

2 SITE KEYPLAN - (SPA)  
SCALE: 1:1000



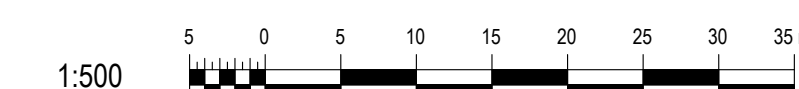
1 SITE PLAN - (SPA)  
SCALE: 1:250



4 2ND - GROSS FLOOR AREA (2) - (SPA)  
SCALE: 1:500



3 GF - GROSS FLOOR AREA (2) - (SPA)  
SCALE: 1:500



LEGEND	
	PROPOSED BUILDING LOCATION
	EXISTING NEIGHBOURING BUILDING
	LANDSCAPED AREA
	CONCRETE/ SIDEWALK
	FIRE ROUTE
	BARRIER-FREE PARKING CLEARANCE
	TACTILE WALKING SURFACE INDICATOR

	FIRE DEPARTMENT CONNECTION
	BUILDING ENTRANCE / EXIT
	PRINCIPAL ENTRANCE (8 TRAVEL PATH EXIT)
	EXIT AT REQUIRED TRAVEL PATH
	FIRE HYDRANT
	BOLLARD
	MANHOLE / STORMWATER MANHOLE (SEE CIVIL)
	TRANSFORMER (HYDRO)
	CATCH BASIN (SEE CIVIL)
	GAS METER & PAD (SEE MECHANICAL)
	LIGHT STANDARD (SEE ELECTRICAL)
	EV CHARGE STATION (SEE ELECTRICAL)
	BARRIER-FREE PARKING
	VEHICULAR TRAFFIC DIRECTION
	CURB
	DEPRESSED CURB
	LANDSCAPE PLANTING. SEE LANDSCAPE
	TYPICAL BIKE RACK
	TYPICAL PARKING
	TYPICAL BF PARKING (TYPE A)

GENERAL SITE PLAN NOTES:	
<b>TOPOGRAPHICAL INFORMATION:</b> PART OF BLOCK 1 REGISTERED PLAN AM-1563 GEOGRAPHIC TOWNSHIP OF MARCH CITY OF OTTAWA SURVEY BY: STANTEC GEOMATICS LTD. BY LAW NUMBER: 2008-250 SCHEDULE 1/1A AREA: AREA C	
<b>SITE AND BUILDING DATA:</b> NEW SITE SUB-DIVISION AREA: 4,824 m <sup>2</sup>	
<b>BUILDING HEIGHT:</b> MINIMUM HEIGHT: N/A MAXIMUM HEIGHT: 45M BUILDING HEIGHT PROVIDED: 9.25M	
<b>AREAS:</b> GROSS BUILDING AREA (1) 1270 m <sup>2</sup> 13668.84 ft <sup>2</sup> GROSS FLOOR AREA (2) 1079 m <sup>2</sup> 11609.94 ft <sup>2</sup> (*) SEE GROSS BUILDING AREA NOTES BELOW	

