

500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

18.050 P01

| SPA DRAWINGS |                                      |
|--------------|--------------------------------------|
| SHEET NUMBER | SHEET NAME                           |
| SPA000       | COVER SHEET                          |
| SPA001       | SURVEY                               |
| SPA004       | CONTEXT PLAN                         |
| SPA005A      | MASTER PLAN / CONCEPT PLAN           |
| SPA005B      | SITE PLAN / ROOF PLAN - OVERALL SITE |
| SPA005C      | SITE PLAN / ROOF PLAN                |
| SPA101       | UNDERGROUND LEVEL 02                 |
| SPA102       | UNDERGROUND LEVEL 01                 |
| SPA151       | FLOOR 01                             |
| SPA152       | FLOOR 02                             |
| SPA153       | FLOOR 03 - 05                        |
| SPA154       | FLOOR 06                             |
| SPA155       | FLOOR 07                             |
| SPA156       | FLOOR 08 - 28                        |
| SPA157       | MPH                                  |
| SPA301       | ELEVATIONS                           |
| SPA302       | ELEVATIONS                           |
| SPA401       | SECTION A - A                        |
| SPA801       | 3D PERSPECTIVES                      |
| SPA802       | 3D PERSPECTIVES                      |
| SPA803       | 3D PERSPECTIVE                       |
| SPA804       | 3D PERSPECTIVES                      |
| SPA805       | 3D PERSPECTIVES                      |
| SPA806       | 3D PERSPECTIVES                      |
| SPA807       | 3D PERSPECTIVES                      |
| SPA808       | 3D PERSPECTIVES                      |
| SPA809       | 3D PERSPECTIVES - PARKING RAMP       |
| SPA810       | 3D PERSPECTIVES - PARKING RAMP       |



TURNER  
FLEISCHER  
67 Lesmill Rd  
Toronto, ON, M3B 2T8  
Contact Name: Anita Yu  
Phone Number: 416-425-2222 ext 235  
Email: anita.yu@turnerfleischer.com

ISSUED FOR SITE PLAN APPROVAL #2  
APRIL 04, 2025



This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Contractor" must assume full responsibility and bear costs for any corrections or damages resulting from the work.

This site plan prepared by Turner Fleischer is based on a legal survey showing the boundaries of the lands together with the current location of any existing buildings, features or encroachments prepared by Annis, O'Sullivan, Vollebakk Ltd.

TOPOGRAPHIC PLAN OF SURVEY OF

LOT 1  
REGISTERED PLAN 747  
CITY OF OTTAWA  
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 400

Metric  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN  
ARE IN METRES AND CAN BE CONVERTED TO FEET BY  
DIVIDING BY 0.3048.

Surveyor's Certificate

I CERTIFY THAT:  
1. This survey and plan are correct and in accordance with the Surveys  
Act and the Surveyors Act and the regulations made under them.  
2. The survey was completed on the 19th day of May, 2023.

May 23, 2023  
Date  
V. Andrew Rempel  
Ontario Land Surveyor

Notes & Legend

| Denotes |   |  |
|---------|---|--|
| —       | Survey Monument Planted                               |  |
| —       | Survey Monument Found                                 |  |
| SIB     | Standard Iron Bar                                     |  |
| SSB     | Short Standard Iron Bar                               |  |
| (WIT)   | Witness   |  |
| Meas.   | Measured  |  |
| (AOG)   | Annis, O'Sullivan, Vollebakk Ltd.                     |  |
| (P)     | Registered Plan 747                                   |  |
| (P1)    | Plan 5R-3157  |  |
| (P2)    | Plan 4R-17039   |  |
| (P3)    | (AOG) Plan dated June 14, 1995<br>(ADV Ref. O-180-95) |  |
| (P4)    | Plan 4R-12270   |  |
| (P5)    | Plan 5R-5421  |  |
| —       | Fire Hydrant  |  |
| —       | Water Valve   |  |
| —       | Water Stand Post                                      |  |
| —       | Maintenance Hole (Storm Sewer)                        |  |
| —       | Maintenance Hole (Sanitary)                           |  |
| —       | Maintenance Hole (Bell Telephone)                     |  |
| —       | Maintenance Hole (Hydro)                              |  |
| —       | Catch Basin   |  |
| —       | Catch Basin Inlet                                     |  |
| —       | Monitoring Well                                       |  |
| —       | Handhole  |  |
| —       | Cable Terminal Box                                    |  |
| —       | Sign  |  |
| —       | Chain Link Fence                                      |  |
| —       | Board Fence   |  |
| —       | Gates   |  |
| —       | Metall Pole   |  |
| —       | Utility Pole  |  |
| —       | Anchor  |  |
| —       | Light Standard  |  |
| —       | Deciduous Tree  |  |
| —       | Coniferous Tree                                       |  |
| —       | Shrub   |  |
| —       | Diameter  |  |
| —       | Location of Elevations                                |  |
| —       | Top of Concrete Curb Elevation                        |  |
| —       | Centreline  |  |
| —       | Property Line   |  |
| (x)     | Multiple trees  |  |

SITE AREA = 34,661 m<sup>2</sup>



Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 01915880105 and 019158434791, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For comparison purposes, bearings shown on Plans (P1), (P2) & (P3) are astronomic bearings.

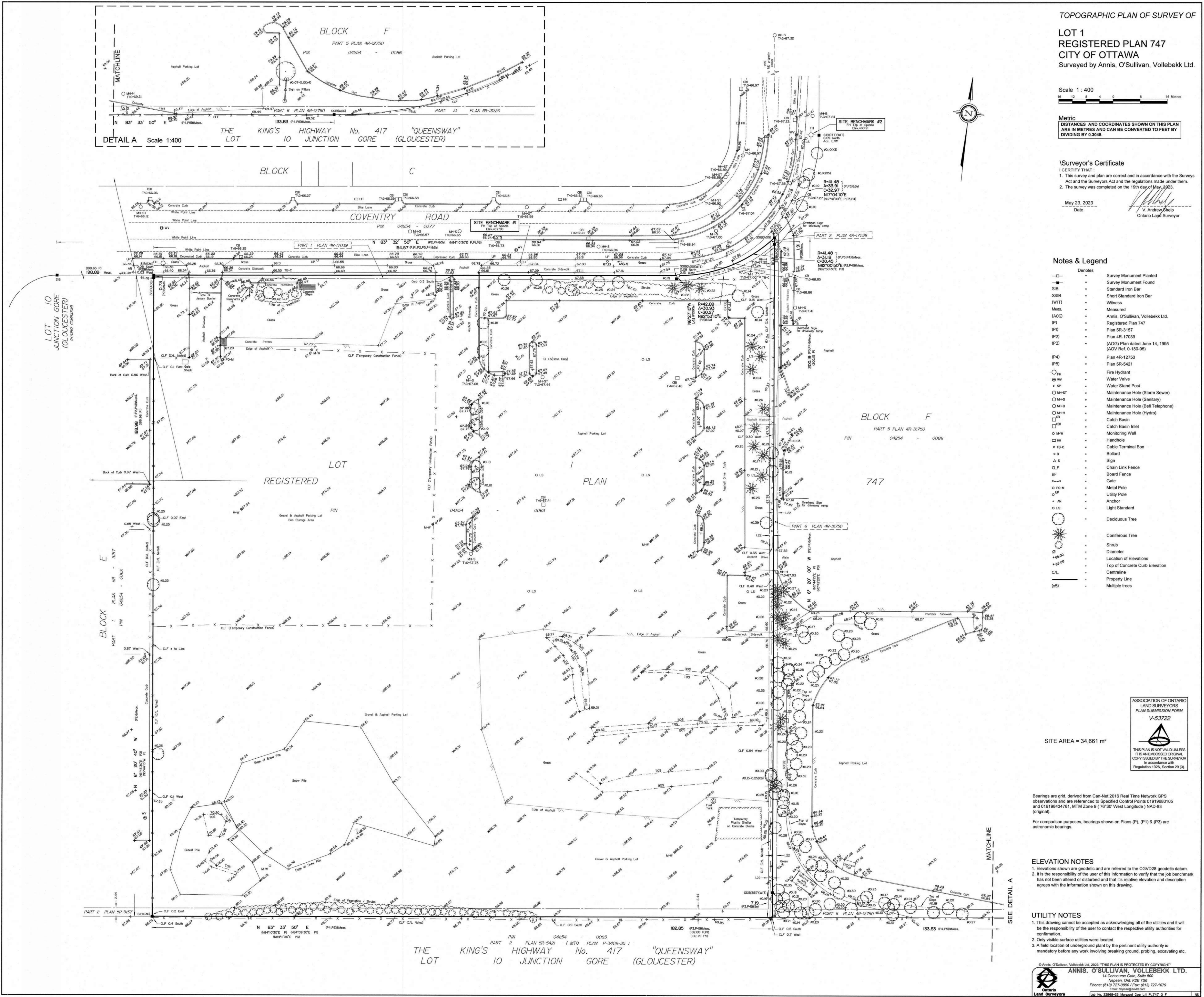
ELEVATION NOTES

1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.  
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.  
2. Only visible surface utilities were located.  
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

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Email: info@anniso.com  
Ontario Land Surveyors  
Reg. No. 23868-25 Meas. Co. No. 14747-9 F



Morguard

PROJECT  
500 COVENTRY ROAD  
500 COVENTRY ROAD, OTTAWA, ON.

