

FIRE DEPARTMENT CONNECTION

BUILDING ENTRANCE / EXIT

PRINCIPAL ENTRANCE (& TRAVEL EXIT)

EXIT AT REQUIRED TRAVEL PATH

FIRE HYDRANT

BOLLARD

MANHOLE / STORMWATER MANHOLE (SEE CIVIL)

TRANSFORMER (HYDR)

CATCH BASIN (SEE CIVIL)

GAS METER & PAD (SEE MECHANICAL)

LIGHT STANDARD (SEE ELECTRICAL)

EV CHARGE STATION (SEE ELECTRICAL)

BARRIER-FREE PARKING

VEHICULAR TRAFFIC DIRECTION

CURB


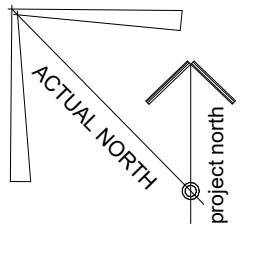

DEPRESSED CURB

LANDSCAPE PLANTING. SEE LANDSCAPE












TYPICAL BIKE RACK

TYPICAL PARKING

TYPICAL BIKE PARKING (TYPE A)

GROSS BUILDING AREA (1) 1270 m ² 13666.84 ft ² ('1') GROSS FLOOR AREA (2) 1079 m ² 11609.94 ft ² ('2') ('1' SEE GROSS BUILDING AREA NOTES BELOW)		<div>3622</div> <div>UPA Comments</div> <div><div>ONTARIO ASSOCIATION OF ARCHITECTS JOSIA F. DREESSEN LICENCE 54910 2025-04-17</div></div> <div><div>ACTUAL NORTH PROJECT NORTH</div></div>									
GENERAL NOTES:											
1. FOR PAVED SURFACES, GRADING, SITE SERVING, DRAINAGE EROSION AND SEDIMENT CONTROL, REFER TO CIVIL DRAWINGS.											
2. FOR PLANTING DETAILS, REFER TO LANDSCAPE DRAWINGS.											
1. GROSS BUILDING AREA: ('1') (ONTARIO BUILDING CODE DEFINITION) THE TOTAL AREA OF ALL FLOORS ABOVE GRADE MEASURED BETWEEN THE OUTSIDE SURFACES OF EXTERIOR WALLS.											
2. GROSS FLOOR AREA: ('2') (CITY OF OTTAWA ZONING BY-LAW): DEFINITION FOR THE PURPOSE OF DETERMINING PARKING REQUIREMENTS: GROSS LEASABLE FLOOR AREA MEANS THE TOTAL FLOOR AREA DESIGNED FOR TENANT OCCUPANCY AND EXCLUSIVE USE, MEASURED FROM THE INTERIORS OF OUTSIDE WALLS EXCLUDING FLOOR AREA OCCUPIED BY PARTY WALLS AND, EXCLUDING: 1. INTERIOR PARKING / LOADING (DRIVE THRU), 2. FLOOR AREA OCCUPIED BY SHARED MECHANICAL, SERVICE AND ELECTRICAL EQUIPMENT THAT SERVE THE BUILDING; (BY-LAW 2008-326) 3. COMMON HALLWAYS, CORRIDORS, STAIRWELLS, ELEVATOR SHAFTS AND OTHER VOIDS, STEPS AND LANDINGS; (BY-LAW 2008-326) 4. BICYCLE PARKING, MOTOR VEHICLE PARKING OR LOADING FACILITIES; COMMON LAUNDRY, STORAGE AND WASHROOM FACILITIES THAT SERVE THE BUILDING OR TENANTS; 5. COMMON STORAGE AREAS THAT ARE ACCESSORY TO THE PRINCIPAL USE OF THE BUILDING; (BY-LAW 2008-326) 6. COMMON AMENITY AREA AND PLAY AREAS ACCESSORY TO A PRINCIPLE USE ON THE LOT; AND (BY-LAW 2008-326) LIVING QUARTERS FOR A CARETAKER OF THE BUILDING.											
ZONING:											
ZONING DESIGNATIONS (PART 10): EXISTING ZONING: MC MIXED USE CENTRE H(45)											
PROVISIONS		REQUIRED	PROVIDED								
MINIMUM LOT WIDTH (m):		NO MIN.	IPRR								
MINIMUM LOT AREA (m ²):		NO MIN.	4625 M ²								
MINIMUM FRONT YARD SETBACK:		NO MIN.	24 M								
MINIMUM REAR YARD SETBACK:		NO MIN.	15.9 M								
MINIMUM INTERIOR SIDE YARD SETBACK:		NO MIN.	7.3 M								
MINIMUM CORNER SIDE YARD SETBACK:		NO MIN.	4.1 M								
MAXIMUM FLOOR SPACE INDEX		NO MAX.	0.24								
LANDSCAPING (SECTION 110): REQUIRED FRONT AND CORNER SIDE YARDS TO BE LANDSCAPED, EXCEPT FOR DRIVEWAYS CROSSING THE FRONT OR CORNER SIDE YARD LEADING TO PARKING AREA											
PARKING (HARDSCAPE) AREA PROVIDED		MIN. LANDSCAPE REQUIREMENT OF 15%									
PARKING AREA (HARDSCAPE) 2337 m ²		360.6 m ²									
LANDSCAPING		LANDSCAPE AREA PROVIDED 1354 m ²									
VEHICLE PARKING (SECTION 101):											
OFFICE (N59):		[2.4 Per 100 m ²]: = 1108m ² x 0.034									
MINIMUM REQUIRED:		26									
PARKING FOR THE PHYSICALLY DISABLED (PARKING BY-LAW 2003-330, SECTION 122)											
MINIMUM REQUIRED:		- No. 1(x TYPE 'A' 1'x TYPE 'B')									
NUMBER PROVIDED:		- No. 1(x TYPE 'A' 1'x TYPE 'B')									
('1') PARKING PROVIDED: PARKING BAY TYPE: No.											
PARK-5-2X4-1		1 SITE PARKING 37									
PARK-8F-5-2X3-4-TYPE-A-2		3 BARRIER FREE BAY TYPE A 1									
PARK-8F-5-2X2-6-TYPE-B		3 BARRIER FREE BAY TYPE B 1									
PARKING TOTAL PROVIDED:		39									
		(2 EV)									
BICYCLE PARKING (SECTION 111):											
MINIMUM REQUIRED (OFFICE):		[1 / 250m ²]: 1085 / 250 = 4									
NUMBER PROVIDED:		6									
LOADING ZONE (SECTION 113):											
MINIMUM REQUIRED:		1									
NUMBER PROVIDED:		1* [3.5M x 9M]									
CLIENT MINTO GROUP 200 180 KENT STREET, OTTAWA, ON, K1P 0B6 TEL: 613-404-4235											
CONSULTANTS STRUCTURAL CONSULTANT ENTUTIVE ENGINEERS TEL: 613-900-6219											
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ELECTRICAL CONSULTANT SMITH + ANDERSEN TEL: 613-491-0266											
CIVIL CONSULTANT ARCADIS TEL: 613-795-5610											
LANDSCAPE CONSULTANT JAMES B. LENNOX & ASSOCIATES INC. TEL: 613-722-5168											
<div><div>A GROUP OF ARCHITECTS</div><div>201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8 WWW.ARCHITECTSDCA.COM 613.725.2294</div></div> <div>PROJECT TITLE MINTO DESIGN CENTRE</div> <div>DRAWING TITLE SITE PLAN (SPA)</div> <div><table><tr><td>DATE 2025-01-17</td><td>DRAWN SCALE As indicated</td><td>JOB NO. 3622</td><td>DRAWING NO. A100</td></tr><tr><td colspan="2">REVIEWED Checker</td><td colspan="2"></td></tr></table></div> <div>ARCHITECTURAL</div>				DATE 2025-01-17	DRAWN SCALE As indicated	JOB NO. 3622	DRAWING NO. A100	REVIEWED Checker			
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REVIEWED Checker											