GENERAL NOTES:	
1. FOR PAVED SURFACES, GRADING, SITE SERVING, DRAINAGE EROSION AND SEDIMENT CONTROL, REFER TO CIVIL DRAWINGS.	
2. FOR PLANTING DETAILS, REFER TO LANDSCAPE DRAWINGS.	
1. GROSS BUILDING AREA: (1) (ONTARIO BUILDING CODE DEFINITION): THE TOTAL AREA OF ALL FLOORS ABOVE GRADE MEASURED BETWEEN THE OUTSIDE SURFACES OF EXTERIOR WALLS.	
2. GROSS FLOOR AREA: (2) (CITY OF OTTAWA ZONING BYLAW): DEFINITION FOR THE PURPOSE OF DETERMINING PARKING REQUIREMENTS: GROSS LEASABLE FLOOR AREA MEANS THE TOTAL FLOOR AREA DESIGNED FOR TENANT OCCUPANCY AND EXCLUSIVE USE, MEASURED FROM THE INTERIORS OF OUTSIDE WALLS EXCLUDING FLOOR AREA OCCUPIED BY PARTY WALLS AND, EXCLUDING: 1. INTERIOR PARKING / LOADING (DRIVE THRU). 2. FLOOR AREA OCCUPIED BY SHARED MECHANICAL, SERVICE AND ELECTRICAL EQUIPMENT THAT SERVE THE BUILDING; (BY-LAW 2008-326) 3. COMMON HALLWAYS, CORRIDORS, STAIRWELLS, ELEVATOR SHAFTS AND OTHER VOIDS; STEPS AND LANDINGS; (BY-LAW 2008-326) 4. BICYCLE PARKING, MOTOR VEHICLE PARKING OR LOADING FACILITIES, COMMON LAUNDRY, STORAGE AND WASHROOM FACILITIES THAT SERVE THE BUILDING OR TENANTS. 5. COMMON STORAGE AREAS THAT ARE ACCESSORY TO THE PRINCIPAL USE OF THE BUILDING; (BY-LAW 2008-326) 6. COMMON AMENITY AREA AND PLAY AREAS ACCESSORY TO A PRINCIPLE USE ON THE LOT, AND (BY-LAW 2008-326) LIVING QUARTERS FOR A CARETAKER OF THE BUILDING.	
<b>ZONING:</b> ZONING DESIGNATIONS (PART 10): EXISTING ZONING: MC MIXED USE CENTRE H(45)	

PROVISIONS	REQUIRED	PROVIDED
MINIMUM LOT WIDTH (m):	NO MIN.	IRR
MINIMUM LOT AREA (m <sup>2</sup> ):	NO MIN.	4625 M <sup>2</sup>
MINIMUM FRONT YARD SETBACK:	NO MIN.	24 M
MINIMUM REAR YARD SETBACK:	NO MIN.	15.9 M
MINIMUM INTERIOR SIDE YARD SETBACK:	NO MIN.	7.2 M
MINIMUM CORNER SIDE YARD SETBACK:	NO MIN.	4.1 M
MAXIMUM FLOOR SPACE INDEX	NO MAX.	0.24
<b>LANDSCAPING (SECTION 110):</b> REQUIRED FRONT AND CORNER SIDE YARDS TO BE LANDSCAPED, EXCEPT FOR DRIVEWAYS CROSSING THE FRONT OR CORNER SIDE YARD LEADING TO PARKING AREA		
PARKING AREA (HARDSCAPE)	PARKING HARDSCAPE AREA PROVIDED: 2396 m <sup>2</sup>	MIN. LANDSCAPE REQUIREMENT OF 1%: 359.3 m <sup>2</sup>
LANDSCAPING	LANDSCAPE AREA PROVIDED: 1328 m <sup>2</sup>	

<b>VEHICLE PARKING (SECTION 101):</b> OFFICE (N59): [2.4 Per 100 m <sup>2</sup> ]: = 1126m <sup>2</sup> x 0.034 MINIMUM REQUIRED: 28 PARKING FOR THE PHYSICALLY DISABLED (PARKING BYLAW 2003-530, SECTION 122): MINIMUM REQUIRED: - No. [1x TYPE 'A' 1x TYPE 'B'] NUMBER PROVIDED: - No. [1x TYPE 'A' 1x TYPE 'B']		
(*) PARKING PROVIDED: PARKING BAY TYPE: No. PARK-5-2X2-6 1. SITE PARKING 37 PARK-BF-5-2X3-4-TYPE-A 2. BARRIER FREE BAY TYPE A 1 PARK-BF-5-2X2-6-TYPE-B 3. BARRIER FREE BAY TYPE B 1 PARKING TOTAL PROVIDED: 39 (2 EV)		