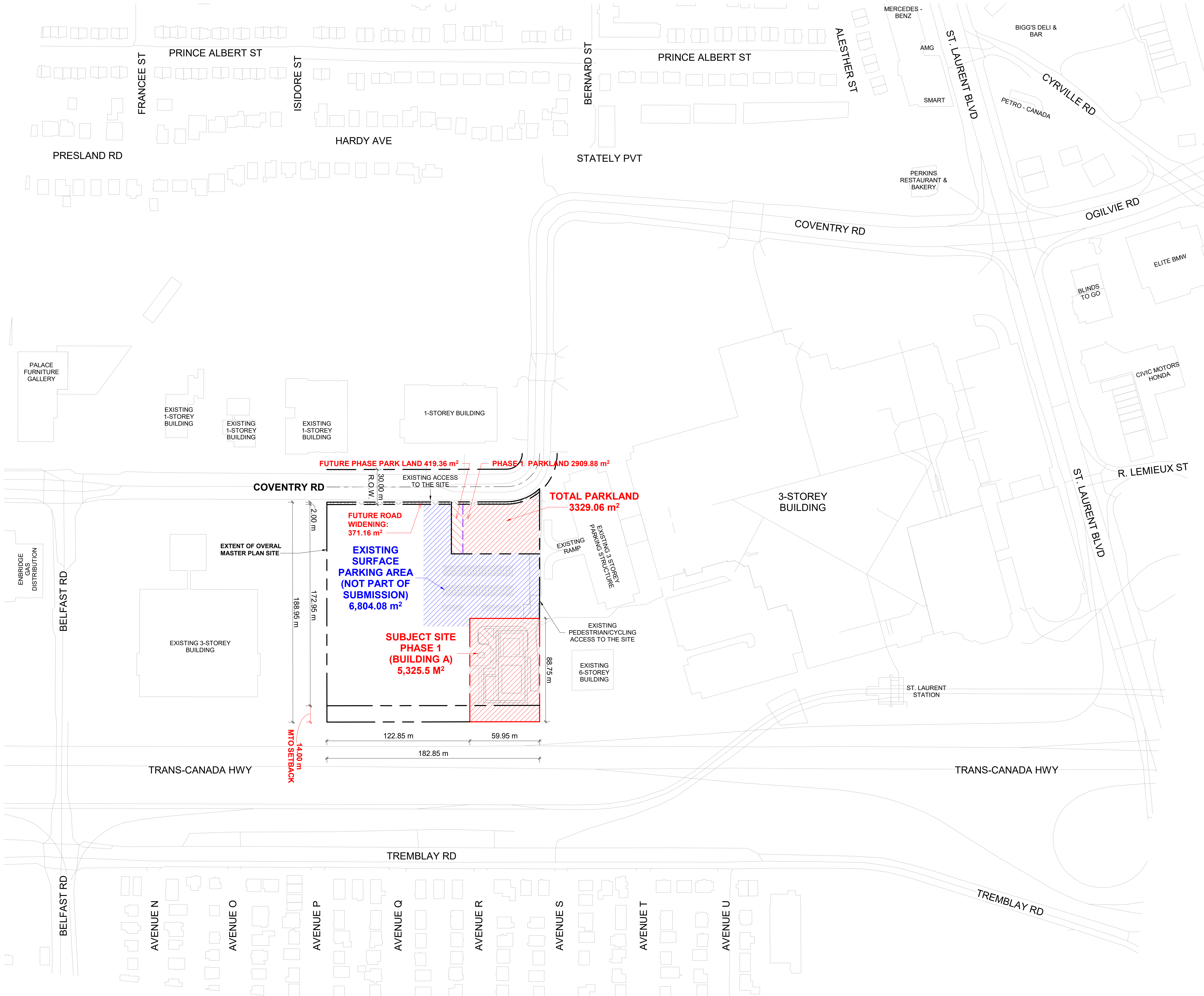
DRAWING  
SURVEY

PROJECT NO.  
18.050 P01  
PROJECT DATE  
2025-02-26  
DRAWN BY  
CHECKED BY  
SCALE

DRAWING NO.  
SPA001  
REV.  
3



2025-02-25 3:45:40 PM



1 CONTEXT PLAN  
SPA004 1 : 1500

# TURNER FLEISCHER

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|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION      | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
**CONTEXT PLAN**

|                            |                              |                  |
|----------------------------|------------------------------|------------------|
| PROJECT NO.<br>18.050 P01  |                              |                  |
| PROJECT DATE<br>2025-02-26 |                              |                  |
| DRAWN BY<br>DRO            |                              |                  |
| CHECKED BY<br>AYU          |                              |                  |
| SCALE<br>1 : 1500          |                              |                  |
|                            | DRAWING NO.<br><b>SPA004</b> | REV.<br><b>3</b> |



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## SITE PLAN SYMBOLS

|  |  |
|--|--|
|  | PRIMARY RESIDENTIAL ENTRANCE               |
|  | SECONDARY RESIDENTIAL ENTRANCE             |
|  | EXIT                                       |
|  | FIRE HYDRANT                               |
|  | SIAMESE CONNECTION                         |
|  | CONVEX MIRROR                              |
|  | SPOT ELEVATION                             |
|  | GAS/HYDRO METER                            |
|  | PRIVATE ROAD                               |
|  | PRIVATE ROAD - INTERNAL                    |
|  | PARKLAND                                   |
|  | SOFT LANDSCAPING                           |
|  | GREEN ROOF / AMENITY                       |
|  | TWO-WAY CYCLE PATH                         |
|  | OUTDOOR TERRACE                            |
|  | SIDEWALK                                   |
|  | TWSI - AT PEDESTRIAN AND CYCLING CROSSINGS |
|  | TOWNHOUSES AT GRADE                        |
|  | EXTENT OF UNDERGROUND PARKING BELOW        |

REFER TO LANDSCAPE DRAWINGS FOR SURFACE TREATMENT

|   |            |                                  |     |
|---|------------|----------------------------------|-----|
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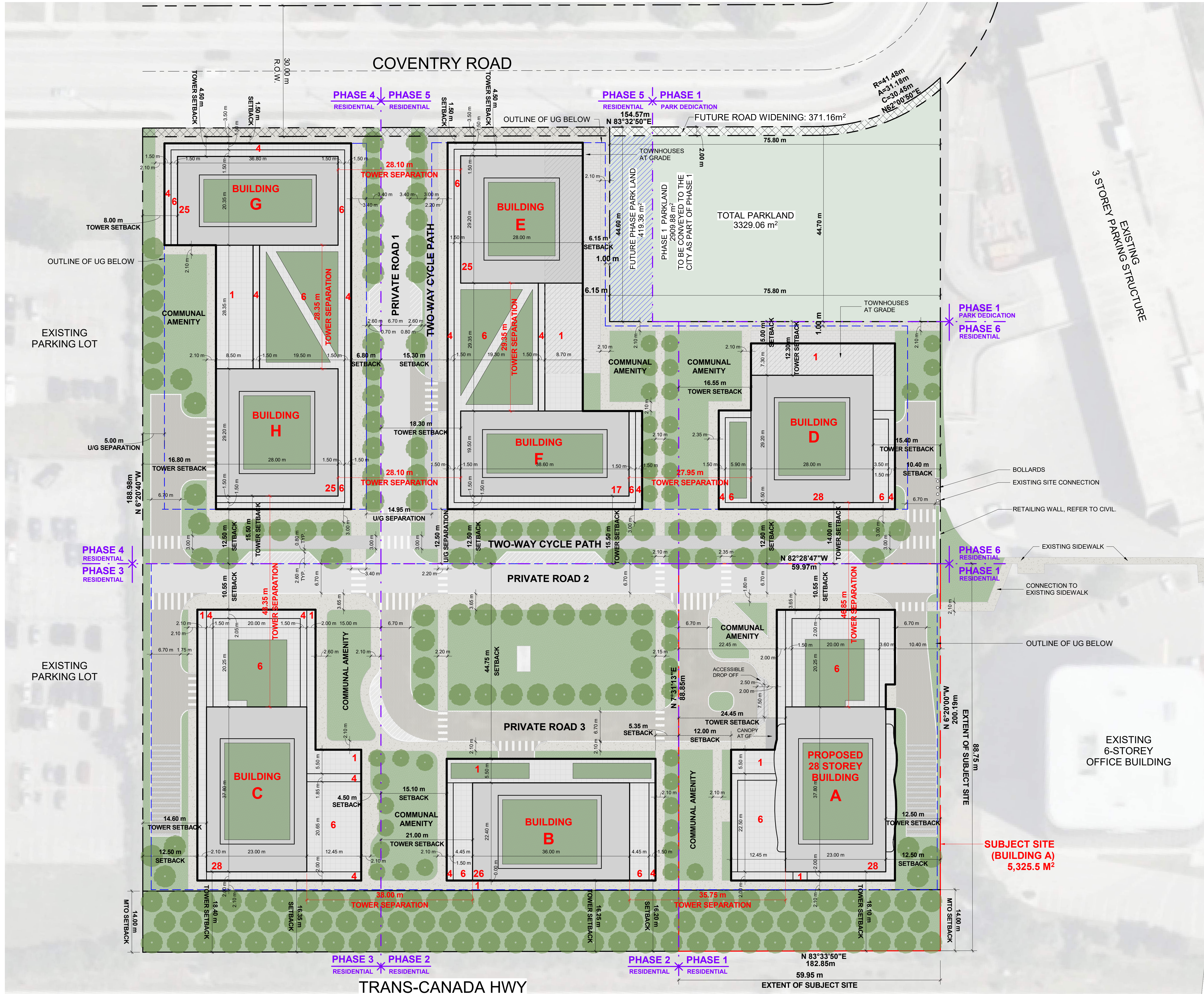


PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

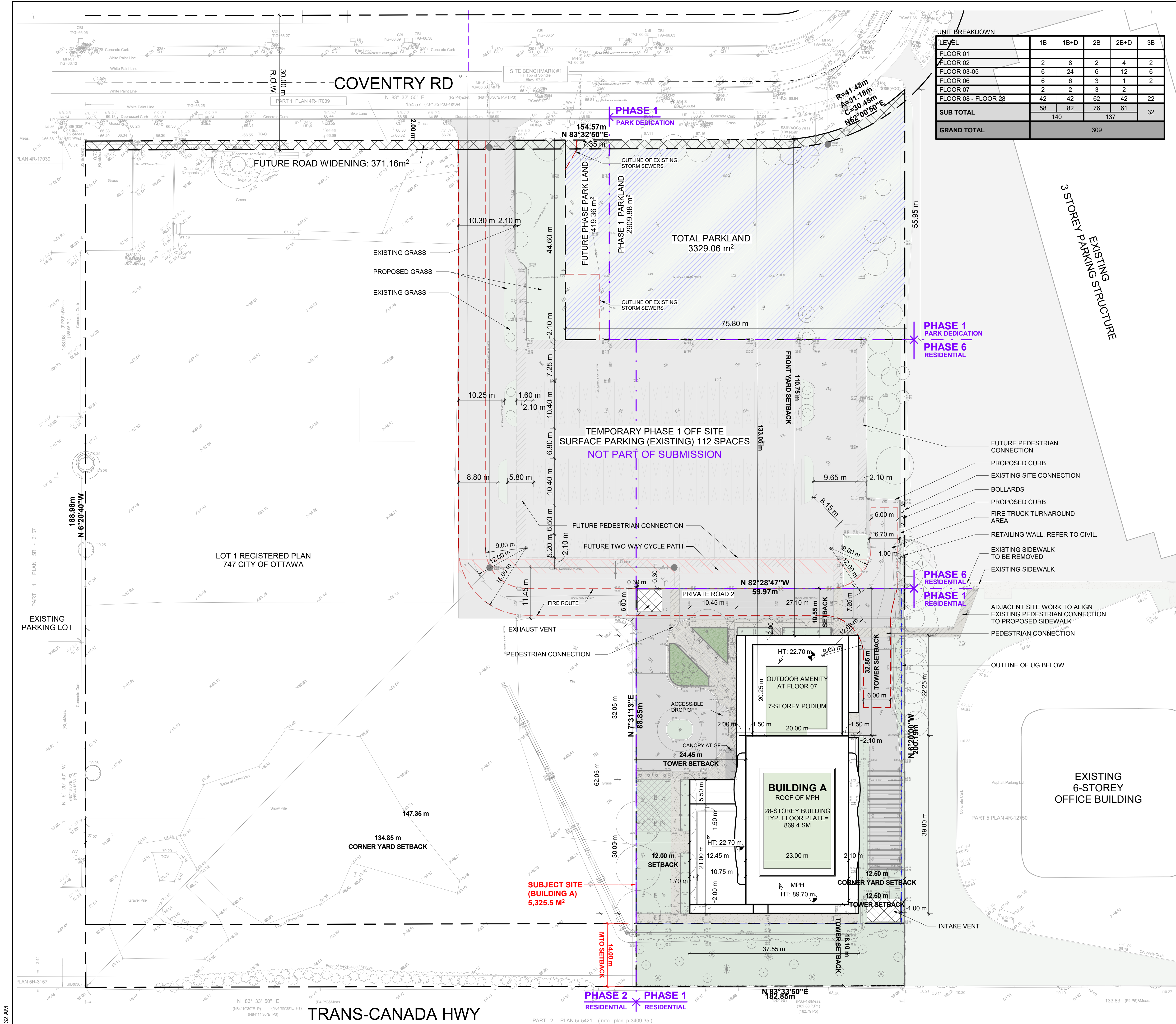
DRAWING  
**MASTER PLAN / CONCEPT PLAN**

