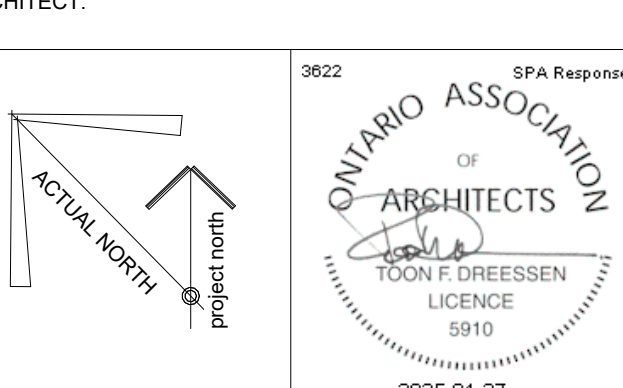
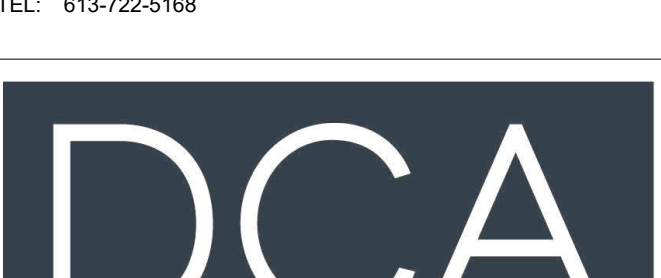


LEGEND	
	PROPOSED BUILDING LOCATION
	EXISTING NEIGHBOURING BUILDING
	LANDSCAPED AREA
	CONCRETE/ SIDEWALK
	FIRE ROUTE
	BARRIER-FREE PARKING CLEARANCE
	TACTILE WALKING SURFACE INDICATOR
	FIRE DEPARTMENT CONNECTION
	BUILDING ENTRANCE / EXIT
	PRINCIPAL ENTRANCE (8 TRAVEL PATH EXIT)
	EXIT AT REQUIRED TRAVEL PATH
	FIRE HYDRANT
	BOLLARD
	MANHOLE / STORMWATER MANHOLE (SEE CIVIL)
	TRANSFORMER (HYDRO)
	CATCH BASIN (SEE CIVIL)
	GAS METER & PAD (SEE MECHANICAL)
	LIGHT STANDARD (SEE ELECTRICAL)
	EV CHARGE STATION (SEE ELECTRICAL)
	BARRIER-FREE PARKING
	VEHICULAR TRAFFIC DIRECTION
	CURB
	DEPRESSED CURB
	LANDSCAPE PLANTING. SEE LANDSCAPE
	TYPICAL BIKE RACK
	TYPICAL PARKING
	TYPICAL BF PARKING (TYPE A)

