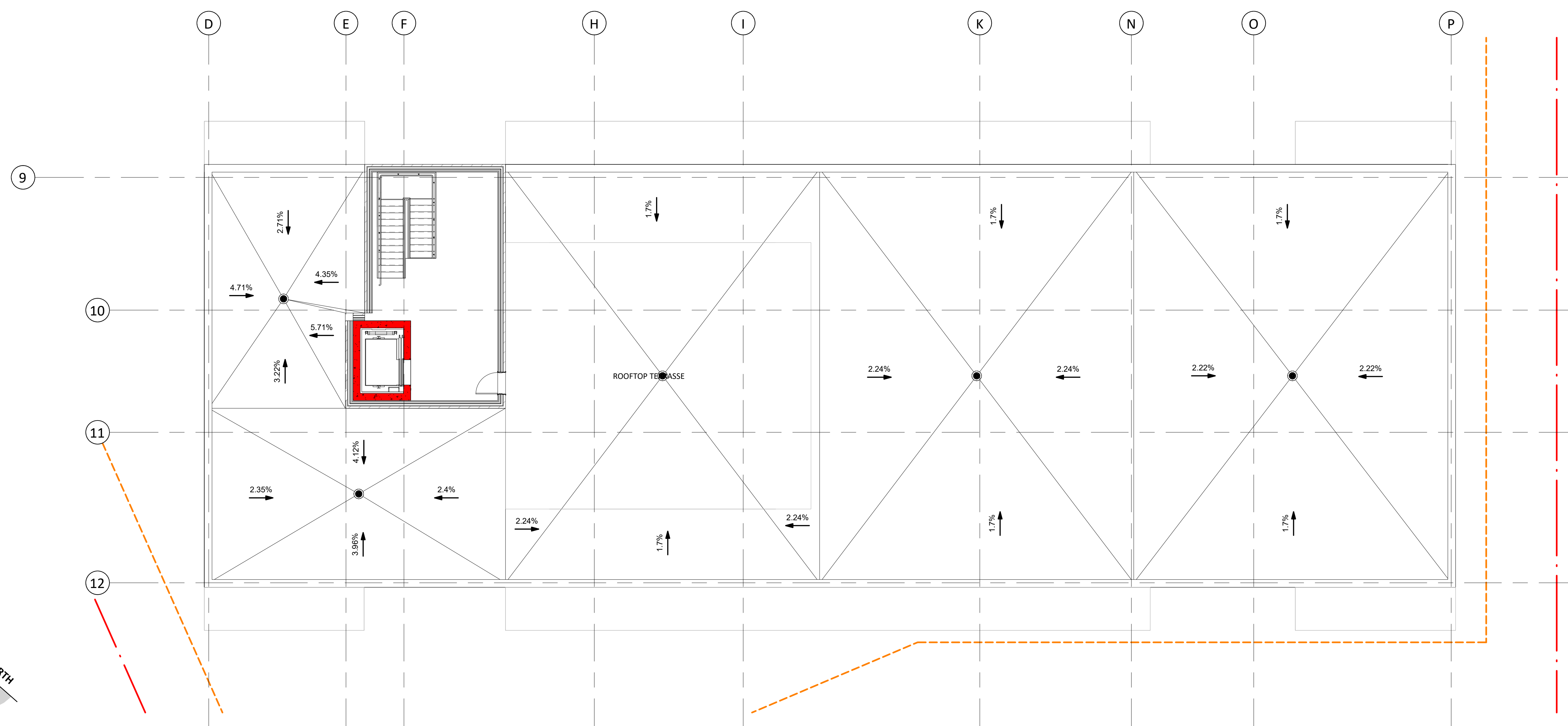
DATE: 2024-07-17  
DESIGNED: P.POMERLEAU  
DRAWN: P.POMERLEAU  
PROJECT No: 20554  
CHECKED: P.MARTIN

SHEET TITLE  
2ND TO 4TH FLOOR BUILDINGS C & D





1 C - ROOF  
A391 1:100



2 D - ROOF  
A391 1:100

REVISIONS

NO	DESCRIPTION	DATE
1	FOR CITY REVIEW	2024-07-17
2	FOR CITY REVIEW	2024-08-22

NOTE

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DATE: 2024-07-17  
DESIGNED: P.POMERLEAU  
DRAWN: P.POMERLEAU  
PROJECT No: 20554  
CHECKED: P.MARTIN