|                            |  |
|----------------------------|--|
| PROJECT NO.<br>18.050 P01  |  |
| PROJECT DATE<br>2025-02-26 |  |
| DRAWN BY<br>DRO            |  |
| CHECKED BY<br>AYU          |  |
| SCALE<br>1:400             |  |

|                        |           |
|------------------------|-----------|
| DRAWING NO.<br>SPA005A | REV.<br>3 |
|------------------------|-----------|







| UNIT BREAKDOWN      |     |      |     |      |    |
|---------------------|-----|------|-----|------|----|
| LEVEL               | 1B  | 1B+D | 2B  | 2B+D | 3B |
| FLOOR 01            |     |      |     |      |    |
| FLOOR 02            | 2   | 8    | 2   | 4    | 2  |
| FLOOR 03-05         | 6   | 24   | 6   | 12   | 6  |
| FLOOR 06            | 6   | 6    | 3   | 1    | 2  |
| FLOOR 07            | 2   | 2    | 3   | 2    |    |
| FLOOR 08 - FLOOR 28 | 42  | 42   | 62  | 42   | 22 |
| SUB TOTAL           | 58  | 82   | 76  | 61   | 32 |
| GRAND TOTAL         | 140 |      | 137 |      |    |

| PROJECT INFORMATION                  |           |       | TD3 |
|--------------------------------------|-----------|-------|-----|
| Zoning By-law 2008-250 Consolidation |           |       |     |
| NET OVERALL SITE AREA BREAKDOWN      |           |       |     |
| AREA TYPE                            | m²        | ACRE  |     |
| SITE AREA - BLDG A                   | 5,325.54  | 1.316 |     |
| TOTAL PARKLAND AREA                  | 3,329.06  | 0.823 |     |
| FUTURE ROAD WIDENING AREA            | 371.16    | 0.092 |     |
| TOTAL PHASE 1 & ASSOCIATED AREAS     | 9,025.76  | 2.231 |     |
| TEMPORARY OFF SITE PARKING           | 6,804.08  | 1.681 |     |
| REMAINING SITE AREA                  | 18,831.16 | 4.653 |     |
| TOTAL SITE AREA                      | 34,661.0  | 8.565 |     |

| ZONING  |  |  | REQUIRED           | PROVIDED           |
|---|--|--|--------------------|--------------------|
| BUILDING HEIGHT   |  |  | 30 STOREYS / 90.0M | 28 STOREYS / 89.7M |
| GRADE (GEODETIC ELEVATION - ASL)                            |  |  |                    | 68.80M             |
| ALLOWABLE PROJECTION - AMENITY LEVEL                        |  |  | 0.0M               | 22.7M              |
| DENSITY - MINIMUM 350 units/hectare                         |  |  | 206 UNITS          | 309 UNITS          |
| FRONT YARD SETBACK  |  |  | 3.0M               | 110.75M            |
| CORNER YARD SETBACK (East / West)                           |  |  | 3.0M/3.0M          | 134.85M/12.5M      |
| REAR YARD SETBACK (GROUND TO 6th FLOOR)                     |  |  | 0.0M               | 16.10M             |
| REAR YARD SETBACK (ABOVE 7th STOREY)                        |  |  | 12.0M              | 18.10M             |
| AMENITY AREA - TOTAL PER UNIT                               |  |  | 6.0M²              | 17.4M²             |
| AMENITY AREA - 50% COMMUNAL PER UNIT                        |  |  | 3.0M²              | 4.55M²             |
| AMENITY AREA - 2.0% OF LOT EXTERIOR AT GRADE COMMUNAL       |  |  | 117.15M²           | 172.6M²            |
| VEHICLE PARKING - RESIDENTIAL (AREA 'Z' - MAX 1.5/PER UNIT) |  |  | NOT REQUIRED       | 289                |
| VEHICLE PARKING - VISITOR ONLY (MAX. 30, AFTER 12 UNITS)    |  |  | 30                 | 30                 |
| BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT                |  |  | 165                | 309                |
| aisle & DRIVEWAY MINIMUM / MAXIMUM WIDTH                    |  |  | 6.0M/6.7M          | 6.7M               |

| GROSS BUILDING FLOOR AREA (OTTAWA ZONING DEFINITION) |                |  | m²       | ft²     |
|--|----------------|--|----------|---------|
| UG1  |                |  |          |         |
| FLOOR 01   |                |  |          |         |
| FLOOR 02   |                |  | 1,339.6  | 14,419  |
| FLOOR 03-05  | 1,339.6 m² x 3 |  | 4,018.8  | 43,257  |
| FLOOR 06   |                |  | 1,224.1  | 13,176  |
| FLOOR 07   |                |  | 631.4    | 6,796   |
| FLOOR 08 - FLOOR 28                                  | 725.2 m² x 21  |  | 15,229.2 | 163,926 |
| TOTAL  |                |  | 22,443.7 | 241,582 |
| TYP. FLOOR PLATE                                     |                |  | 869.4    | 9,358   |

| UNIT STATISTICS |  | UNITS |
|-----------------|--|-------|
| 1B              |  | 58    |
| 1B+D            |  | 82    |
| 2B              |  | 77    |
| 2B+D            |  | 61    |
| 3B              |  | 31    |
| TOTAL           |  | 309   |

| VEHICULAR PARKING SPACES REQUIRED- AREA 'Z' ON SCHEDULE 1A |   |    |  |
|--|---|----|--|
| VISITOR  | 0.1 SPACES PER UNIT AFTER 12 UNITS - MAX 30 | 30 |  |
| RESIDENTIAL  | N/A   | 0  |  |
| TOTAL  |   | 30 |  |

| VEHICULAR PARKING SPACES PROVIDED |                                  |     |  |
|-----------------------------------|----------------------------------|-----|--|
| VISITOR                           | 0.1 SPACES PER UNIT (309 UNITS)  | 30  |  |
| RESIDENTIAL                       | 0.56 SPACES PER UNIT (309 UNITS) | 177 |  |
| TOTAL                             |                                  | 207 |  |
| EXISTING SURFACE PARKING LOT      |                                  | 112 |  |
| TOTAL                             | 1.03 PER UNIT (309 UNITS)        | 319 |  |

| ACCESSIBLE PARKING SPACES REQUIRED - (NOT INCLUDING SURFACE PARKING) |  |   |
|--|--|---|
| TYPE 'A'   |  | 3 |
| TYPE 'B'   |  | 4 |
| TOTAL  |  | 7 |

| ACCESSIBLE PARKING SPACES PROVIDED - (NOT INCLUDING SURFACE PARKING) |  |   |
|--|--|---|
| TYPE 'A'   |  | 3 |
| TYPE 'B'   |  | 5 |
| TOTAL  |  | 8 |

|                                   |                          |
|-----------------------------------|--------------------------|
| STANDARD PARKING SPACE            | 2.6m X 5.2m              |
| PARALLEL PARKING SPACE            | 2.6m X 6.7m              |
| SMALL PARKING SPACE               | 2.4m X 4.6m              |
| ACCESSIBLE PARKING SPACE 'TYPE A' | 3.4m X 5.2m              |
| ACCESSIBLE PARKING SPACE 'TYPE B' | 2.4m X 5.2m              |
| LOADING SPACE                     | 3.5m X 7.0m              |
| BICYCLE PARKING SPACES REQUIRED   |                          |
| RESIDENTIAL                       | 0.5 PER UNIT (309 UNITS) |
| TOTAL                             | 155                      |

| BICYCLE PARKING SPACES PROVIDED |                          |     |
|---------------------------------|--------------------------|-----|
| RESIDENTIAL                     | INTERIOR                 | 309 |
|                                 | EXTERIOR                 | 0   |
| TOTAL                           | 1.0 PER UNIT (309 UNITS) | 309 |

| AMENITY AREA                  |         |        |
|-------------------------------|---------|--------|
|                               | m²      | ft²    |
| GRADE EXTERIOR - COMMUNAL     | 172.6   | 1,858  |
| INTERIOR - COMMUNAL           | 1,095.4 | 11,791 |
| 07F EXTERIOR - COMMUNAL       | 202.1   | 2,175  |
| TOTAL COMMUNAL                | 1,470.1 | 15,824 |
| BALCONIES / TERRACE - PRIVATE | 3,506.2 | 37,741 |
| TOTAL                         | 4,976.3 | 53,565 |

REQUIRED (309 UNITS X 6 m²) = 1,854 sq. m.  
REQUIRED COMMUNAL @ 50% = 927 sq. m.