GENERAL SITE PLAN NOTES:		GENERAL NOTES									
TOPOGRAPHICAL INFORMATION: PART OF BLOCK 1 REGISTERED PLAN 4M-1563 GEOGRAPHIC TOWNSHIP OF MARCH CITY OF OTTAWA SURVEY BY: STANTEC GEOMATICS LTD. BY LAW NUMBER: 2008-250 SCHEDULE 1/1A AREA: AREA C		1. DO NOT SCALE DRAWINGS: ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS, FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY. 2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE, REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY. 3. GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE: GENERAL CONTRACTOR TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT. 4. ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE (2012) OR NATIONAL BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS 5. DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.									
SITE AND BUILDING DATA: NEW SITE SUB-DIVISION AREA 4,824 m ²		COPYRIGHT									
BUILDING HEIGHT: MINIMUM HEIGHT: N/A MAXIMUM HEIGHT: 45M BUILDING HEIGHT PROVIDED: 9.25M		THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS PROTECTED BY COPYRIGHT AND IS THE SOLE PROPERTY OF ARCHITECTS DCA INC. COPIES, INCLUDING ELECTRONIC COPIES MAY ONLY BE USED FOR THE PURPOSES INTENDED, FOR THE SINGLE PROJECT FOR WHICH THEY ARE ISSUED AND MAY NOT BE OFFERED FOR SALE OR TRANSFER WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT.									
AREAS: GROSS BUILDING AREA (1) 1270 m ² 13668.84 ft ² (*) GROSS FLOOR AREA (2) 1079 m ² 11609.94 ft ² (*) (*) SEE GROSS BUILDING AREA NOTES BELOW											
GENERAL NOTES:		ISSUE RECORD									
1. FOR PAVED SURFACES, GRADING, SITE SERVING, DRAINAGE EROSION AND SEDIMENT CONTROL, REFER TO CIVIL DRAWINGS.		NO. DESCRIPTION DATE									
2. FOR PLANTING DETAILS, REFER TO LANDSCAPE DRAWINGS.		1 SITE PLAN APPLICATION 2024-10-15									
3. GROSS BUILDING AREA (1) (ONTARIO BUILDING CODE DEFINITION): THE TOTAL AREA OF ALL FLOORS ABOVE GRADE MEASURED BETWEEN THE OUTSIDE SURFACES OF EXTERIOR WALLS.		2 SITE PLAN APPLICATION UPDATE 2025-01-27									
4. GROSS FLOOR AREA (2) (CITY OF OTTAWA ZONING BY-LAW): DEFINITION FOR THE PURPOSE OF DETERMINING PARKING REQUIREMENTS: GROSS LEASABLE FLOOR AREA MEANS THE TOTAL FLOOR AREA DESIGNED FOR TENANT OCCUPANCY AND EXCLUSIVE USE, MEASURED FROM THE INTERIORS OF OUTSIDE WALLS EXCLUDING FLOOR AREA OCCUPIED BY PARTY WALLS AND: EXCLUDING: 1. INTERIOR PARKING / LOADING (DRIVE THRU). 2. FLOOR AREA OCCUPIED BY SHARED MECHANICAL, SERVICE AND ELECTRICAL EQUIPMENT THAT SERVE THE BUILDING; (BY-LAW 2008-326) 3. COMMON HALLWAYS, CORRIDORS, STAIRWELLS, ELEVATOR SHAFTS AND OTHER VOIDS; STEPS AND LANDINGS; (BY-LAW 2008-326) 4. BICYCLE PARKING, MOTOR VEHICLE PARKING OR LOADING FACILITIES, COMMON LAUNDRY, STORAGE AND WASHROOM FACILITIES THAT SERVE THE BUILDING OR TENANTS. 5. COMMON STORAGE AREAS THAT ARE ACCESSORY TO THE PRINCIPAL USE OF THE BUILDING; (BY-LAW 2008-326) 6. COMMON AMENITY AREA AND PLAY AREAS ACCESSORY TO A PRINCIPLE USE ON THE LOT, AND (BY-LAW 2008-326) LIVING QUARTERS FOR A CARETAKER OF THE BUILDING.											