SHEET TITLE

ROOF PLAN BUILDINGS C & D

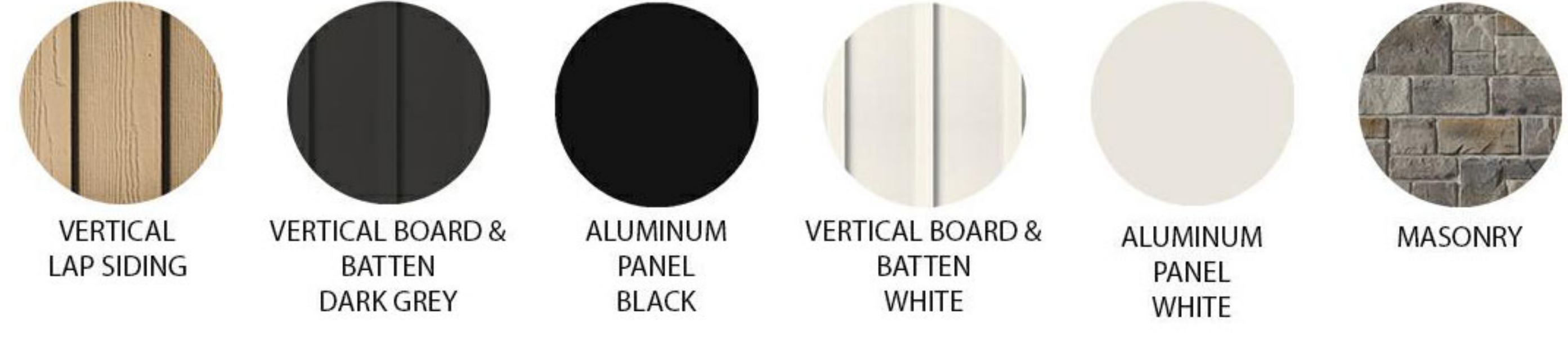
SHEET No

A204





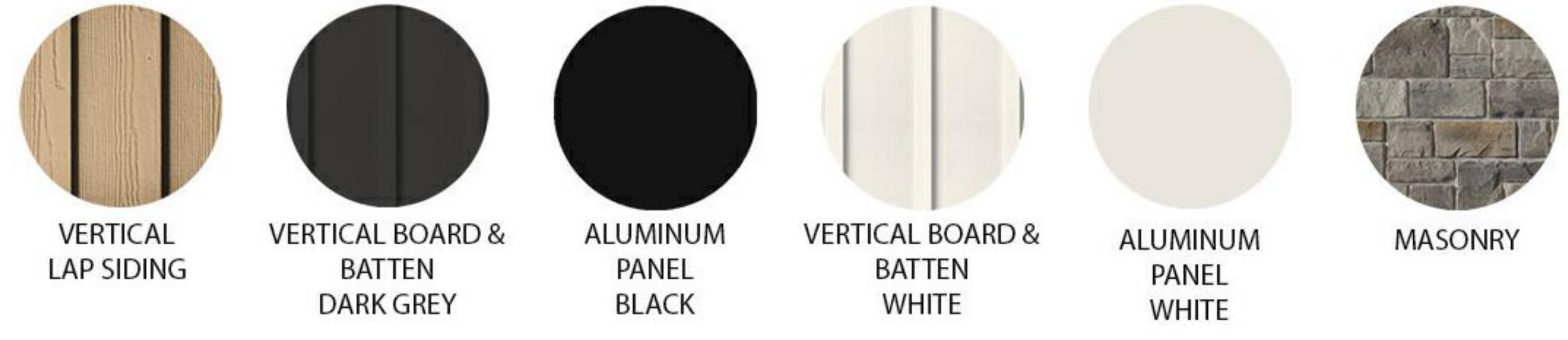
1 EAST ELEVATION - BUILDING C  
1:100



2 NORTH ELEVATION - BUILDING C  
1:100



3 WEST ELEVATION - BUILDING C  
1:100



4 SOUTH ELEVATION - BUILDING C  
1:100

REVISIONS

NO	DESCRIPTION	DATE
1	FOR CITY REVIEW	2024-07-17
2	FOR CITY REVIEW	2024-08-22

NOTE

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DATE	DESIGNED
2024-07-17	P.POMERLEAU
	DRAWN
	P.POMERLEAU
PROJECT No	CHECKED
2054	P.MARTIN

SHEET TITLE

ELEVATION BUILDING C

SHEET No

A301

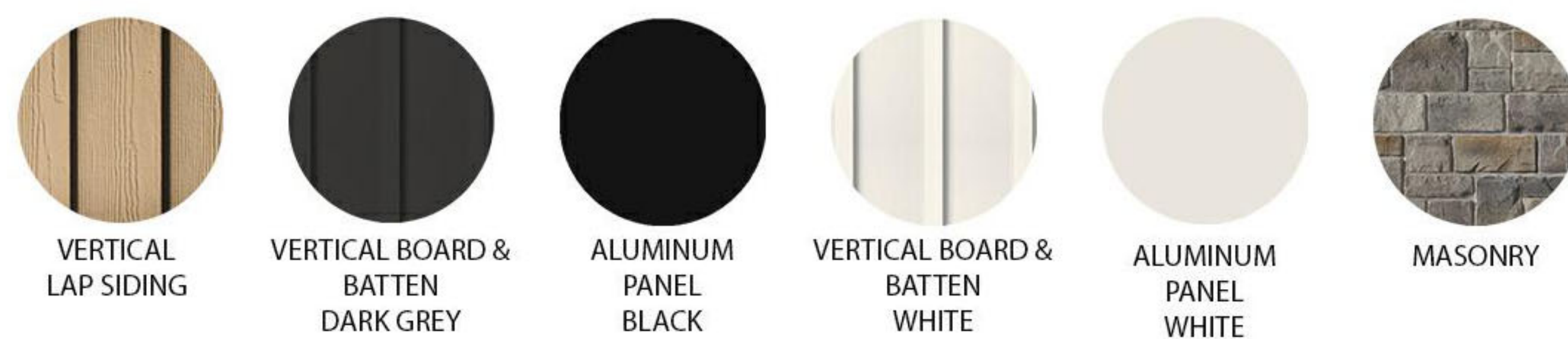




1 EAST ELEVATION - BUILDING D  
1:100



2 NORTH ELEVATION - BUILDING D  
1:100



3 WEST ELEVATION - BUILDING D  
1:100



4 SOUTH ELEVATION - BUILDING D  
1:100

REVISIONS

NO	DESCRIPTION	DATE
2	FOR CITY REVIEW	2024-07-17
1	FOR CITY REVIEW	2024-06-21

NOTE

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DATE	DESIGNED
2024-07-17	P.POMERLEAU
	DRAWN
	P.POMERLEAU
PROJECT No	CHECKED
20054	P.MARTIN

SHEET TITLE  
ELEVATION BUILDING D