| SITE COVERAGE      |         |       |
|--------------------|---------|-------|
|                    | m²      | %     |
| BUILDING FOOTPRINT | 1,815.4 | 34.1% |
| DRIVING SURFACE    | 1,260.5 | 23.7% |
| LANDSCAPE AREA     | 2,249.6 | 42.2% |
| TOTAL BUILDING A   | 5,325.5 | 100%  |

| REFUGE REQUIREMENT (309 UNITS) |                   |             |
|--------------------------------|-------------------|-------------|
|                                | COMPACTED RATIO   | CUBIC YARDS |
| GARBAGE                        | 0.053 yd³/UNIT    | 17          |
| RECYCLING GMP                  | 0.018 yd³/UNIT    | 6           |
| RECYCLING FIBER                | 0.038 yd³/UNIT    | 12          |
| COMPOST                        | 240L PER 50 UNITS | 7 BINS      |

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| SITE PLAN SYMBOLS |                                |
|-------------------|--------------------------------|
| ↑                 | PRIMARY RESIDENTIAL ENTRANCE   |
| △                 | SECONDARY RESIDENTIAL ENTRANCE |
| ▲                 | EXIT                           |
| ⊙                 | FIRE HYDRANT                   |
| ⋈                 | SIAMESE CONNECTION             |
| ◊                 | CONVEX MIRROR                  |
| ⬆                 | SPOT ELEVATION                 |
| Ⓢ                 | GAS/HYDRO METER                |

REFER TO LANDSCAPE DRAWINGS FOR SURFACE TREATMENT

| MINIMUM PERMITTED PARKING DIMENSIONS                 |  |
|--|--|
| TYPICAL PARKING DIMENSIONS                           |  |
| aisle width: MIN 6.7m                                |  |
| TYPICAL PARKING SPACE:<br>MIN 2.6 x 5.2 x 2.1 m HIGH |  |
| TYPICAL BARRIER FREE SPACE                           |  |
| MIN 3.66 x 5.2 x 2.1m HIGH                           |  |

|   |            |                                  |     |
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| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
PROPOSED 28-STOREY RESIDENTIAL BUILDING  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
SITE PLAN / ROOF PLAN - OVERALL SITE

PROJECT NO.  
18.050 P01  
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2025-02-26  
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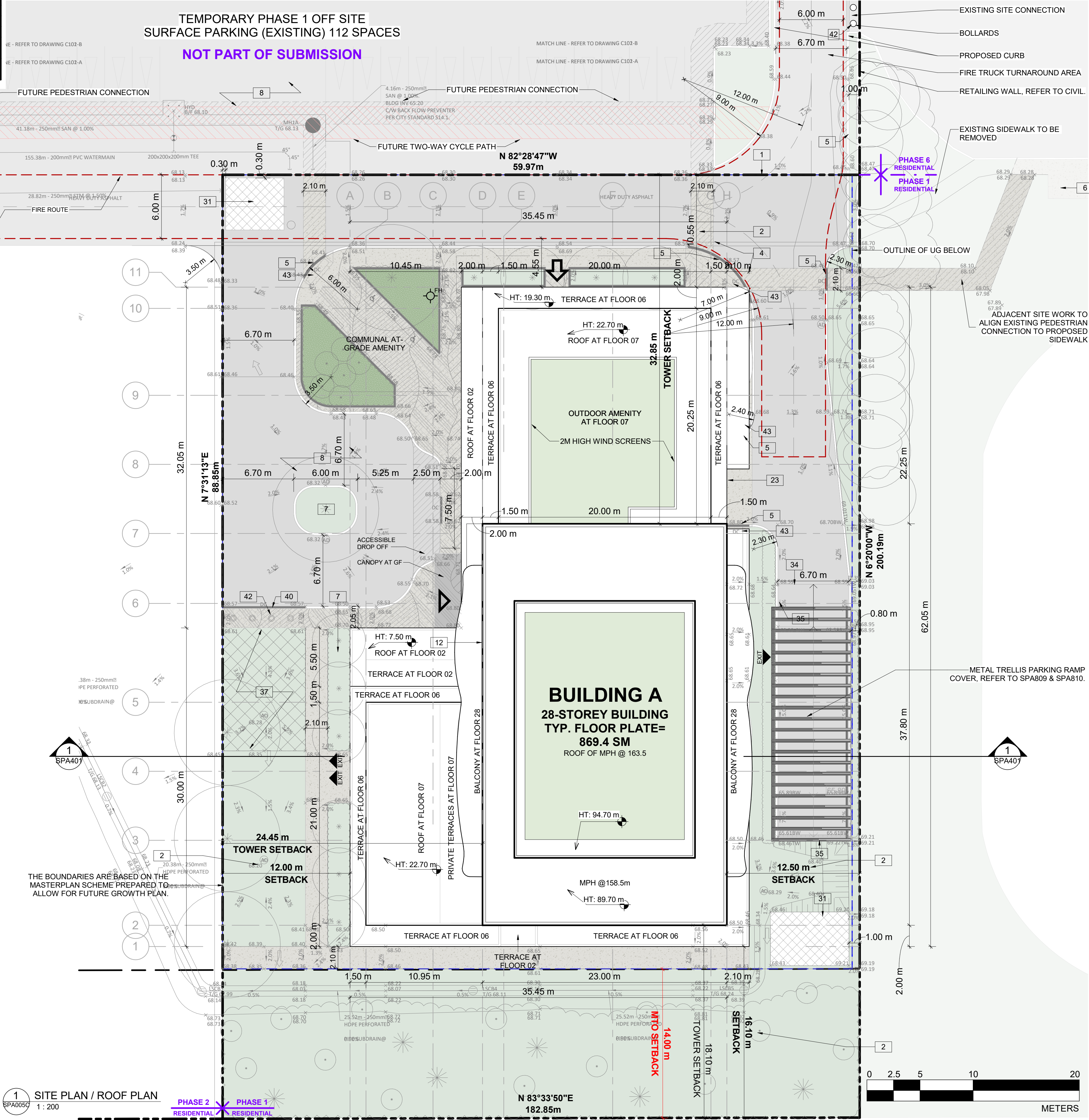
ONTARIO ASSOCIATION OF ARCHITECTS  
RUSSELL L. FLEISCHER  
LICENCE  
5004

DRAWING NO.  
SPA005B  
REV.  
3



| UNIT BREAKDOWN      |     |      |    |      |    |
|---------------------|-----|------|----|------|----|
| LEVEL               | 1B  | 1B+D | 2B | 2B+D | 3B |
| FLOOR 01            |     |      |    |      |    |
| FLOOR 02            | 2   | 8    | 2  | 4    | 2  |
| FLOOR 03-05         | 6   | 24   | 6  | 12   | 6  |
| FLOOR 06            | 6   | 6    | 3  | 1    | 2  |
| FLOOR 07            | 2   | 2    | 3  | 2    |    |
| FLOOR 08 - FLOOR 28 | 42  | 42   | 62 | 42   | 22 |
| SUB TOTAL           | 58  | 82   | 76 | 61   | 32 |
| GRAND TOTAL         | 309 |      |    |      |    |

- DRAWINGS NOTES
- PHASE 1 LIMITS
  - BUILDING SETBACKS
  - PROPOSED ROAD WIDENING
  - HARD SURFACE PAVING, REFER TO LANDSCAPE PLAN FOR PATTERN AND TYPE
  - DEPRESSED CURB AND SIDEWALK TO CITY STANDARDS, REFER TO CIVIL
  - EXISTING STREET CURB AND SIDEWALK
  - SOFT LANDSCAPING, REFER TO LANDSCAPE PLAN
  - ASPHALT DRIVING SURFACE / PARKING LOT WITH BARRIER CURB
  - INTERNAL GARBAGE ROOM
  - 2.0m WIDE CONCRETE SIDEWALK
  - OUTLINE OF PRIVATE BALCONY ABOVE
  - OUTLINE OF TOWER ABOVE
  - STRUCTURAL SUPPORT FOR BUILDING ABOVE
  - VISITOR / SHORT TERM PARKING SPACE 2.6 x 5.2m
  - EXISTING TREE TO BE REMOVED
  - EXISTING STORM GRATE
  - EXISTING UTILITY KIOSK
  - PROPOSED SERVICES
  - RETAINING WALL, REFER TO CIVIL FOR HEIGHT
  - EXISTING CONCRETE / ASPHALT ISLAND
  - EXISTING UTILITY / LIGHT POLE
  - 1.2 X 1.8 CONCRETE PAD FOR GAS EQUIPMENT (GAS BLOW OFF)
  - 3.5 x 7.0m LOADING SPACE
  - SIAMESE CONNECTION
  - EXISTING CROSSWALK WITH DEPRESSED CURBS
  - EXISTING CONCRETE JERSEY BARRIER
  - EXISTING CONCRETE OVERPASS
  - GUARDRAIL WITH METAL PIPE RAILING
  - EXISTING FIRE HYDRANT
  - INTAKE / EXHAUST GRILL
  - BICYCLE PARKING SPACE WITH RACK
  - OUTLINE OF BELOW GRADE PARKING DECK
  - HEATED GARAGE RAMP WITH TRENCH DRAIN
  - GARAGE RAMP WALL
  - RELOCATE UTILITY / LIGHT POLE AS NEEDED
  - TEMPORARY SNOW STORAGE. SNOW WILL BE REMOVED FROM THE SITE AS REQUIRED
  - PRIVACY FENCE
  - WASHED PEA-STONE SURFACE
  - DEPRESSED CURB
  - ACCESS TO INTERNAL CISTERN
  - REMOVABLE CONCRETE BOLLARDS
  - TACTILE STRIP AT SIDE WALKS



|  |  |   |  |   |   |
|--|--|---|--|---|---|
| <b>DEVELOPER</b><br><b>Morguard Corporation</b><br>55 City Centre Drive, Suite 1000<br>Mississauga, ON L5B 1M3<br>Contact Name: Mark Bradley<br>Phone Number: (905) 281-5831<br>Email: mbradley@morguard.com | <b>WIND CONSULTANT</b><br><b>Gradient Wind</b><br>127 Walgreen Rd.<br>Carp, ON, K0A 1L0<br>Contact Name: David Hurtma<br>Tel.: (613) 836-0934<br>E-Mail: david.hurtma@gradientwind.com | <b>TRAFFICE CONSULTANT</b><br><b>CGH Transportation</b><br>6240 Hwy 7, Suite 200<br>Ottawa, ON, K2G 3Z1<br>Contact Name: Andrew Harte<br>Tel.: (613) 697-3797<br>E-Mail: andrew.harte@cghtransportation.com | <b>CIVIL ENGINEER</b><br><b>Egis</b><br>6240 Hwy 7, Suite 200<br>Woodbridge, ON, L4H 4G3<br>Contact Name: Allison Gosling<br>Tel.: (613) 714-4629<br>E-Mail: Alison.GOSLING@egis-group.com | <b>LANDSCAPE &amp; URBAN PLANNER</b><br><b>Fotenn Planning + Design</b><br>396 Cooper Street, Suite 300<br>Ottawa, ON, K2P 2H7<br>Contact Name: Jillian Simpson<br>Tel.: (613) 730-5709<br>E-Mail: simpson@fotenn.com | <b>SURVEYOR</b><br><b>Vollebakk Ltd.</b><br>14 Concourse Gate, Suite 500<br>Nepean, ON, K2E 7S6<br>Contact Name: Annis, O'Sullivan<br>Tel.: (613) 727-0850<br>E-Mail: Nepean@aovltd.com |
|--|--|---|--|---|---|

