

EXAMPLE OF TYPICAL WASTE ENCLOSURE
NON COMBUSTIBLE

FUTURE PARK
AND OPEN SPACE

FUTURE PARK
AND OPEN SPACE

avenue Deschâtelets Avenue

EXISTING
RESIDENTIAL
MIDRISE APARTMENT
9 FLOORS
BLOCK 59

SURVEY INFORMATION TAKEN FROM:

PART OF LOT 14 CONCESSION 10 (RIDEAU FRONT) GEOGRAPHIC
TOWNSHIP OF REEF AND BLOCKS 60 AND 62 REGISTERED
PLAN 414-1583
CITY OF OTTAWA
PART OF BLOCKS
26 28 29 30 31 4 52
REGISTERED PLAN 414-1586 AND PART OF BLOCK 50
REGISTERED PLAN 414-1583
CITY OF OTTAWA
ANNIS O'SULLIVAN VOLLEBEKK LTD. 2017

ZONING SUMMARY (BLOCK 28)

R3(2306) Planned Unit Development (Detached Dwellings and Townhouse Dwellings)

	REQUIRED	PROVIDED
MINIMUM LOT WIDTH (m)	N/A	N/A
MINIMUM LOT AREA (m ²)	1,400 m ²	2,416 m ²
MINIMUM FRONT YARD (m)	3.0 m	2.0 m
MINIMUM INTERIOR SIDE YARD (m)	1.8 m	2.0 m
MINIMUM REAR YARD (m)	1.1m (25% LOT DEPTH)	3.0 m
MAXIMUM BUILDING HEIGHT (m)	11 m	11 m
PERMITTED PROJECTION INTO YARDS - PART 2, SECTION 65		
FRONT YARD	0.6 m	0.2 m
IN. SIDE YARD	NO LIMIT	1.2 m
REAR YARD	NO LIMIT	1.1 m
FRONT YARD	2.0 m MAX PROJ	2.0 m
IN. SIDE YARD	1.0 m NO PROJ	0.2 m
REAR YARD	2.0 m MAX PROJ	1.6 m
IN. SIDE YARD	1.0 m NO PROJ	0.5 m
REAR YARD	2.0 m MAX PROJ	2.5 m
IN. SIDE YARD	1.0 m NO PROJ	1.1 m

PLANNED UNIT DEVELOPMENT - PART 5, SECTION 131
(14c) the entire planned unit development complex with all applicable Sections of the
By-law, the provisions set out in this Section and Table B), however, development
parcels within the planned unit development, whether severed or not, that have
vehicular access off the private way only, need not comply with the dwelling type
specific provisions indicated in Part 6 other than maximum permitted building height.

MINIMUM WIDTH OF PRIVATE WAY	6.0 m	4.5 m
MIN. SETBACK FOR ANY WALL OF RESIDENTIAL USE BUILDING TO PRIVATE WAY	1.8 m	0 m
MIN. SETBACK FOR ANY GARAGE OR CARPORT ENTRANCE FROM PRIVATE WAY	5.2 m	0 m
MINIMUM SEPARATION BETWEEN BUILDINGS	1.2 m	2.4 m

PARKING
a) In addition to providing parking pursuant to Section 100 of this by-law, parking within
a planned unit development may be located anywhere within the development, whether
or not the development parcels within the planned unit development are severed.

LANDSCAPE AND PARKING

a) In the case of a planned unit development
consisting of detached, linked-detached,
semi-detached, three-unit or townhouse dwellings, or
any combination thereof, all lands located between
the dwelling unit or oversized dwelling unit, the
extension of the main wall of the dwelling unit or
oversize dwelling unit, and the private way are to be
landscaped with soft landscaping other than the
area used for a driveway leading to the dwelling
unit's associated parking space, garage or carport.

COMPLIES	DOES NOT COMPLY
COMPLIES	COMPLIES
N/A	N/A

c) Despite (a) and (b), where a development parcel
containing a dwelling unit or oversized dwelling unit,
located within a Planned Unit Development in an R1,
R2, R3 or R4 Zone within Schedule 342 has frontage
on a public street, whether severed or not, the area
between the dwelling unit or oversized dwelling unit
and the street lot line is subject to the requirements
of Sections 131 and 140.

MINIMUM PARKING SPACES (1.00 / SEMI-DETACHED)	8	12
MINIMUM PARKING SPACES (0.75 / TOWNHOUSE)	6	8
MINIMUM PARKING VISITOR PARKING SPACES	0	0
TOTAL PARKING SPACES	14	20

NOTE: CELLS HIGHLIGHTED IN RED INDICATE REQUESTED RELIEF FROM PROVISIONS OF
ZONING BY-LAW (2009-250)

SITE STATISTICS

RESIDENTIAL BLOCK #	# OF UNITS	GROSS FLOOR AREA (m ²)
T7	4	601 m ²
T8	2	384 m ²
T9	2	315 m ²
T10	2	384 m ²
T11	2	315 m ²
T12	4	601 m ²
16 UNITS (TOTAL)		2,600 m ² (TOTAL)

