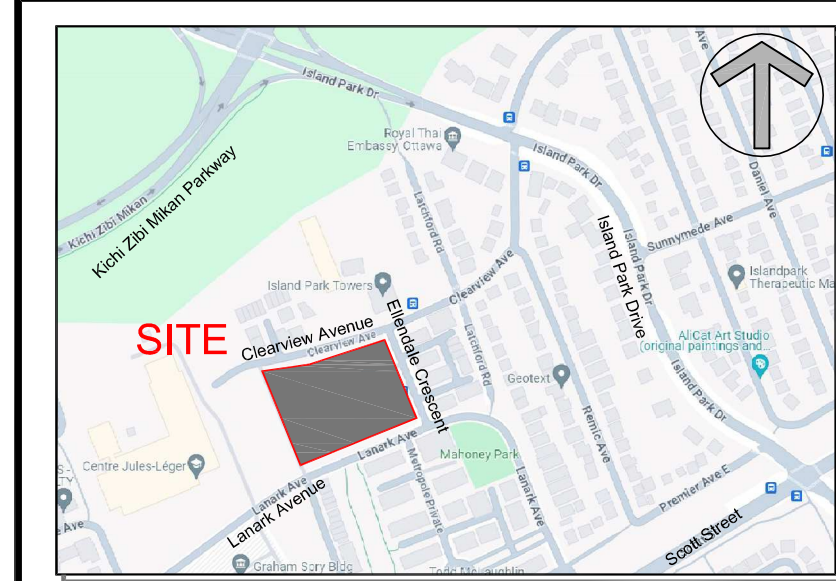
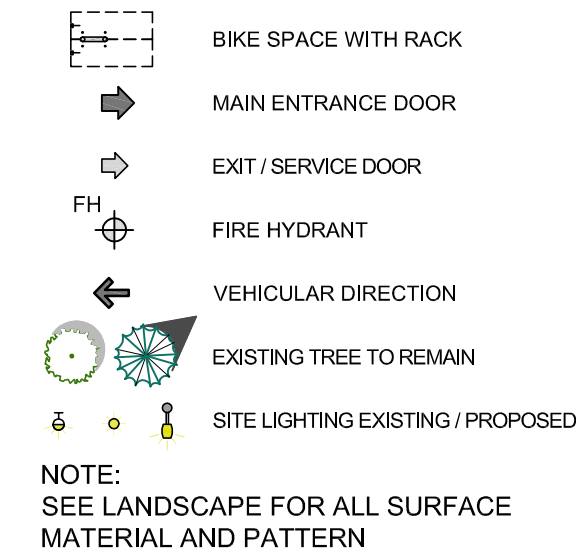
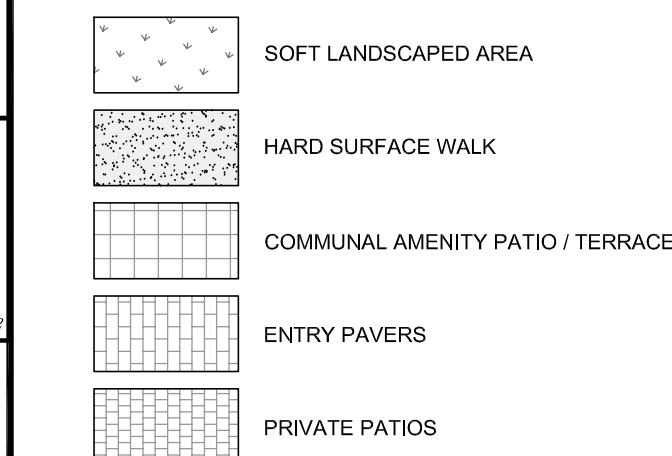




KEY MAP



SITE PLAN SYMBOLS:



NOTE:
SEE LANDSCAPE FOR ALL SURFACE
MATERIAL AND PATTERN

PROJECT INFORMATION

Zoning By-law 2008-250 Consolidation	RSC[2909] S216	SITE AREA	1.1 ha.	10,956.0 sq. m	117,929 sq. ft.
ZONING		REQUIRED		PROVIDED	
BUILDING HEIGHT		25 STOREYS / 80.0m		25 STOREYS / 79.0m	
GRADE (GEODETIC ELEVATION - ASL)		60.75m ASL		60.75m ASL	
REAR YARD SETBACK (WEST)		7.5m		7.8m	
CORNER YARD SETBACK (LANARK AVENUE)		10.8m		10.8m	
CORNER YARD SETBACK (CLEARVIEW AVENUE)		3.0m		3.6m	
AMENITY AREA - TOTAL 6.0m² PER UNIT		1,122.0m²		2,500.0m²	
AMENITY AREA - 50% COMMUNAL PER UNIT		561.0m²		1,600m²	
VEHICLE PARKING: RESIDENTIAL - 0.5 PER UNIT AFTER 12 UNITS		88		232	
VEHICLE PARKING: VISITOR - 0.1 PER UNIT AFTER 12 UNITS		18		18	
VEHICLE PARKING: RESIDENTIAL - MAX. 1.75 PER UNIT		327		250	
BICYCLE PARKING - RESIDENTIAL - 1.0 PER UNIT		187		190	
aisle & DRIVEWAY MINIMUM / MAXIMUM WIDTH		6.7m		6.7m	
LANDSCAPE OPENED AREA		30%		52.4%	

FULL SITE

GROSS BUILDING AREA

(CITY OF OTTAWA'S DEFINITION)

EX. TOWER 'A' - 26 STOREY	17,249.5 sq. m.
BASED ON A 80% EFFICIENCY	185,672 sq. ft.
NEW TOWER 'B' - 25 STOREY	16,342.9 sq. ft.
	175,913 sq. ft.

RESIDENTIAL UNITS

EX. TOWER 'A' - 26 STOREY	224
NEW TOWER 'B' - 25 STOREY	187
TOTAL	411

PARKING SPACES

EX. BUILDING 'A' - SURFACE SPACES (REMOVED)	-100
EX. BUILDING 'A' - P1 LEVEL	110
BUILDING 'B' - P2 LEVEL	123
BUILDING 'B' - P1 LEVEL	117
BUILDING 'B' - SURFACE SPACES	10
TOTAL	360

LOT COVERAGE

PAVED SURFACE	2,365.5 sq. m.	21.6%
LANDSCAPE OPEN SPACE	5,742.2 sq. m.	52.4%
EX. BUILDING 'A'	829.3 sq. m.	7.6%
EX. ACCESSORY USE BUILDING	45.0 sq. m.	0.4%
PROPOSED BUILDING 'B'	1,974.0 sq. m.	18.0%
TOTAL	10,956.0 sq. m.	100.0%

DRAWING NOTES:

- PROPERTY LINE
- BUILDING SETBACK LINE
- OUTLINE OF TOWER
- LINE OF BALCONIES ABOVE
- LINE OF PARKING GARAGE BELOW
- RAMP TO U/G GARAGE WITH TRENCH DRAIN
- FIRE HYDRANT - EXISTING / PROPOSED
- EXISTING HIGH RISE APARTMENT BUILDING
- SIDEWALK, CONTINUOUS AND DEPRESSED @ DRIVEWAY
- DEPRESSED STREET CURB
- ASPHALT ROAD WITH CONCRETE BARRIER CURBS
- BICYCLE RACKS, SEE LANDSCAPE PLAN FOR TYPE
- SIAMESE CONNECTION
- ENTRANCE CANOPY WITH SUPPORT COLUMNS
- PRIVATE PATIO WITH 1.2m HT. PRIVACY FENCE
- INTAKE / EXHAUST SHAFT
- VISITOR PARKING SPACES
- GAS PRESSURE RELEASE STATION
- SOFT LANDSCAPING
- CONCRETE WALKWAY, WIDTH AS NOTED
- CONCRETE RETAINING WALL, RAILING AS REQUIRED
- EXISTING TREE TO REMAIN, PROTECT AS REQUIRED
- EXISTING TREE TO BE REMOVED
- CISTERN SEE CIVIL AND MECHANICAL FOR DETAILS
- EXISTING CITY SIDEWALK TO REMAIN
- TREE PROTECTION FENCE AS PER TOR
- 6.0 METRE WIDE FIRE ROUTE
- PROPOSED SERVICES, SEE CIVIL
- EXISTING UTILITY / LIGHT POLE
- SITE LIGHTING - SEE ELECTRICAL SITE PLAN
- PAINTED ISLAND
- RAISED PLANTERS AT AMENITY AREA, SEE LANDSCAPE
- CROSSWALK WITH DEPRESSED CURB AND TWSI
- ACCESSIBLE PARKING SPACES WITH 1.5m WIDE AISLE, DEPRESSED CURB, TWSI AND SIGNAGE
- RE-ALINE DRIVEWAY AND SIDEWALK
- EXISTING STREET PARKING TO REMAIN
- 2.1m HT. SOLID WOOD FENCE
- HYDRO TRANSFORMER & SWITCHGEAR EQUIPMENT
- PRIVACY HEDGE, SEE LANDSCAPE
- RAISED ACCESSIBLE PASSENGER LOADING AREA WITH TWSI
- TREE, SEE LANDSCAPE
- PROPOSED CORNER TRIANGLE
- EXISTING UTILITY KIOSK

PROPOSED - BUILDING "B"

BUILDING STATISTICS

GROUND FLOOR	704.0 sq. m.	7,578 sq. ft.
2nd & 3rd FLOOR	2 x 1,648.6 sq. m.	3,297.1 sq. m.
	2 x 17,745 sq. ft.	35,490 sq. ft.
4th FLOOR	590.9 sq. m.	6,360 sq. ft.
5th - 20th FLOOR	16 x 598.13 sq. m.	9,586.1 sq. m.
	16 x 6,449 sq. ft.	103,184 sq. ft.
21st FLOOR	561.0 sq. m.	6,039 sq. ft.
22nd FLOOR	574.4 sq. m.	6,183 sq. ft.
23rd FLOOR	557.2 sq. m.	5,998 sq. ft.
24th FLOOR	557.2 sq. m.	5,998 sq. ft.
25th FLOOR AMENITY / MECH. PENT.	0 sq. m.	000 sq. ft.
TOTAL AREA	16,428.0 sq. m.	176,830 sq. ft.
TOWER FOOTPRINT	743.2 sq. m.	8,000 sq. ft.

UNIT STATISTICS

1 BEDROOM UNIT	56
2 BEDROOM UNIT	131
TOTAL	187

CAR PARKING

187 UNITS	
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REQUIRED BY ZONING BY-LAW

RESIDENCE	- 0.5 PER UNIT (AFTER 12 UNITS)	88
VISITOR	- 0.1 PER UNIT (AFTER 12 UNITS)	18
TOTAL		106

PROVIDED

RESIDENCE	- 1.2 PER UNIT	228
VISITOR	- 0.1 PER UNIT	18
TOTAL		246

PARKING SPACE TYPE

STANDARD PARKING SPACE (2.80 x 5.20)	195
SMALL CAR SPACE (2.40 x 4.80)	44
PARALLEL PARKING SPACE (2.80 x 6.70)	3
BARRIER FREE SPACE TYPE A (3.40 x 5.20)	3
BARRIER FREE SPACE TYPE B (2.40 x 5.20)	1

BICYCLE PARKING

187 UNITS	
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REQUIRED

RESIDENCE	- 1.0 PER UNIT	187
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PROVIDED