| PROJECT INFORMATION                  |           |       |
|--------------------------------------|-----------|-------|
| Zoning By-law 2008-250 Consolidation |           | TD3   |
| NET OVERALL SITE AREA BREAKDOWN      |           |       |
| AREA TYPE                            | m²        | ACRE  |
| SITE AREA - BLDG A                   | 5,325.54  | 1.316 |
| TOTAL PARKLAND AREA                  | 3,329.06  | 0.823 |
| FUTURE ROAD WIDENING AREA            | 371.16    | 0.092 |
| TOTAL PHASE 1 & ASSOCIATED AREAS     | 9,025.76  | 2.231 |
| TEMPORARY OFF SITE PARKING           | 6,804.08  | 1.681 |
| REMAINING SITE AREA                  | 18,831.16 | 4.653 |
| TOTAL SITE AREA                      | 34,661.0  | 8.565 |

| ZONING  |                    |                    |
|---|--------------------|--------------------|
| BUILDING HEIGHT   | REQUIRED           | PROVIDED           |
| GRADE (GEODETIC ELEVATION - ASL)                            | 30 STOREYS / 90.0M | 28 STOREYS / 89.7M |
| ALLOWABLE PROJECTION - AMENITY LEVEL                        | 0.0M               | 22.7M              |
| DENSITY - MINIMUM 350 units/hectare                         | 206 UNITS          | 309 UNITS          |
| FRONT YARD SETBACK  | 3.0M               | 110.75M            |
| CORNER YARD SETBACK (East / West)                           | 3.0M/3.0M          | 134.85M/12.5M      |
| REAR YARD SETBACK (GROUND TO 6th FLOOR)                     | 0.0M               | 16.10M             |
| REAR YARD SETBACK (ABOVE 7th STOREY)                        | 12.0M              | 18.10M             |
| AMENITY AREA - TOTAL PER UNIT                               | 6.0M²              | 17.4M²             |
| AMENITY AREA - 50% COMMUNAL PER UNIT                        | 3.0M²              | 4.55M²             |
| AMENITY AREA - 2.0% OF LOT EXTERIOR AT GRADE COMMUNAL       | 117.15M²           | 172.6M²            |
| VEHICLE PARKING - RESIDENTIAL (AREA 'Z' - MAX 1.5/PER UNIT) | NOT REQUIRED       | 289                |
| VEHICLE PARKING - VISITOR ONLY (MAX. 30, AFTER 12 UNITS)    | 30                 | 30                 |
| BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT                | 165                | 309                |
| aisle & driveway minimum / maximum width                    | 6.0M/6.7M          | 6.7M               |

| GROSS BUILDING FLOOR AREA (OTTAWA ZONING DEFINITION) |                |          |
|--|----------------|----------|
|  | m²             | ft²      |
| UG1  |                |          |
| FLOOR 01   |                |          |
| FLOOR 02   |                | 1,339.6  |
| FLOOR 03-05  | 1,339.6 m² x 3 | 4,018.8  |
| FLOOR 06   |                | 1,224.1  |
| FLOOR 07   |                | 631.4    |
| FLOOR 08 - FLOOR 28                                  | 725.2 m² x 21  | 15,229.2 |
| TOTAL  | 22,443.7       | 241,582  |
| TYP. FLOOR PLATE                                     | 869.4          | 9,358    |

| UNIT STATISTICS |       |  |
|-----------------|-------|--|
|                 | UNITS |  |
| 1B              | 58    |  |
| 1B+D            | 82    |  |
| 2B              | 77    |  |
| 2B+D            | 61    |  |
| 3B              | 31    |  |
| TOTAL           | 309   |  |

| VEHICULAR PARKING SPACES REQUIRED- AREA 'Z' ON SCHEDULE 1A |   |    |  |
|--|---|----|--|
| VISITOR  | 0.1 SPACES PER UNIT AFTER 12 UNITS - MAX 30 | 30 |  |
| RESIDENTIAL  | N/A   | 0  |  |
| TOTAL  |   | 30 |  |

| VEHICULAR PARKING SPACES PROVIDED |                                  |     |  |
|-----------------------------------|----------------------------------|-----|--|
| VISITOR                           | 0.1 SPACES PER UNIT (309 UNITS)  | 30  |  |
| RESIDENTIAL                       | 0.56 SPACES PER UNIT (309 UNITS) | 177 |  |
| TOTAL                             |                                  | 207 |  |
| EXISTING SURFACE PARKING LOT      |                                  | 112 |  |
| TOTAL                             | 1.03 PER UNIT (309 UNITS)        | 319 |  |

| ACCESSIBLE PARKING SPACES REQUIRED - (NOT INCLUDING SURFACE PARKING) |  |   |
|--|--|---|
| TYPE 'A'   |  | 3 |
| TYPE 'B'   |  | 4 |
| TOTAL  |  | 7 |

| ACCESSIBLE PARKING SPACES PROVIDED - (NOT INCLUDING SURFACE PARKING) |  |   |
|--|--|---|
| TYPE 'A'   |  | 3 |
| TYPE 'B'   |  | 5 |
| TOTAL  |  | 8 |

|                                     |             |
|-------------------------------------|-------------|
| STANDARD PARKING SPACE              | 2.6m X 5.2m |
| PARALLEL PARKING SPACE              | 2.6m X 6.7m |
| SMALL PARKING SPACE                 | 2.4m X 4.6m |
| ACCESSIBLE PARKING SPACE ' TYPE A ' | 3.4m X 5.2m |
| ACCESSIBLE PARKING SPACE ' TYPE B ' | 2.4m X 5.2m |
| LOADING SPACE                       | 3.5m X 7.0m |

| BICYCLE PARKING SPACES REQUIRED |                          |     |
|---------------------------------|--------------------------|-----|
| RESIDENTIAL                     | 0.5 PER UNIT (309 UNITS) | 155 |
| TOTAL                           |                          | 155 |

| BICYCLE PARKING SPACES PROVIDED |                          |     |
|---------------------------------|--------------------------|-----|
| RESIDENTIAL                     | INTERIOR                 | 309 |
|                                 | EXTERIOR                 | 0   |
| TOTAL                           | 1.0 PER UNIT (309 UNITS) | 309 |

| AMENITY AREA                  |         |        |
|-------------------------------|---------|--------|
|                               | m²      | ft²    |
| GRADE EXTERIOR - COMMUNAL     | 172.6   | 1,858  |
| INTERIOR - COMMUNAL           | 1,095.4 | 11,791 |
| 07F EXTERIOR - COMMUNAL       | 202.1   | 2,175  |
| TOTAL COMMUNAL                | 1,470.1 | 15,824 |
| BALCONIES / TERRACE - PRIVATE | 3,506.2 | 37,741 |
| TOTAL                         | 4,976.3 | 53,565 |

REQUIRED (309 UNITS X 6 m²) = 1,854 sq. m.  
REQUIRED COMMUNAL @ 50% = 927 sq. m.

| SITE COVERAGE      |         |       |
|--------------------|---------|-------|
|                    | m²      | %     |
| BUILDING FOOTPRINT | 1,815.4 | 34.1% |
| DRIVING SURFACE    | 1,260.5 | 23.7% |
| LANDSCAPE AREA     | 2,249.6 | 42.2% |
| TOTAL BUILDING A   | 5,325.5 | 100%  |

| REFUGE REQUIREMENT (309 UNITS) |                   |             |
|--------------------------------|-------------------|-------------|
|                                | COMPACTED RATIO   | CUBIC YARDS |
| GARBAGE                        | 0.053 yd³/UNIT    | 17          |
| RECYCLING GMP                  | 0.018 yd³/UNIT    | 6           |
| RECYCLING FIBER                | 0.038 yd³/UNIT    | 12          |
| COMPOST                        | 240L PER 50 UNITS | 7 BINS      |

TURNER FLEISCHER

Turner Fleischer Architects Inc.

67 Lesmill Road  
Toronto, ON, M5B 2T8  
1 416 425 2222  
turnerfleischer.com

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any errors or omissions or changes resulting from the work.

This site plan prepared by Turner Fleischer is based on a legal survey showing the boundaries of the lands together with the current location of any existing buildings, features or measurement prepared by Anna P. Chisholm, dated 11/15/2023 as recorded by Vollebakk Ltd.

| SITE PLAN SYMBOLS |                                |
|-------------------|--------------------------------|
|                   | PRIMARY RESIDENTIAL ENTRANCE   |
|                   | SECONDARY RESIDENTIAL ENTRANCE |
|                   | EXIT                           |
|                   | FIRE HYDRANT                   |
|                   | SIAMESE CONNECTION             |
|                   | CONVEX MIRROR                  |
|                   | SPOT ELEVATION                 |
|                   | GAS/HYDRO METER                |

REFER TO LANDSCAPE DRAWINGS FOR SURFACE TREATMENT

| MINIMUM PERMITTED PARKING DIMENSIONS              |  |
|---|--|
| TYPICAL PARKING DIMENSIONS                        |  |
| AISLE WIDTH: MIN 6.7m                             |  |
| TYPICAL PARKING SPACE: MIN 2.6 x 5.2 x 2.1 m HIGH |  |
|   |  |
| TYPICAL BARRIER FREE SPACE                        |  |
| MIN 3.66 x 5.2 x 2.1 m HIGH                       |  |
|   |  |

|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION      | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL BUILDING**  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
**SITE PLAN / ROOF PLAN**

PROJECT NO:  
18.050 P01  
PROJECT DATE:  
2025-02-26  
DRAWN BY:  
DRO  
CHECKED BY:  
AYU  
SCALE:  
1:200

PROJECT NO:  
18.050 P01  
PROJECT DATE:  
2025-02-26  
DRAWN BY:  
DRO  
CHECKED BY:  
AYU  
SCALE:  
1:200

DRAWING NO:  
SPA005C  
REV:  
3



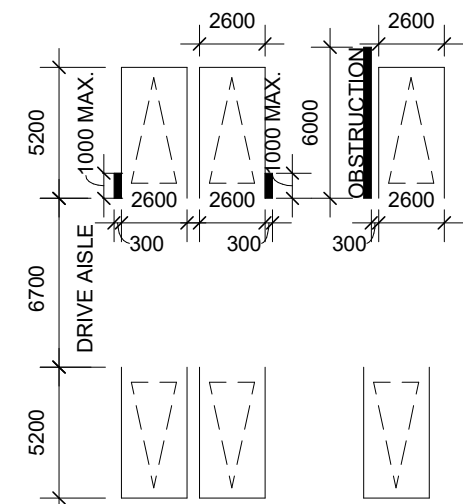
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MINIMUM PERMITTED PARKING  
DIMENSIONS