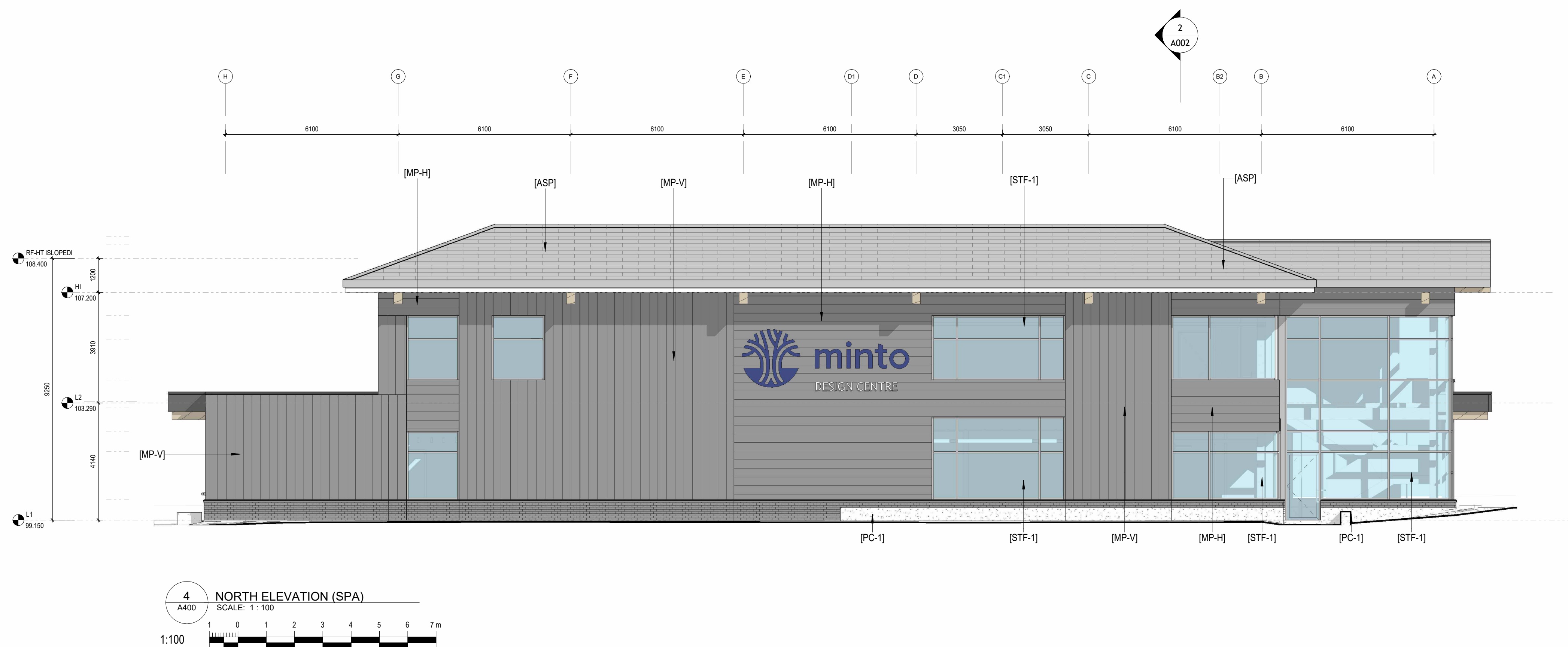
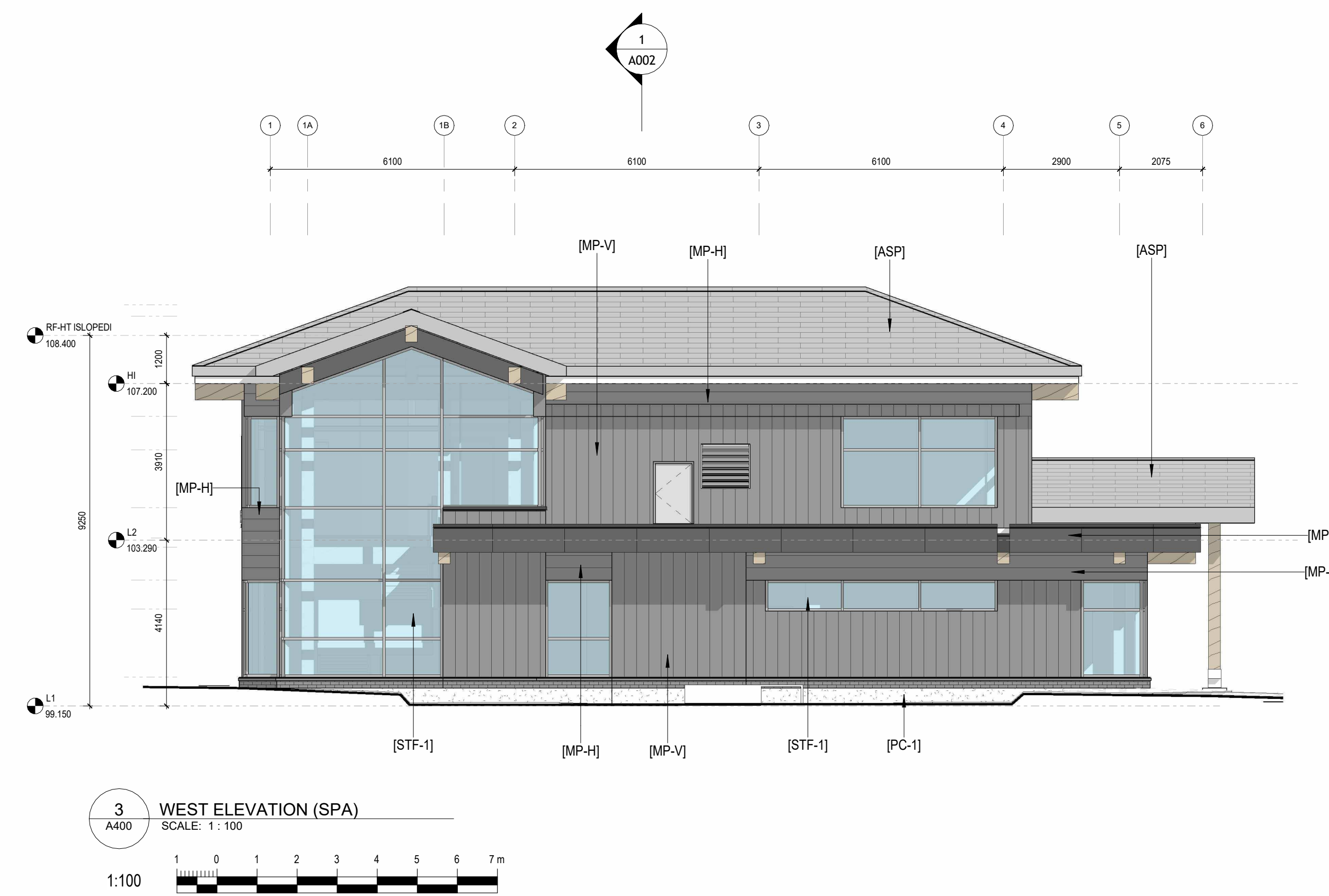
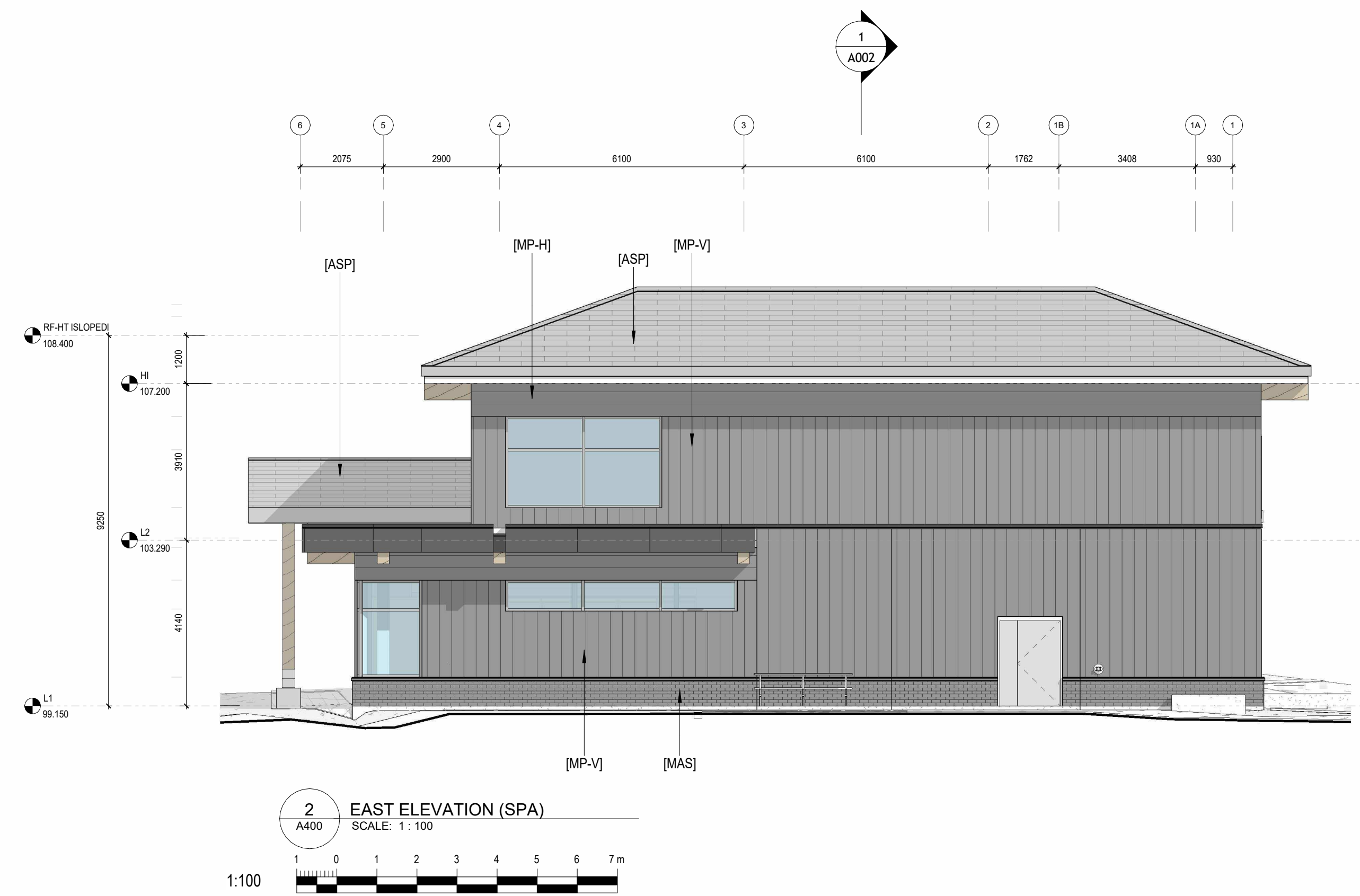