	RIS. 10'0" RISE RIVER. REFER TO POSITION. PAGES.
	REF. STANDARD RIM FROM A/R. /E/ CLEARDIRT BY PACE. SUEVE THROUGH FOUNDATION WALL. REFER TO MECHANICAL DRAWINGS. /A/ IN. TUBE COORDINATE WITH ELECTRICAL. REFER TO MECHANICAL. DOWNS AND ROUGHEN FLOURATION WALL/PERS.
	GAS. REFRIGERANT PIPING FROM CONDENSING UNIT FROM ROOF ABOVE. ENCLOSE PIPING. PROTECTIVE ENCLASURE. /NO RATIO SHUT. 52" IN OF GAS LINE. UP. REFER TO MECHANICAL.
	DRAIN. REFER TO MECHANICAL.
	DRAIN. TRY. 35% 105" AREA DRAIN C/ S SEDIMENT BUCKET. REFER TO MECHANICAL.
	FLOOR DRAIN. SEE MECHANICAL DRAWINGS.
	RD. ROOF DRAIN. REFER TO MECHANICAL.
	SUPPLY. SUMP AND RETURN DUCTS (V) FIRM SWAMPER. ROOF PENETRATION ABOVE. COORDINATE WITH MECHANICAL AND ELECTRICAL.
	LOAD BEARING. CLOUSE. SEE CODE PLAN.
	ELEVATOR SUMP. SEE MECHANICAL.
	JAN. JANITOR SCRUBBER SKI. SEE MECHANICAL. COORDINATE FINISHES. SEE MECHANICAL.

