



KEY MAP

GEO/TECHNICAL ENGINEER Paterson Group 154 Colomade Road South Ottawa, Ontario, K2E 7J5 Tel: (613) 226-7381 E-Mail: DGilbert@Patersongroup.ca E-Mail: mdarcy@Patersongroup.ca	TRANSPORTATION ENGINEER CGH Transportation Inc. 6 Plaza Court Ottawa, Ontario K2H 7W1 Phone: (343) 999-0117 Direct: (613) 410-8243 E-Mail: Andrew.Harte@CGHTransportation.com E-Mail: michele.chen@CGHTransportation.com	LANDSCAPE ARCHITECT Wentworth Landscapes 13392 Loyalist Pkwy Pickering, Ontario K0K 2T0 Tel: (613) 476-1181 E-Mail: scott@wentworthlandscapes.com	URBAN PLANNER Folten Consulting 396 Cooper Street Suite 300 Ottawa, ON K2P 2H7 Tel: (613) 329-0354 E-Mail: M.Jangan@homestead.ca E-Mail: m.murphy@homestead.ca	PROJECT DEVELOPER Homestead Land Holdings Ltd. 80 Johnson Street Kingston, ON K7L 1X7 Tel: (613) 546-3148 Tel: (613) 329-0354 E-Mail: M.Jangan@homestead.ca E-Mail: m.murphy@homestead.ca
SURVEYOR Farley, Smith & Denis Surveying Ltd. 30 Colomade Road North, unit 275 Ottawa, Ontario K2E 7J6 Tel: (613) 727-8225 Fax: (613) 727-1823 E-Mail: jleslie@bellnet.ca	ARBORIST IFS Associates BOX 13593, Kanata, Ontario K2K 1X6 Tel: (613) 838-5717 Tel: (613) 727-8225 E-Mail: aboyd@ifsassociates.ca	WIND / SOUND ENGINEER Pinchin Ltd. 1 Hines Road, Suite 200 Kanata, ON, K2K 3C7 Tel: (847) 237-1077 E-Mail: wli@Pinchin.com	CIVIL ENGINEER WSP 2611 Queensview Drive, Suite 200 Ottawa, Ontario, K2K 6B7 Canada Phone: (613) 614-3985 E-Mail: Steve.P.Davidson@wsp.com E-Mail: scott.a.taylor@wsp.com	LEGAL DESCRIPTION TOPOGRAPHIC PLAN OF SURVEY OF BLOCKS A & D REGISTERED PLAN 302828 AND PART OF LOT 32 CONCESSION A (OTTAWA FRONT) GEOGRAPHIC TOWNSHIP OF NEPEAN CITY OF OTTAWA FARLEY, SMITH & DENIS SURVEYING LTD. 2025

SITE PLAN SYMBOLS:

- SOFT LANDSCAPED AREA
- HARD SURFACE WALK
- COMMUNAL AMENITY PATIO / TERRACE
- ENTRY PAVERS
- PRIVATE PATIOS
- BIKE SPACE WITH RACK
- MAIN ENTRANCE DOOR
- EXIT / SERVICE DOOR
- FIRE HYDRANT
- VEHICULAR DIRECTION
- EXISTING TREE TO REMAIN
- SITE LIGHTING EXISTING / PROPOSED