TYPICAL PARKING DIMENSIONS

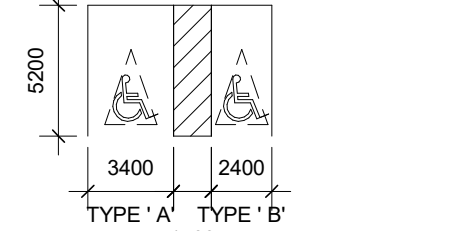
aisle width: min 6.7m

TYPICAL PARKING SPACE:  
MIN 2.6 x 5.2 x 2.1 m HIGH



TYPICAL BARRIER FREE SPACE

MIN 3.66 x 5.2 x 2.1m HIGH



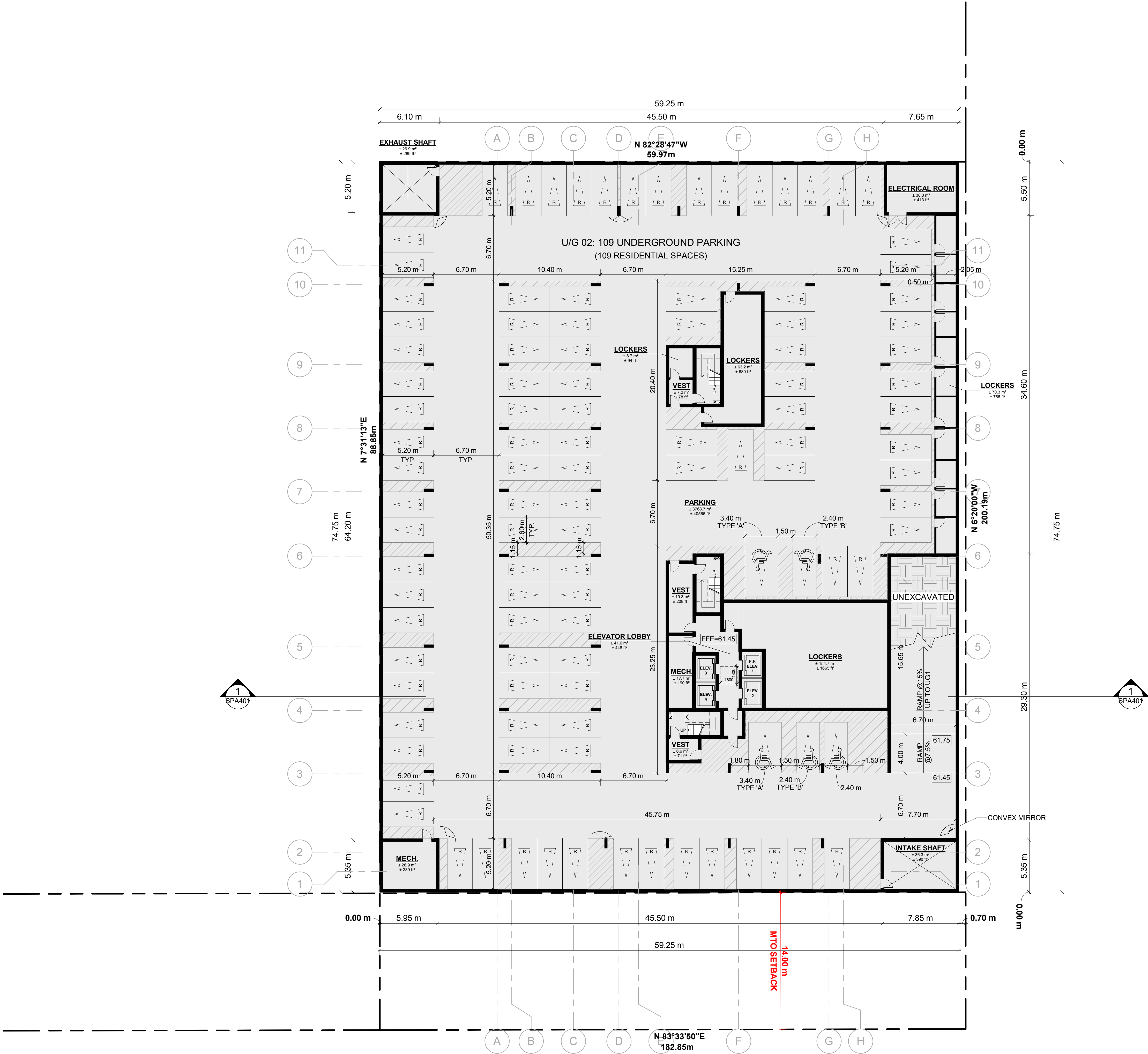
|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION      | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWING  
**UNDERGROUND LEVEL 02**

|                              |                  |
|------------------------------|------------------|
| PROJECT NO.<br>18.050 P01    |                  |
| PROJECT DATE<br>2025-02-26   |                  |
| DRAWN BY<br>DRO              |                  |
| CHECKED BY<br>AYU            |                  |
| SCALE<br>1:200               |                  |
| DRAWING NO.<br><b>SPA101</b> | REV.<br><b>3</b> |





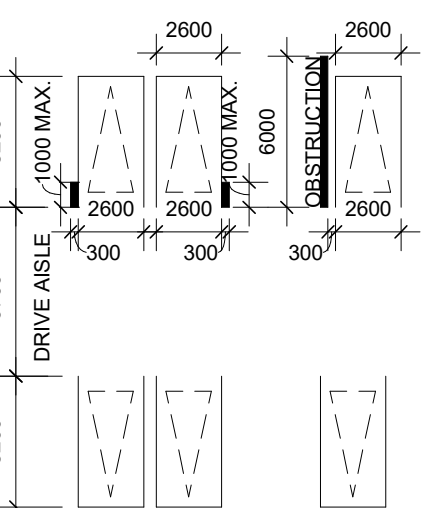
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MINIMUM PERMITTED PARKING  
DIMENSIONS

TYPICAL PARKING DIMENSIONS

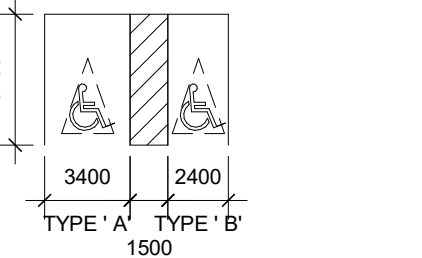
aisle width: MIN 6.7m

TYPICAL PARKING SPACE:  
MIN 2.6 x 5.2 x 2.1 m HIGH

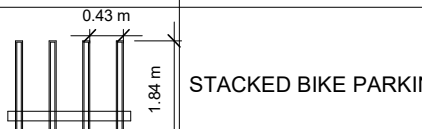


TYPICAL BARRIER FREE SPACE

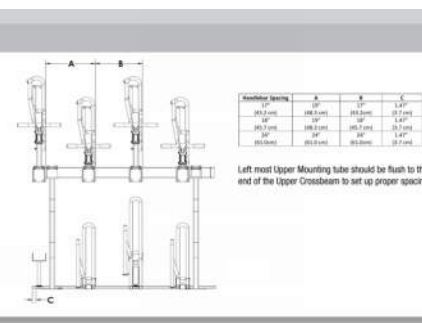
MIN 3.66 x 5.2 x 2.1m HIGH



BIKE PARKING LEGEND



STACKED BIKE PARKING DIAGRAM



|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION      | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



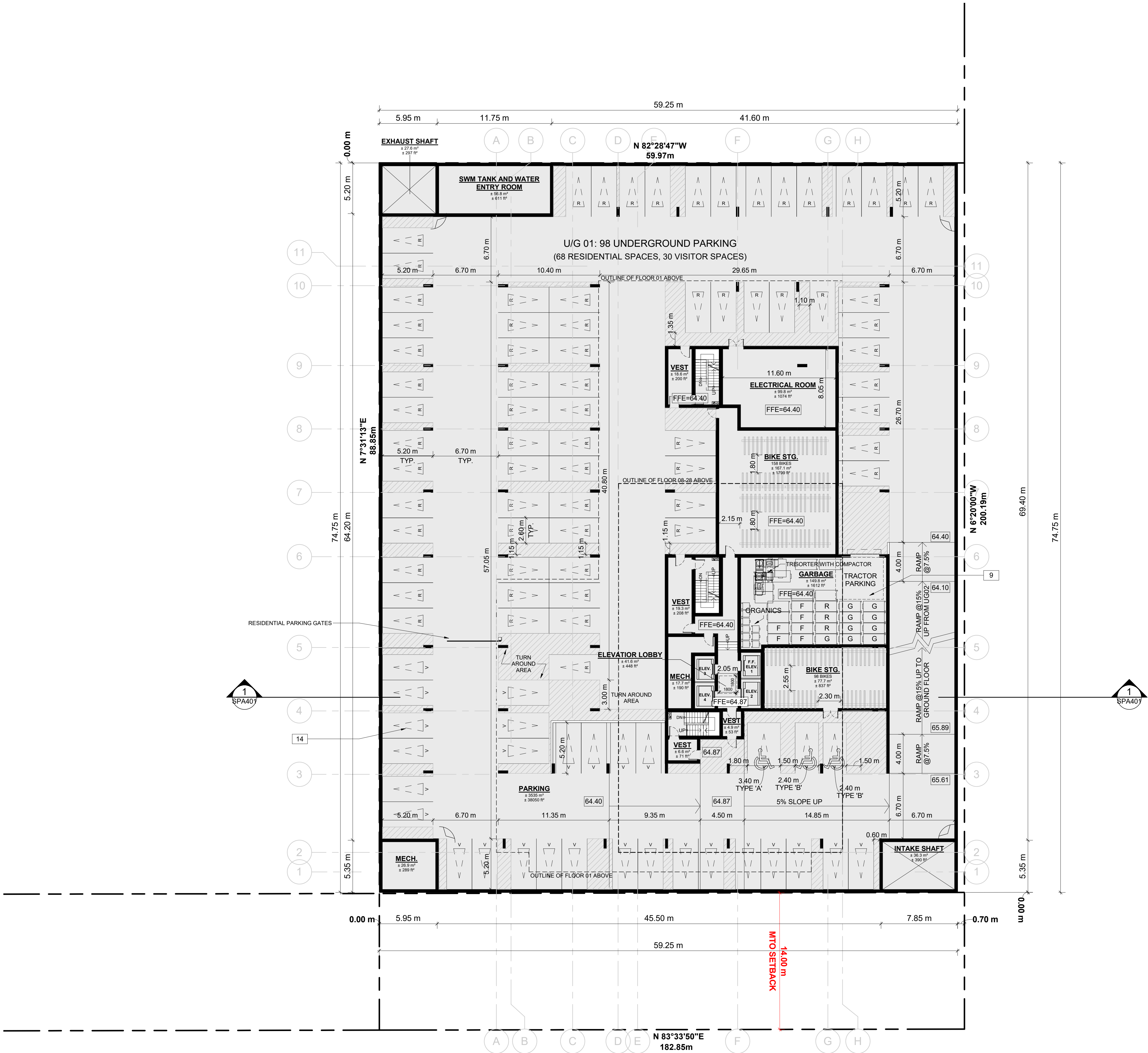
PROJECT  
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING

UNDERGROUND LEVEL 01

|                            |           |
|----------------------------|-----------|
| PROJECT NO.<br>18.050 P01  |           |
| PROJECT DATE<br>2025-02-26 |           |
| DRAWN BY<br>DRO            |           |
| CHECKED BY<br>AYU          |           |
| SCALE<br>1:200             |           |
| DRAWING NO.<br>SPA102      | REV.<br>3 |

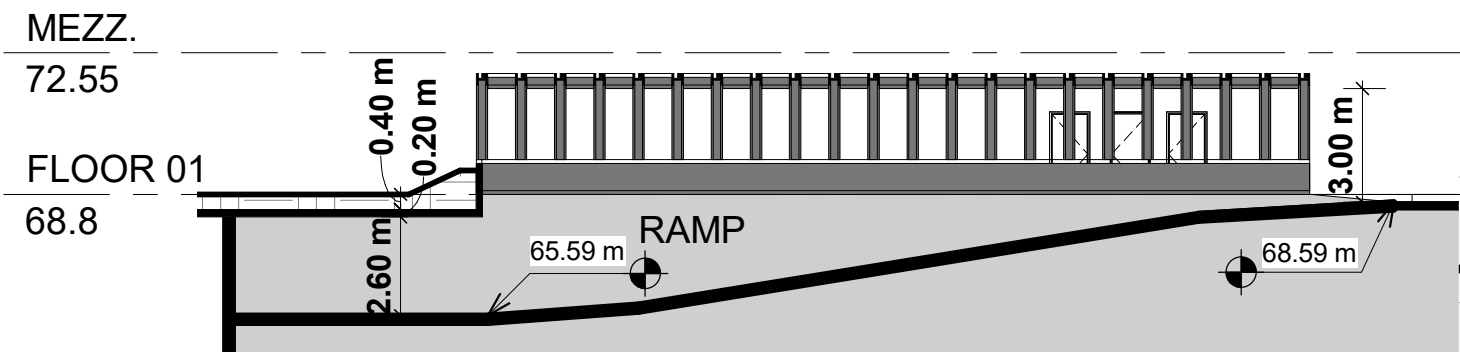
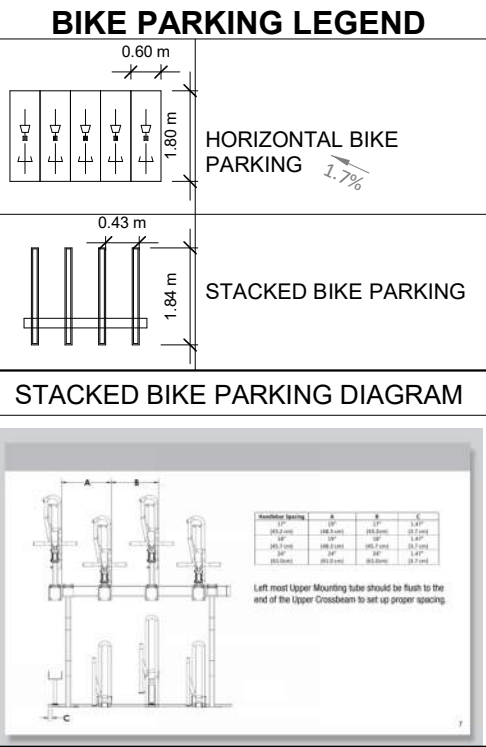




| UNIT BREAKDOWN      |     |      |     |      |    |
|---------------------|-----|------|-----|------|----|
| LEVEL               | 1B  | 1B+D | 2B  | 2B+D | 3B |
| FLOOR 01            |     |      |     |      |    |
| FLOOR 02            | 2   | 8    | 2   | 4    | 2  |
| FLOOR 03-05         | 6   | 24   | 6   | 12   | 6  |
| FLOOR 06            | 6   | 6    | 3   | 1    | 2  |
| FLOOR 07            | 2   | 2    | 3   | 2    |    |
| FLOOR 08 - FLOOR 28 | 42  | 42   | 62  | 42   | 22 |
| SUB TOTAL           | 58  | 82   | 76  | 61   | 32 |
|                     | 140 |      | 137 |      |    |
| GRAND TOTAL         |     | 309  |     |      |    |

TEMPORARY PHASE 1 OFF SITE  
SURFACE PARKING (EXISTING) 112 SPACES  
**NOT PART OF SUBMISSION**

- DRAWINGS NOTES**
- PHASE 1 LIMITS
  - BUILDING SETBACKS
  - PROPOSED ROAD WIDENING
  - HARD SURFACE PAVING. REFER TO LANDSCAPE PLAN FOR PATTERN AND TYPE
  - DEPRESSED CURB AND SIDEWALK TO CITY STANDARDS, REFER TO CIVIL
  - EXISTING STREET CURB AND SIDEWALK
  - SOFT LANDSCAPING, REFER TO LANDSCAPE PLAN
  - ASPHALT DRIVING SURFACE / PARKING LOT WITH BARRIER CURB
  - INTERNAL GARBAGE ROOM
  - 2.0m WIDE CONCRETE SIDEWALK
  - OUTLINE OF PRIVATE BALCONY ABOVE
  - OUTLINE OF TOWER ABOVE
  - STRUCTURAL SUPPORT FOR BUILDING ABOVE
  - VISITOR / SHORT TERM PARKING SPACE 2.6 x 5.2m
  - EXISTING TREE TO BE REMOVED
  - EXISTING STORM GRATE
  - EXISTING UTILITY KIOSK
  - PROPOSED SERVICES
  - RETAINING WALL, REFER TO CIVIL FOR HEIGHT
  - EXISTING CONCRETE / ASPHALT ISLAND
  - EXISTING UTILITY / LIGHT POLE
  - 1.2 X 1.8 CONCRETE PAD FOR GAS EQUIPMENT (GAS BLOW OFF)
  - 3.5 x 7.0m LOADING SPACE
  - SIAMESE CONNECTION
  - EXISTING CROSSWALK WITH DEPRESSED CURBS
  - EXISTING CONCRETE JERSEY BARRIER
  - EXISTING CONCRETE OVERPASS
  - GUARDRAIL WITH METAL PIPE RAILING
  - EXISTING FIRE HYDRANT
  - INTAKE / EXHAUST GRILL
  - BICYCLE PARKING SPACE WITH RACK
  - OUTLINE OF BELOW GRADE PARKING DECK
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  - GARAGE RAMP WALL
  - RELOCATE UTILITY / LIGHT POLE AS NEEDED
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  - PRIVACY FENCE
  - WASHED PEA-STONE SURFACE
  - DEPRESSED CURB
  - ACCESS TO INTERNAL CISTERN
  - REMOVABLE CONCRETE BOLLARDS
  - TACTILE STRIP AT SIDE WALKS



**2 RAMP SECTION**  
1 : 200

**1 FLOOR 01**  
1 : 200

PROJECT INFORMATION

Zoning By-law 2008-250 Consolidation

TD3

NET OVERALL SITE AREA BREAKDOWN

| AREA TYPE                        | m <sup>2</sup> | ACRE  |
|----------------------------------|----------------|-------|
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|---|--------------------|--------------------|
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| aisle & DRIVEWAY MINIMUM / MAXIMUM WIDTH                    | 6.0M/6.7M          | 6.7M               |

| GROSS BUILDING FLOOR AREA (OTTAWA ZONING DEFINITION) |                |          |
|--|----------------|----------|
| UG1  | m²             | ft²      |
| FLOOR 01   |                |          |
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| TYP. FLOOR PLATE                                     | 725.2          | 7,806    |

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|-----------------|--|-------|
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| 1B+D            |  | 82    |
| 2B              |  | 77    |
| 2B+D            |  | 61    |
| 3B              |  | 31    |
| TOTAL           |  | 309   |

| VEHICULAR PARKING SPACES REQUIRED- AREA 'Z' ON SCHEDULE 1A |   |    |  |
|--|---|----|--|
| VISITOR  | 0.1 SPACES PER UNIT AFTER 12 UNITS - MAX 30 | 30 |  |
| RESIDENTIAL  | N/A   | 0  |  |
| TOTAL  |   | 30 |  |

| VEHICULAR PARKING SPACES PROVIDED |                                  |     |  |
|-----------------------------------|----------------------------------|-----|--|
| VISITOR                           | 0.1 SPACES PER UNIT (309 UNITS)  | 30  |  |
| RESIDENTIAL                       | 0.56 SPACES PER UNIT (309 UNITS) | 177 |  |
| TOTAL                             |                                  | 207 |  |
| EXISTING SURFACE PARKING LOT      |                                  | 112 |  |
| TOTAL                             | 1.03 PER UNIT (309 UNITS)        | 319 |  |

| ACCESSIBLE PARKING SPACES REQUIRED - (NOT INCLUDING SURFACE PARKING) |  |   |
|--|--|---|
| TYPE 'A'   |  | 3 |
| TYPE 'B'   |  | 4 |
| TOTAL  |  | 7 |

| ACCESSIBLE PARKING SPACES PROVIDED - (NOT INCLUDING SURFACE PARKING) |  |   |
|--|--|---|
| TYPE 'A'   |  | 3 |
| TYPE 'B'   |  | 5 |
| TOTAL  |  | 8 |

|                                     |             |
|-------------------------------------|-------------|
| STANDARD PARKING SPACE              | 2.6m X 5.2m |
| PARALLEL PARKING SPACE              | 2.6m X 6.7m |
| SMALL PARKING SPACE                 | 2.4m X 4.6m |
| ACCESSIBLE PARKING SPACE ' TYPE A ' | 3.4m X 5.2m |
| ACCESSIBLE PARKING SPACE ' TYPE B ' | 2.4m X 5.2m |
| LOADING SPACE                       | 3.5m X 7.0m |

| BICYCLE PARKING SPACES REQUIRED |                          |
|---------------------------------|--------------------------|
| RESIDENTIAL                     | 0.5 PER UNIT (309 UNITS) |
| TOTAL                           | 155                      |

| BICYCLE PARKING SPACES PROVIDED |                          |     |
|---------------------------------|--------------------------|-----|
| RESIDENTIAL                     | INTERIOR                 | 309 |
|                                 | EXTERIOR                 | 0   |
| TOTAL                           | 1.0 PER UNIT (309 UNITS) | 309 |

| AMENITY AREA                  |         |        |
|-------------------------------|---------|--------|
|                               | m²      | ft²    |
| GRADE EXTERIOR - COMMUNAL     | 172.6   | 1,858  |
| INTERIOR - COMMUNAL           | 1,095.4 | 11,791 |
| 07F EXTERIOR - COMMUNAL       | 202.1   | 2,175  |
| TOTAL COMMUNAL                | 1,470.1 | 15,824 |
| BALCONIES / TERRACE - PRIVATE | 3,506.2 | 37,741 |
| TOTAL                         | 4,976.3 | 53,565 |