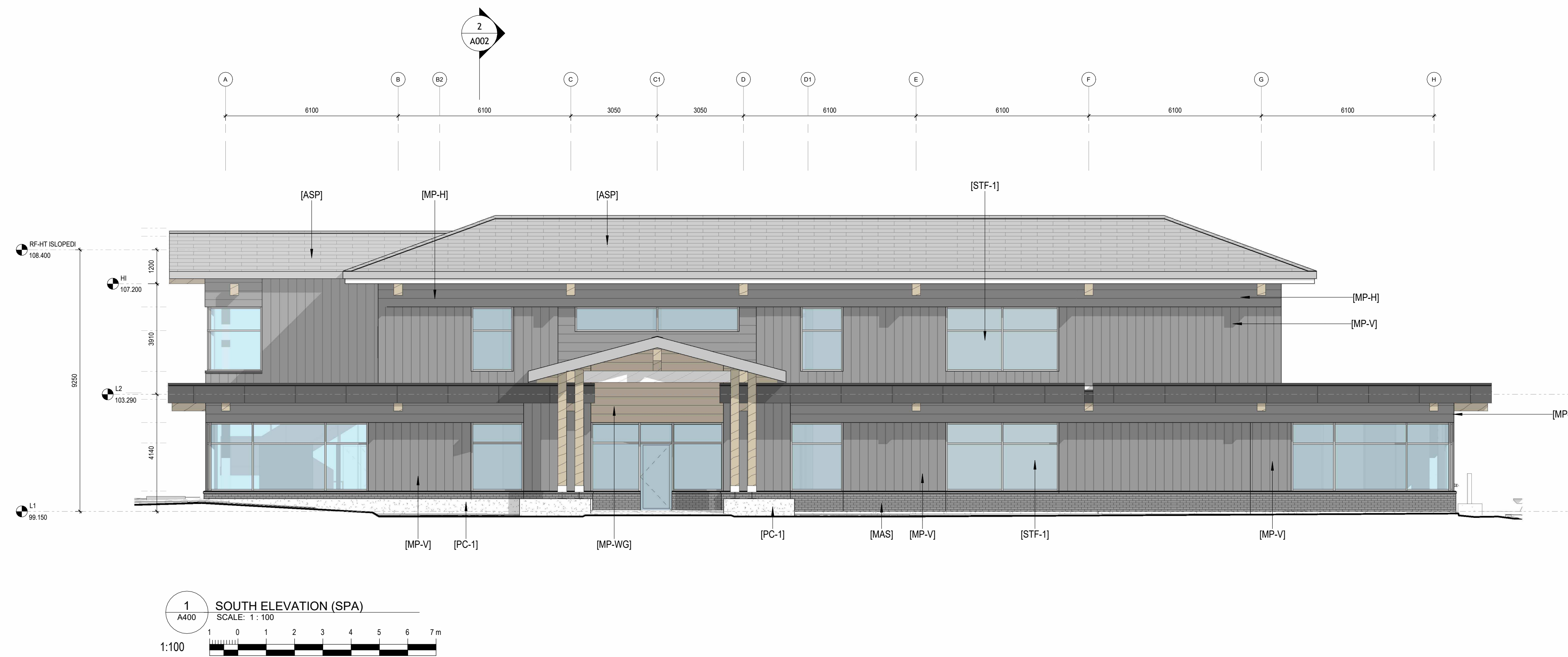
<b>BICYCLE PARKING (SECTION 111):</b> MINIMUM REQUIRED (OFFICE): [1 / 250m <sup>2</sup> ]: 1085 / 250 = 4 NUMBER PROVIDED: 6		
<b>LOADING ZONE (SECTION 113):</b> MINIMUM REQUIRED: 1* [3.5M x 9M] NUMBER PROVIDED: 1		