NOTE: SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN

PROJECT INFORMATION			
Zoning By-law 2008-250 Consolidation	RSC[2909] S216	SITE AREA	1.1 ha.
		10,956.0 sq. m	117,929 sq. m
ZONING		REQUIRED	PROVIDED
BUILDING HEIGHT	25 STOREYS / 80.0m	25 STOREYS / 79.0m	
GRADE (GEODETIC ELEVATION - ASL)	60.75m ASL	60.75m ASL	
REAR YARD SETBACK (WEST)	7.5m	7.8m	
CORNER YARD SETBACK (LANARK AVENUE)	10.8m	10.8m	
CORNER YARD SETBACK (CLEARVIEW AVENUE)	3.0m	3.6m	
AMENITY AREA - TOTAL 6.0m² PER UNIT	1,122.0m²	2,500.0m²	
AMENITY AREA - 50% COMMUNAL PER UNIT	561.0m²	1,600m²	
VEHICLE PARKING: RESIDENTIAL - 0.5 PER UNIT AFTER 12 UNITS	88	232	
VEHICLE PARKING: VISITOR - 0.1 PER UNIT AFTER 12 UNITS	18	18	
VEHICLE PARKING: RESIDENTIAL - MAX. 1.75 PER UNIT	327	250	
BICYCLE PARKING - RESIDENTIAL - 1.0 PER UNIT	187	190	
ASILE & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.7m	6.7m	
LANDSCAPE OPENED AREA	30%	52.4%	

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

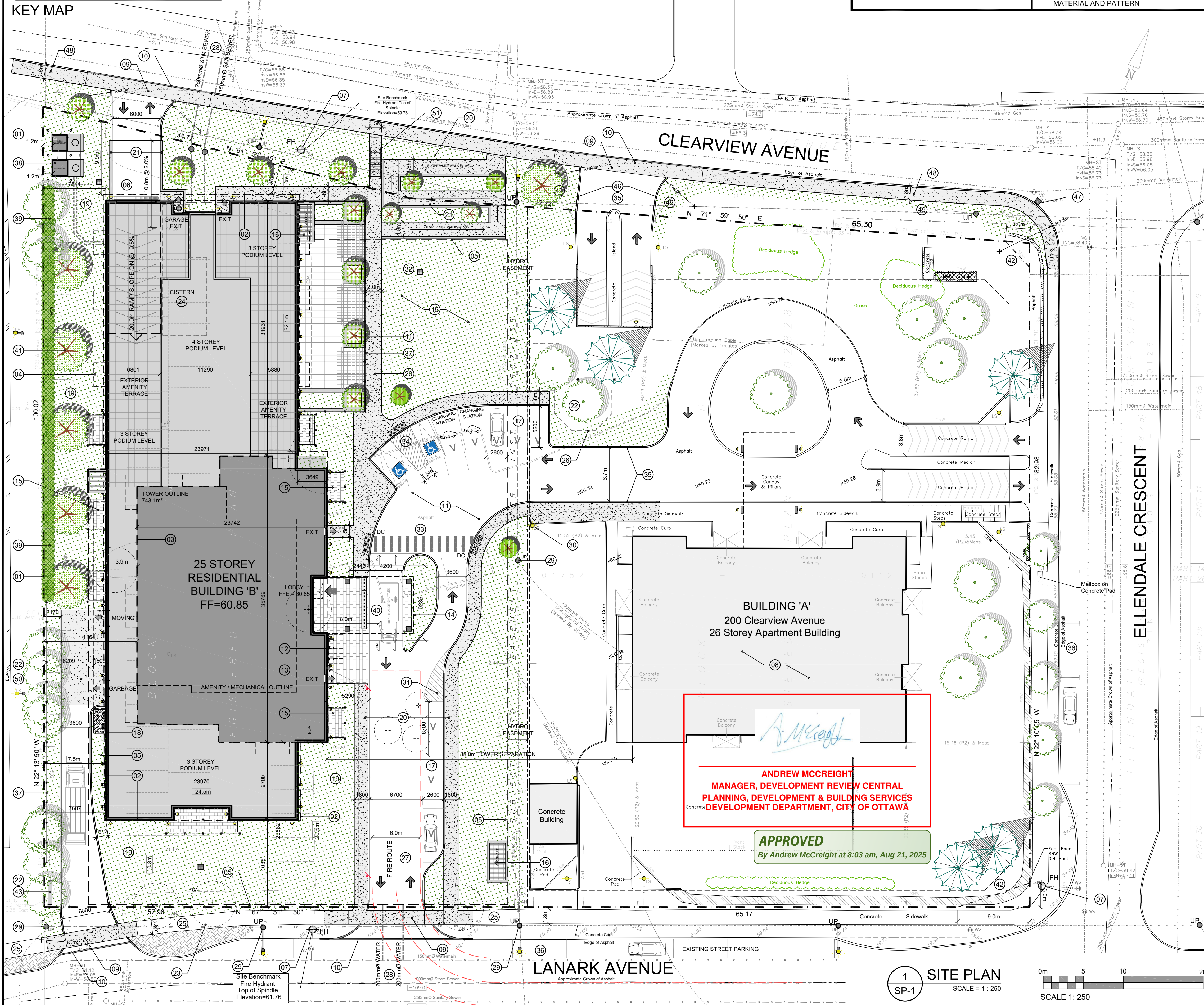
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NOTATION SYMBOLS:

00	INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
01	INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
02	INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
000	INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
0000	DETAIL NUMBER
00000	TITLE
000000	DETAIL REFERENCE PAGE
0000000	DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

- (A) REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
- (B) FOR DOOR TYPES AND HARDWARE REQUIREMENTS REFER TO DOOR SCHEDULE ON A900 SERIES.
- (C) ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF DRYWALL.
- (D) ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- (E) ALL EXTERIOR WALLS ARE TO BE TYPE 'W1' UNLESS NOTED OTHERWISE.
- (F) ALL INTERIOR PARTITIONS ARE TO BE TYPE 'P1' UNLESS NOTED OTHERWISE.



FULL SITE			
GROSS BUILDING AREA (CITY OF OTTAWA'S DEFINITION)			
EX. TOWER "A" - 26 STOREY BASED ON A 80% EFFICIENCY	17,249.5 sq. m.	185,672 sq. m.	
NEW TOWER "B" - 25 STOREY	16,342.9 sq. m.	175,913 sq. m.	
TOTAL AREA	33,592.4 sq. m.	361,585 sq. m.	
RESIDENTIAL UNITS			
EX. TOWER "A" - 26 STOREY	224		
NEW TOWER "B" - 25 STOREY	187		
TOTAL	411		
PARKING SPACES			
EX. BUILDING "A" - SURFACE SPACES (REMOVED)	-100		
EX. BUILDING "A" - P1 LEVEL	110		
BUILDING "B" - P2 LEVEL	123		
BUILDING "B" - P1 LEVEL	117		
BUILDING "B" - SURFACE SPACES	10		
TOTAL	360		
LOT COVERAGE			
PAVED SURFACE	2,365.5 sq. m.	21.6%	
LANDSCAPE OPEN SPACE	5,742.2 sq. m.	52.4%	
EX. BUILDING "A"	829.3 sq. m.	7.6%	
EX. ACCESSORY USE BUILDING	45.0 sq. m.	0.4%	
PROPOSED BUILDING "B"	1,974.0 sq. m.	18.0%	
TOTAL	10,956.0 sq. m.	100.0%	