UNIT TYPOLOGIES

SEMI-DETACHED	8
TOWNHOUSE	8

SITE COVERAGE

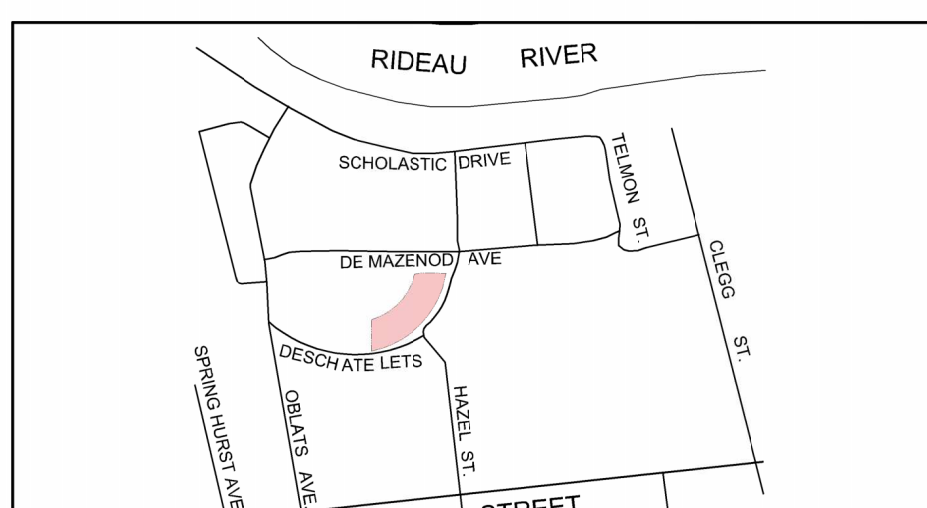
TOTAL LOT AREA (m ²)	2,416 m ²
TOTAL GROSS BUILDING AREA (m ² / % LOT COVERAGE)	1,022 m ² / 42.3%
TOTAL HARD LANDSCAPING AREA (m ² / % LOT COVERAGE)	350 m ² / 14.5%
TOTAL SOFT LANDSCAPING AREA (m ² / % LOT COVERAGE)	441 m ² / 18.3%
TOTAL VEHICULAR SURFACE AREA (m ² / % LOT COVERAGE)	591 m ² / 24.1%

SOLID WASTE STORAGE AND DISPOSAL

TYPE	REQUIRED	PROVIDED
GARBAGE	3 YARDS	3 YARDS (6x 360L)
FIBRE	1 YARD	1 YARD (2x 360L)
GMP	5 YARDS	1 YARD (2x 360L)
ORGANICS	1 X 240L CART	2 X 240L CART

WASTE STORAGE
• A WASTE STORAGE AREA MUST BE FULLY ENCLOSED WITHIN A BUILDING OR
STRUCTURE.
• DESPITE SECTION 55, A WASTE STORAGE AREA IS PERMITTED TO BE LOCATED
WITHIN AN INTERIOR SIDE YARD
• DESPITE SECTION 55, A WASTE STORAGE AREA IS NOT SUBJECT TO ANY
SETBACK REQUIREMENTS FROM ANY OTHER BUILDINGS LOCATED ON THE SAME
LOT.

KEY PLAN - NTS



PROJECT CONSULTANTS

DEVELOPER / OWNER

EG HOMES INC.
THE RESIDENTIAL GROUP
1131 WOODWARD DRIVE - 2ND FLOOR
OTTAWA, ON K2G 0P6
PHONE: (613) 230-2100

ARCHITECT

NOBIN ARCHITECTURE INC.
63 PAVILLA STREET
OTTAWA, ON K2H 1P6
CONTACT: ROBERT THERAN
PHONE: (613) 254-4643 x 212

PLANNING

NOVATECH
240 MICHAEL COMPLAND DRIVE SUITE 200
OTTAWA, ON K2H 1P6
CONTACT: ROBERT THERAN
PHONE: (613) 254-4643 x 212

LANDSCAPE

NOVATECH
240 MICHAEL COMPLAND DRIVE SUITE 200
OTTAWA, ON K2H 1P6
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TRAFFIC

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CIVIL

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SURVEYOR

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14 CONTOUR GATE, SUITE 500
OTTAWA, ON K2E 1T6
CONTACT: ANDREW SHELPS
PHONE: (613) 721-4552 x 226

GEOTECHNICAL

PATERSON GROUP INC.
4 AURISA DRIVE
OTTAWA, ON K2E 1T4
CONTACT: SCOTT S. DENNIS
PHONE: (613) 236-1501

11	2025-06-06	ISSUED FOR SFC
10	2025-05-13	WASTE STORAGE ZONING
9	2025-04-15	WASTE STORAGE FOR REVIEW
8	2024-11-24	REISSUED FOR ZBA + SFC
7	2024-11-26	ISSUED FOR COORDINATION
6	2024-10-17	ISSUED FOR SFC
5	2024-10-10	ISSUED FOR COORDINATION
4	2024-09-14	ISSUED FOR SFC
3	2024-08-14	SFC PRECONSULT 3
2	2024-08-04	ISSUED FOR COORDINATION
1	2024-07-16	ISSUED FOR REVIEW
no.	date	revision

It is the responsibility of the appropriate
contractor to check and verify all dimen-
sions on site and report all errors and /
or omissions to the architect.

All contractors must comply with all
pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for
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HOBIN
ARCHITECTURE

PROJECT/LOCATION:
FORECOURT
TOWNHOMES
175 MAIN STREET - GREYSTONE

DRAWING TITLE:
SITEPLAN - BLOCK 28
4M-1596
355 DESCHÂTELETS AVE.

DRAWN BY: DATE: SCALE:
JD 24/03/15 1:150

PROJECT: DRAWING NO.:
2308

REVISION NO.:
A1.01

City Plan No.: #19191