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PROJECT TITLE MINTO DESIGN CENTRE			
DRAWING TITLE SITE PLAN (SPA)			
DATE 2025-01-17	DRAWN SCALE As indicated	JOB NO. 3622	DRAWING NO. A100
ARCHITECTURAL			





ELEVATION LEGEND:	
[MP]	METAL PANEL. SEE SPECIFICATIONS.
[MP-H]	HORIZONTAL METAL SIDING.
[MP-V]	VERTICAL METAL SIDING.
[MP-WG]	HORIZONTAL METAL SIDING (WOOD GRAIN).
[ASP]	ASPHALT SHINGLE.
[PCF]	PREFINISHED METAL CAP.
[PFM]	PREFINISHED METAL.
[MAS]	MASONRY VENEER.
[PC-1]	PRECAST CONCRETE. SEE STRUCTURAL.
[STF-1]	CURTAINWALL STOREFRONT GLAZING.
[CW000]	CURTAIN WALL WINDOW. SEE SCHEDULE.

NOTES

**GENERAL NOTES**

1. DO NOT SCALE DRAWINGS: ONLY FIGURED DIMENSIONS ARE TO BE USED, WHEREABOUT EXISTS. PLEASE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.

2. THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY DIMENSIONS ON SITE, REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

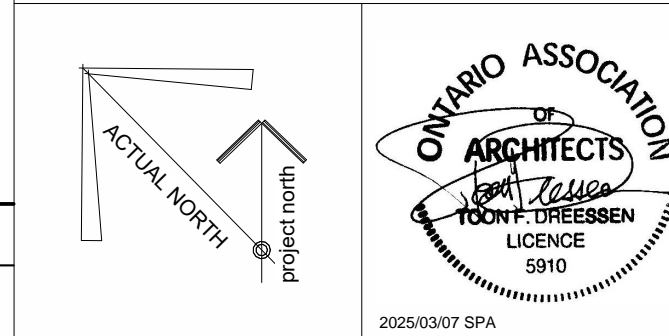
3. GENERAL CONTRACTOR TO TAKE INTO ACCOUNT THE FOLLOWING TO AVOID COLLISIONS AND TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.

4. WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE AND NATIONAL BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS.

5. DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.

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PROJECT TITLE  
MINTO DESIGN CENTRE

DRAWING TITLE  
ELEVATIONS (SPA)

DATE 2025-01-17	DRAWN	JOB NO.  3622	DRAWING NO.  A400
SCALE As indicated	REVIEWED Checker		

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