PROPOSED - BUILDING "B"			
BUILDING STATISTICS			
GROUND FLOOR	704.0 sq. m.	7,578 sq. m.	
2nd & 3rd FLOOR	2 x 1,648.6 sq. m.	3,297.1 sq. m.	
4th FLOOR	16 x 623.3 sq. m.	9,972.6 sq. m.	
5th - 20th FLOOR	16 x 6,709 sq. m.	107,344 sq. m.	
21st FLOOR	16 x 6,709 sq. m.	107,344 sq. m.	
22nd FLOOR	16 x 6,709 sq. m.	107,344 sq. m.	
23rd FLOOR	16 x 6,709 sq. m.	107,344 sq. m.	
24th FLOOR	16 x 6,709 sq. m.	107,344 sq. m.	
25th FLOOR AMENITY / MECH. PENT.	0 sq. m.	0 sq. m.	
TOTAL AREA	17,033.6 sq. m.	183,348 sq. m.	
TOWER FOOTPRINT	743.2 sq. m.	8,000 sq. m.	
UNIT STATISTICS			
1 BEDROOM UNIT	56		
2 BEDROOM UNIT	131		
TOTAL	187		
CAR PARKING 187 UNITS			
REQUIRED BY ZONING BY-LAW			
RESIDENCE	- 0.5 PER UNIT (AFTER 12 UNITS)	88	
VISITOR	- 0.1 PER UNIT (AFTER 12 UNITS)	18	
TOTAL		106	
PROVIDED			
RESIDENCE	- 1.2 PER UNIT	228	
VISITOR	- 0.1 PER UNIT	18	
TOTAL		246	
PARKING SPACE TYPE			
STANDARD PARKING SPACE (2.80 x 5.20)		195	
SMALL CAR SPACE (2.40 x 4.80)		44	
PARALLEL PARKING SPACE (2.80 x 6.70)		3	
BARRIER FREE SPACE TYPE A (3.40 x 5.20)		3	
BARRIER FREE SPACE TYPE B (2.40 x 5.20)		1	
BICYCLE PARKING 187 UNITS			
REQUIRED			
RESIDENCE	- 1.0 PER UNIT	187	
PROVIDED			
P2 U/G PARKING LEVEL		60	
P1 U/G PARKING LEVEL		124	
EXTERIOR AT GRADE		6	
TOTAL		190	
AMENITY SPACE			
GROUND FLOOR COMMUNAL INTERIOR =	355.0 sq. m.		
GROUND FLOOR COMMUNAL EXTERIOR =	115.0 sq. m.		
4th FLOOR COMMUNAL INTERIOR =	160.0 sq. m.		
4th FLOOR COMMUNAL TERRACE =	500.0 sq. m.		
25th FLOOR COMMUNAL INTERIOR =	230.0 sq. m.		
25th FLOOR COMMUNAL TERRACE =	240.0 sq. m.		
PRIVATE BALCONIES / TERRACE =	900.0 sq. m.		
TOTAL =	2,500.0 sq. m.		
TOTAL COMMUNAL =	1,600.0 sq. m.		
REQUIRED - 6.0m² PER UNIT (187) =	1,122.0 sq. m.		
REQUIRED COMMUNAL @ 50% =	561.0 sq. m.		
REFUSE REQUIREMENT 187 UNITS			
GARBAGE	- 0.11 PER UNIT	20 YARDS	
RECYCLING GMP	- 0.018 PER UNIT	4 YARDS	
RECYCLING FIBER	- 0.038 PER UNIT	7 YARDS	
COMPOST	- 240L PER 50 UNITS	4	
ELECTRIC VEHICLE PARKING SPACE / CHARGING STATION			
150mm BARRIER CURB			
RELOCATED STORM SEWER CATCH BASIN			
BARRIER CURB AND 1.8M WIDE SIDEWALK			
EXISTING LAWN TO BE RE-GRADES AS REQUIRED			
CONCRETE SURFACE AT LOADING AREA			
CONCRETE STAIR WITH HANDRAILS			