ZONING: ZONING DESIGNATIONS (PART 10): EXISTING ZONING: MC MIXED USE CENTRE H(45)											
PROVISIONS		REQUIRED PROVIDED									
MINIMUM LOT WIDTH (m): NO MIN. IRR											
MINIMUM LOT AREA (m ²): NO MIN. 4625 M ²											
MINIMUM FRONT YARD SETBACK: NO MIN. 24 M											
MINIMUM REAR YARD SETBACK: NO MIN. 15.9 M											
MINIMUM INTERIOR SIDE YARD SETBACK: NO MIN. 7.2 M											
MINIMUM CORNER SIDE YARD SETBACK: NO MIN. 4.1 M											
MAXIMUM FLOOR SPACE INDEX: NO MAX. 0.24											
LANDSCAPING (SECTION 110): REQUIRED FRONT AND CORNER SIDE YARDS TO BE LANDSCAPED, EXCEPT FOR DRIVEWAYS CROSSING THE FRONT OR CORNER SIDE YARD LEADING TO PARKING AREA											
<table><tr><td>PARKING AREA (HARDSCAPE)</td><td>2405 m²</td><td>MIN. LANDSCAPE PROVIDED</td><td>360.7 m²</td></tr><tr><td>LANDSCAPING</td><td></td><td>LANDSCAPE AREA PROVIDED</td><td>1224 m²</td></tr></table>		PARKING AREA (HARDSCAPE)	2405 m ²	MIN. LANDSCAPE PROVIDED	360.7 m ²	LANDSCAPING		LANDSCAPE AREA PROVIDED	1224 m ²		
PARKING AREA (HARDSCAPE)	2405 m ²	MIN. LANDSCAPE PROVIDED	360.7 m ²								
LANDSCAPING		LANDSCAPE AREA PROVIDED	1224 m ²								
VEHICLE PARKING (SECTION 101): OFFICE (N59): [2.4 Per 100 m ²]: = 1126m ² x 0.034 MINIMUM REQUIRED: 28 PARKING FOR THE PHYSICALLY DISABLED (PARKING BYLAW 2003-530, SECTION 122): MINIMUM REQUIRED: - No. 1x TYPE 'A' 1x TYPE 'B' NUMBER PROVIDED: - No. 1x TYPE 'A' 1x TYPE 'B'											
(*) PARKING PROVIDED: PARKING BAY TYPE: PARK-5-2X2-6 1 SITE PARKING No. 37 PARK-BF-5-2X3-4-TYPE-A 2 BARRIER FREE BAY TYPE A 1 PARK-BF-5-2X2-6-TYPE-B 3 BARRIER FREE BAY TYPE B 1 PARKING TOTAL PROVIDED: 39 (2 EV)											
BICYCLE PARKING (SECTION 111): MINIMUM REQUIRED (OFFICE): [1 / 250m ²]: 1085 / 250 = 4 NUMBER PROVIDED: 6											
LOADING ZONE (SECTION 113): MINIMUM REQUIRED: 1 NUMBER PROVIDED: 1* [3.5M x 9M]											
		CLIENT									
		MINTO GROUP 200 180 KENT STREET, OTTAWA, ON, K1P 0B6 TEL: 613-404-4235									
		CONSULTANTS									
		STRUCTURAL CONSULTANT ENTUITIVE ENGINEERS TEL: 613-500-6219									
		MECHANICAL CONSULTANT SMITH + ANDERSEN TEL: 613-691-0266									
		ELECTRICAL CONSULTANT SMITH + ANDERSEN TEL: 613-691-0266									
		CIVIL CONSULTANT ARCADIS TEL: 613-795-5610									
		LANDSCAPE CONSULTANT JAMES B. LENNOX & ASSOCIATES INC. TEL: 613-722-9168									
											