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SMITH + ANDERSEN
TEL: 613-691-9266

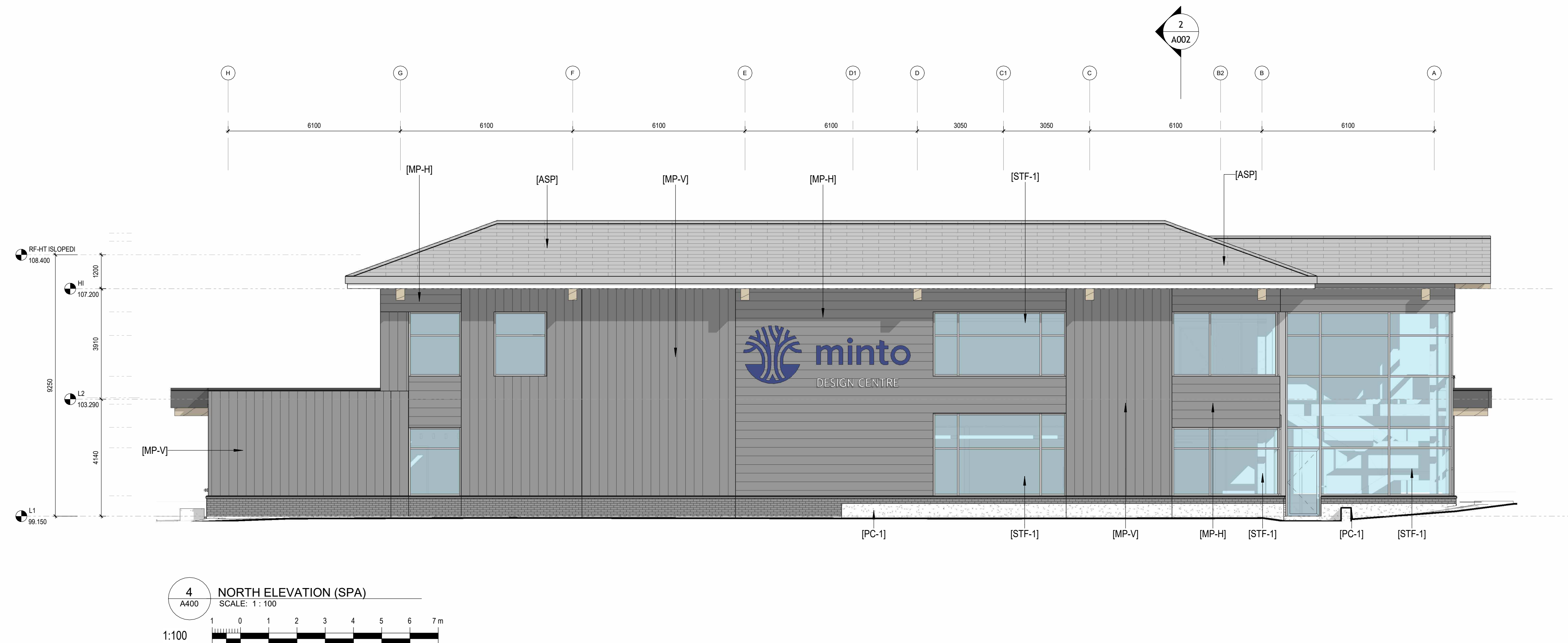
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TEL: 613-725-5169



PROJECT TITLE			
MINTO DESIGN CENTRE			
DRAWING TITLE			
ROOF PLAN (SPA)			
DATE 2025-01-17	DRAWN	JOB NO.	DRAWING NO.
SCALE As indicated	REVIEWED Checker	3622	A105
ARCHITECTURAL			



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[MP]	1. DO NOT SCALE DRAWINGS. ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS, PLEASE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.
[MP-H]	2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE, REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY.
[MP-V]	3. GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE, GENERAL CONTRACTOR TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.
[MP-WG]	4. ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE (2012) OR NATIONAL BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS.
[ASP]	5. DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.
[PFC]	
[PFM]	
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[CW00]	

NOTES:

BIRD SAFE: BIRD SAFE GLASS WILL BE USED IN ACCORDANCE WITH THE CITY'S BIRD SAFE DESIGN GUIDELINES

[illegible]

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PROJECT TITLE
MINTO DESIGN CENTRE

DRAWING TITLE
ELEVATIONS (SPA)

DATE 2025-01-17	DRAWN	JOB NO. 3622	DRAWING NO. A400
SCALE As indicated	REVIEWED Checker		

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