- DRAWING NOTES:**
- PROPERTY LINE
 - BUILDING SETBACK LINE
 - OUTLINE OF TOWER
 - LINE OF BALCONIES ABOVE
 - LINE OF PARKING GARAGE BELOW
 - RAMP TO U/G GARAGE WITH TRENCH DRAIN
 - FIRE HYDRANT - EXISTING / PROPOSED
 - EXISTING HIGH RISE APARTMENT BUILDING
 - SIDEWALK, CONTINUOUS AND DEPRESSED @ DRIVEWAY
 - DEPRESSED STREET CURB
 - ASPHALT ROAD WITH CONCRETE BARRIER CURBS
 - BICYCLE RACKS, SEE LANDSCAPE PLAN FOR TYPE
 - SIAMSE CONNECTION
 - ENTRANCE CANOPY WITH SUPPORT COLUMNS
 - PRIVATE PATIO WITH 1.2m HT. PRIVACY FENCE
 - INTAKE / EXHAUST SHAFT
 - VISITOR PARKING SPACES
 - GAS PRESSURE RELEASE STATION
 - SOFT LANDSCAPING, SEE LANDSCAPE PLAN
 - CONCRETE WALKWAY, WIDTH AS NOTED
 - CONCRETE RETAINING WALL, RAILING AS REQUIRED
 - EXISTING TREE TO REMAIN, PROTECT AS REQUIRED
 - EXISTING TREE TO BE REMOVED
 - CISTERN SEE CIVIL AND MECHANICAL FOR DETAILS
 - EXISTING CITY SIDEWALK TO REMAIN
 - TREE PROTECTION FENCE AS PER TOR
 - 6.0 METRE WIDE FIRE ROUTE
 - PROPOSED SERVICES, SEE CIVIL
 - EXISTING UTILITY / LIGHT POLE
 - SITE LIGHTING - SEE ELECTRICAL SITE PLAN
 - PAINTED ISLAND
 - RAISED PLANTERS AT AMENITY AREA, SEE LANDSCAPE
 - CROSSWALK WITH DEPRESSED CURB AND TWSI
 - ACCESSIBLE PARKING SPACES WITH 1.5m WIDE AISLE, DEPRESSED CURB, TWSI AND SIGNAGE
 - RE-ALINE DRIVEWAY AND SIDEWALK
 - EXISTING STREET PARKING TO REMAIN
 - 2.1m HT. SOLID WOOD FENCE
 - HYDRO TRANSFORMER & SWITCHGEAR EQUIPMENT
 - PRIVACY HEDGE, SEE LANDSCAPE
 - RAISED ACCESSIBLE PASSENGER LOADING AREA WITH TWSI
 - TREE, SEE LANDSCAPE
 - PROPOSED CORNER TRIANGLE
 - EXISTING UTILITY KIOSK
 - FIRE ROUTE SIGN, MAXIMUM SPACING 25 METRES

REVISIONS:			
NO.	DESCRIPTION	DATE (DDMMYY)	
1	ISSUED FOR ROUND 3 COMMENT RESPONSE	2025-07-23	
2	ISSUED FOR COORDINATION	2025-07-17	
3	MINOR CHANGES TO TOWER OUTLINE	2025-05-20	
4	ISSUED FOR ROUND 1 COMMENT RESPONSE	2025-04-08	
5	CITY COMMENT RESPONSE CONSULTANT REVIEW	2025-03-14	
6	ISSUED FOR SITE PLAN CONTROL APPLICATION	2024-10-24	
7	ISSUED FOR OWNER / CONSULTANT REVIEW	2024-09-04	
8	ISSUED FOR OWNER / CONSULTANT REVIEW	2024-07-04	
9	ISSUED FOR OWNER / CONSULTANT REVIEW	2024-03-14	
10	ISSUED FOR OPA & ZA ROUND 3 COMMENT	2023-06-05	
11	ISSUED FOR OPA & ZA ROUND 2 COMMENT	2023-03-17	
12	ISSUED FOR ZONING APPLICATION	2021-05-26	
ARCHITECT SEAL:			
NORTH ARROW:			
CLIENT:			
ARCHITECT:			
PROJECT TITLE:			
DRAWN:			
CHECKED:			
SCALE:			
SHEET No.			
PROJECT No.			
SHEET TITLE:			

HOMESTEAD

Homestead Land Holdings Ltd.
80 Johnson Street, Kingston

210 CLEARVIEW AVENUE

OTTAWA ONTARIO

SITE PLAN BLDG. 'B'

DRAWN: R.V. CHECKED: JS

SCALE: 1:250 SHEET No.

PROJECT No. 2117

SP-1