P2 U/G PARKING LEVEL	60
P1 U/G PARKING LEVEL	124
EXTERIOR AT GRADE	6
TOTAL	190

AMENITY SPACE

GROUND FLOOR COMMUNAL INTERIOR =	355.0 sq. m.
GROUND FLOOR COMMUNAL EXTERIOR =	115.0 sq. m.
4th FLOOR COMMUNAL INTERIOR =	160.0 sq. m.
4th FLOOR COMMUNAL EXTERIOR =	500.0 sq. m.
25th FLOOR COMMUNAL INTERIOR =	230.0 sq. m.
25th FLOOR COMMUNAL TERRACE =	240.0 sq. m.
PRIVATE BALCONIES / TERRACE =	900.0 sq. m.
TOTAL =	2,500.0 sq. m.
TOTAL COMMUNAL =	1,600.0 sq. m.
REQUIRED - 6.0m² PER UNIT (187) =	1,122.0 sq. m.
REQUIRED COMMUNAL @ 50% =	561.0 sq. m.

REFUSE REQUIREMENT

GARBAGE	- 0.11 PER UNIT	20 YARDS
RECYCLING GMP	- 0.018 PER UNIT	4 YARDS
RECYCLING FIBER	- 0.038 PER UNIT	7 YARDS
COMPOST	- 240L PER 50 UNITS	4

- FIRE ROUTE SIGN, MAXIMUM SPACING 25 METRES
- ELECTRIC VEHICLE PARKING SPACE / CHARGING STATION
- 150mm BARRIER CURB
- RELOCATED STORM SEWER CATCH BASIN
- BARRIER CURB AND 1.8m WIDE SIDEWALK
- EXISTING LAWN TO BE RE-GRADES AS REQUIRED
- CONCRETE SURFACE AT LOADING AREA
- CONCRETE STAIR WITH HANDRAILS

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

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NOTATION SYMBOLS:

- INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
- INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- TITLE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

- REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
- FOR DOOR TYPES AND HARDWARE REQUIREMENTS REFER TO DOOR SCHEDULE ON A900 SERIES.
- ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF DRYWALL.
- ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- ALL EXTERIOR WALLS ARE TO BE TYPE 'W1' UNLESS NOTED OTHERWISE.
- ALL INTERIOR PARTITIONS ARE TO BE TYPE 'P1' UNLESS NOTED OTHERWISE.

ISSUED FOR ROUND 1 COMMENT RESPONSE	2025-04-08
CITY COMMENT RESPONSE CONSULTANT REVIEW	2025-03-14
ISSUED FOR SITE PLAN CONTROL APPLICATION	2024-10-24
ISSUED FOR OWNER / CONSULTANT REVIEW	2024-09-04
ISSUED FOR OWNER / CONSULTANT REVIEW	2024-07-04
ISSUED FOR OWNER / CONSULTANT REVIEW	2024-03-14
ISSUED FOR OPA & ZA ROUND 3 COMMENT	2023-06-05
ISSUED FOR OPA & ZA ROUND 2 COMMENT	2023-03-17
ISSUED FOR ZONING APPLICATION	2021-05-26

NO.	DESCRIPTION	DATE (DDMMYY)
1	ISSUED FOR ZONING APPLICATION	2021-05-26

REVISIONS:

ARCHITECT SEAL:	NORTH ARROW:
OTARIO ASSOCIATION OF ARCHITECTS	
RODERICK LAHEY LICENCE	
SEAL DATE: STAMP DATE	

CLIENT:

HOMESTEAD

Homestead Land Holdings Ltd.
80 Johnson Street, Kingston

ARCHITECT:

rla / architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
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PROJECT TITLE:

210 CLEARVIEW AVENUE

OTTAWA ONTARIO

SHEET TITLE:

SITE PLAN BLDG. 'B'

DRAWN: R.V. CHECKED: JS

SCALE: 1:250 SHEET No.

PROJECT No. 2117

SP-1