		A GROUP OF ARCHITECTS 201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3S8 WWW.ARCHITECTSDCA.COM 613-725-2294									
		PROJECT TITLE									
		MINTO DESIGN CENTRE									
		DRAWING TITLE									
		SITE PLAN (SPA)									
		DATE 2025-01-17									
		DRAWN									
		JOB NO. 3622									
		DRAWING NO. A100									
		SCALE As indicated									
		REVIEWED Checker									
		ARCHITECTURAL									

[illegible]

ROOF AREAS		
Level	Material: Name	Material: Area
	RF-ASPH-SHINGLE	54 m²
	RF-ASPH-SHINGLE	67 m²
	RF-ASPH-SHINGLE	526 m²
		647 m²
L2	RF-INS-TAPERED	4 m²
L2	RF-INS-TAPERED	140 m²
L2	RF-INS-TAPERED	223 m²
		366 m²
H1	RF-INS-TAPERED	268 m²
		268 m²

CLIENT
MINTO GROUP
200 180 KENT STREET, OTTAWA, ON, K1P 0B6
TEL: 613-404-4235

CONSULTANTS
STRUCTURAL CONSULTANT
ENTUITIVE ENGINEERS
TEL: 613-900-6219

MECHANICAL CONSULTANT
SMITH + ANDERSEN
TEL: 613-691-0266

ELECTRICAL CONSULTANT
SMITH + ANDERSEN
TEL: 613-691-0266

CIVIL CONSULTANT
ARCADIS
TEL: 613-795-5610

LANDSCAPE CONSULTANT
JAMES B. LENNOX & ASSOCIATES INC.
TEL: 613-722-5168

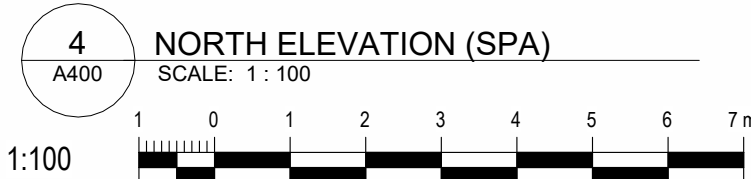
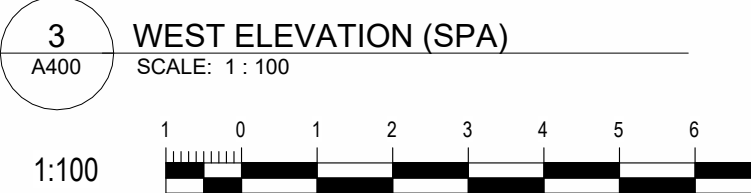
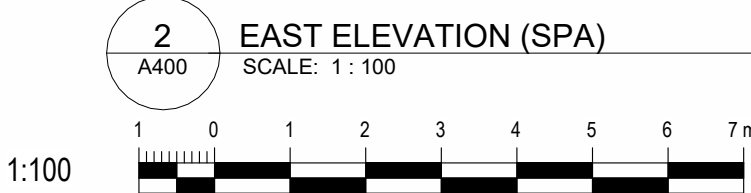
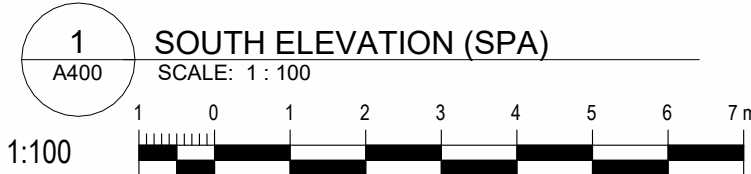
DCA
A GROUP OF ARCHITECTS
201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8
WWW.ARCHITECTSDCA.COM 613.725.2294

PROJECT TITLE
MINTO DESIGN CENTRE

DRAWING TITLE
ROOF PLAN (SPA)

DATE 2025-01-17	DRAWN	JOB NO. 3622	DRAWING NO. A105
SCALE As indicated	REVIEWED Checker		

ARCHITECTURAL

[illegible]

CLIENT
MINUTO GROUP
200 100 KENT STREET, OTTAWA, ON, K1P 0B6
TEL: 613-404-4235

CONSULTANTS
STRUCTURAL CONSULTANT
ENTENTIVE ENGINEERS
TEL: 613-900-6219

MECHANICAL CONSULTANT
SMITH + ANDERSEN
TEL: 613-691-0266

ELECTRICAL CONSULTANT
SMITH + ANDERSEN
TEL: 613-691-0266

CIVIL CONSULTANT
PARCADO
TEL: 613-795-5610

LANDSCAPE CONSULTANT
JAMES B. LENOX & ASSOCIATES INC.
TEL: 613-727-2168



PROJECT TITLE			
MINTO DESIGN CENTRE			
DRAWING TITLE			
ELEVATIONS (SPA)			
DATE	DRAWN	JOB NO.	DRAWING NO.
2025-01-17			
SCALE	REVIEWED	3622	A400
As indicated	Checker		

ARCHITECTURAL