REQUIRED (309 UNITS X 6 m²) = 1,854 sq. m.  
REQUIRED COMMUNAL @ 50% = 927 sq. m.

| SITE COVERAGE      |         |       |
|--------------------|---------|-------|
|                    | m²      | %     |
| BUILDING FOOTPRINT | 1,815.4 | 34.1% |
| DRIVING SURFACE    | 1,260.5 | 23.7% |
| LANDSCAPE AREA     | 2,249.6 | 42.2% |
| TOTAL BUILDING A   | 5,325.5 | 100%  |

| REFUGE REQUIREMENT (309 UNITS) |                   |             |
|--------------------------------|-------------------|-------------|
|                                | COMPACTED RATIO   | CUBIC YARDS |
| GARBAGE                        | 0.053 yd³/UNIT    | 17          |
| RECYCLING GMP                  | 0.018 yd³/UNIT    | 6           |
| RECYCLING FIBER                | 0.038 yd³/UNIT    | 12          |
| COMPOST                        | 240L PER 50 UNITS | 7 BINS      |

# TURNER FLEISCHER

Turner Fleischer Architects Inc.  
67 Lesmill Road  
Toronto, ON, M5B 2T8  
T 416 425 2222  
turnerfleischer.com

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| SITE PLAN SYMBOLS |                                |
|-------------------|--------------------------------|
| ↑                 | PRIMARY RESIDENTIAL ENTRANCE   |
| △                 | SECONDARY RESIDENTIAL ENTRANCE |
| ▲                 | EXIT                           |
| ⊙                 | FIRE HYDRANT                   |
| ⋈                 | SIAMESE CONNECTION             |
| ◊                 | CONVEX MIRROR                  |
| ⬤                 | SPOT ELEVATION                 |
| Ⓢ                 | GAS/HYDRO METER                |

REFER TO LANDSCAPE DRAWINGS FOR SURFACE TREATMENT

| MINIMUM PERMITTED PARKING DIMENSIONS              |  |
|---|--|
| TYPICAL PARKING DIMENSIONS                        |  |
| AISLE WIDTH: MIN 6.7m                             |  |
| TYPICAL PARKING SPACE: MIN 2.6 x 5.2 x 2.1 m HIGH |  |
|   |  |
| TYPICAL BARRIER FREE SPACE                        |  |
| MIN 3.66 x 5.2 x 2.1m HIGH                        |  |
|   |  |

|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION      | AYU |
| # | DATE       | DESCRIPTION                      | BY  |

**Morguard**

PROJECT  
**500 COVENTRY ROAD**  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWING  
**FLOOR 01**

|                              |  |
|------------------------------|--|
| PROJECT NO.<br>18.050 P01    |  |
| PROJECT DATE<br>2025-02-26   |  |
| DRAWN BY<br>DRO              |  |
| CHECKED BY<br>AYU            |  |
| SCALE<br>1:200               |  |
| DRAWING NO.<br><b>SPA151</b> |  |
| REV<br><b>3</b>              |  |

2025-02-25 4:58:02 PM





6-STOREY OFFICE BLDG.

|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION      | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

**FLOOR 02**

|                            |  |
|----------------------------|--|
| PROJECT NO.<br>18.050 P01  |  |
| PROJECT DATE<br>2025-02-26 |  |
| DRAWN BY<br>DRO            |  |
| CHECKED BY<br>AYU          |  |
| SCALE<br>1 : 200           |  |

|  |                              |                  |
|--|------------------------------|------------------|
|  | DRAWING NO.<br><b>SPA152</b> | REV.<br><b>3</b> |
|--|------------------------------|------------------|





6-STOREY OFFICE BLDG.

|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION      | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
  
**FLOOR 03 - 05**

|                            |  |
|----------------------------|--|
| PROJECT NO.<br>18.050 P01  |  |
| PROJECT DATE<br>2025-02-26 |  |
| DRAWN BY<br>DRO            |  |
| CHECKED BY<br>AYU          |  |
| SCALE<br>1 : 200           |  |

|                              |                  |
|------------------------------|------------------|
| DRAWING NO.<br><b>SPA153</b> | REV.<br><b>3</b> |
|------------------------------|------------------|





|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION      | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWING  
**FLOOR 06**

|                            |  |
|----------------------------|--|
| PROJECT NO.<br>18.050 P01  |  |
| PROJECT DATE<br>2025-02-26 |  |
| DRAWN BY<br>DRO            |  |
| CHECKED BY<br>AYU          |  |
| SCALE<br>1 : 200           |  |

|                              |                  |
|------------------------------|------------------|
| DRAWING NO.<br><b>SPA154</b> | REV.<br><b>3</b> |
|------------------------------|------------------|



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PROJECT

**500 COVENTRY ROAD**

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING

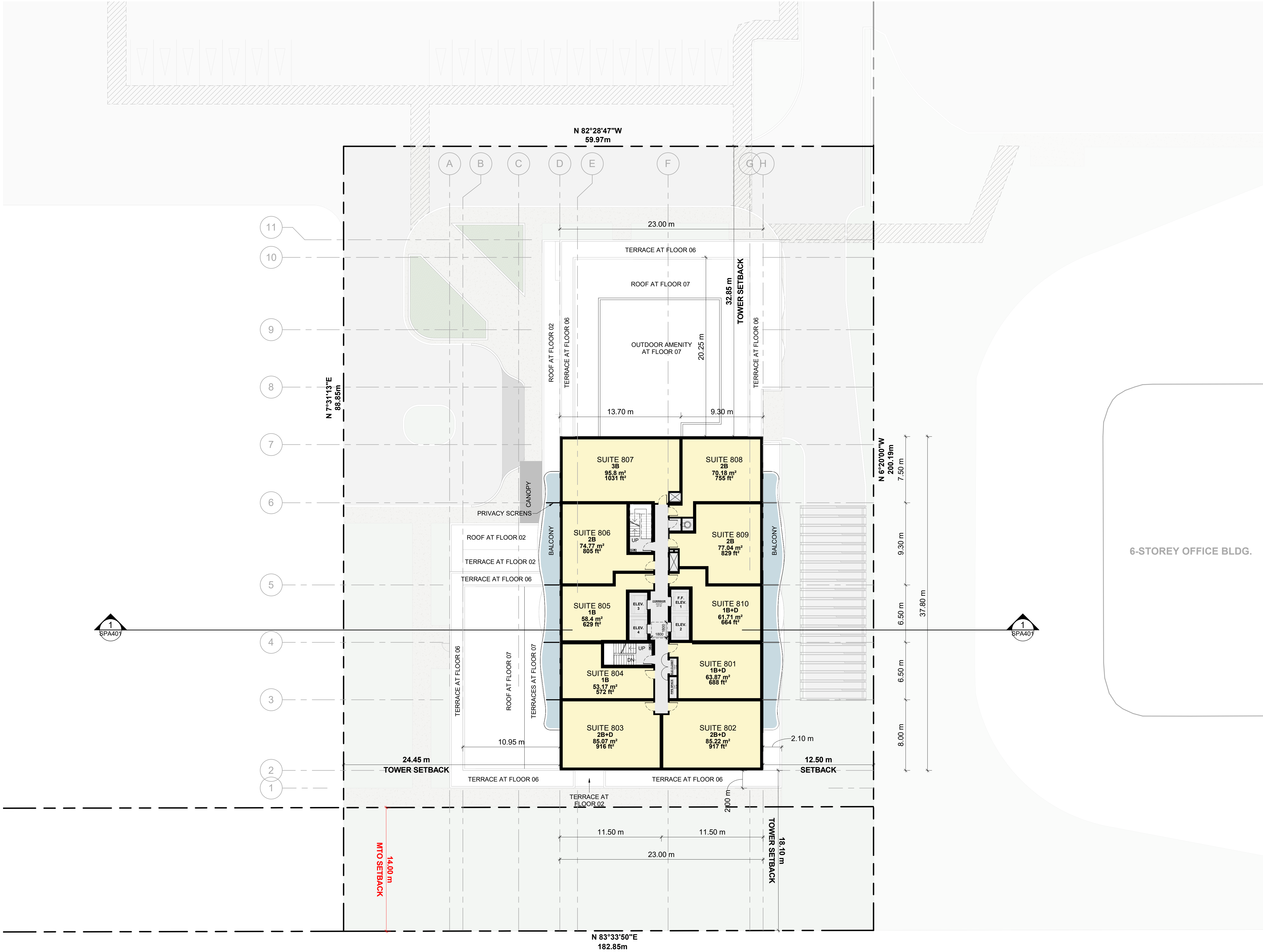
**FLOOR 07**

|                            |  |
|----------------------------|--|
| PROJECT NO.<br>8.050 P01   |  <p>ONTARIO ASSOCIATION<br/>OF<br/>ARCHITECTS<br/>RUSSELL L. FLEISCHER<br/>LICENCE<br/>5004</p> |
| PROJECT DATE<br>2025-02-26 |  |
| DRAWN BY<br>JERO           |  |
| CHECKED BY<br>YU           |  |
| SCALE<br>1 : 200           |  |
|                            |  |



|                              |                  |
|------------------------------|------------------|
| DRAWING NO.<br><b>SPA155</b> | REV.<br><b>3</b> |
|------------------------------|------------------|





|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION      | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



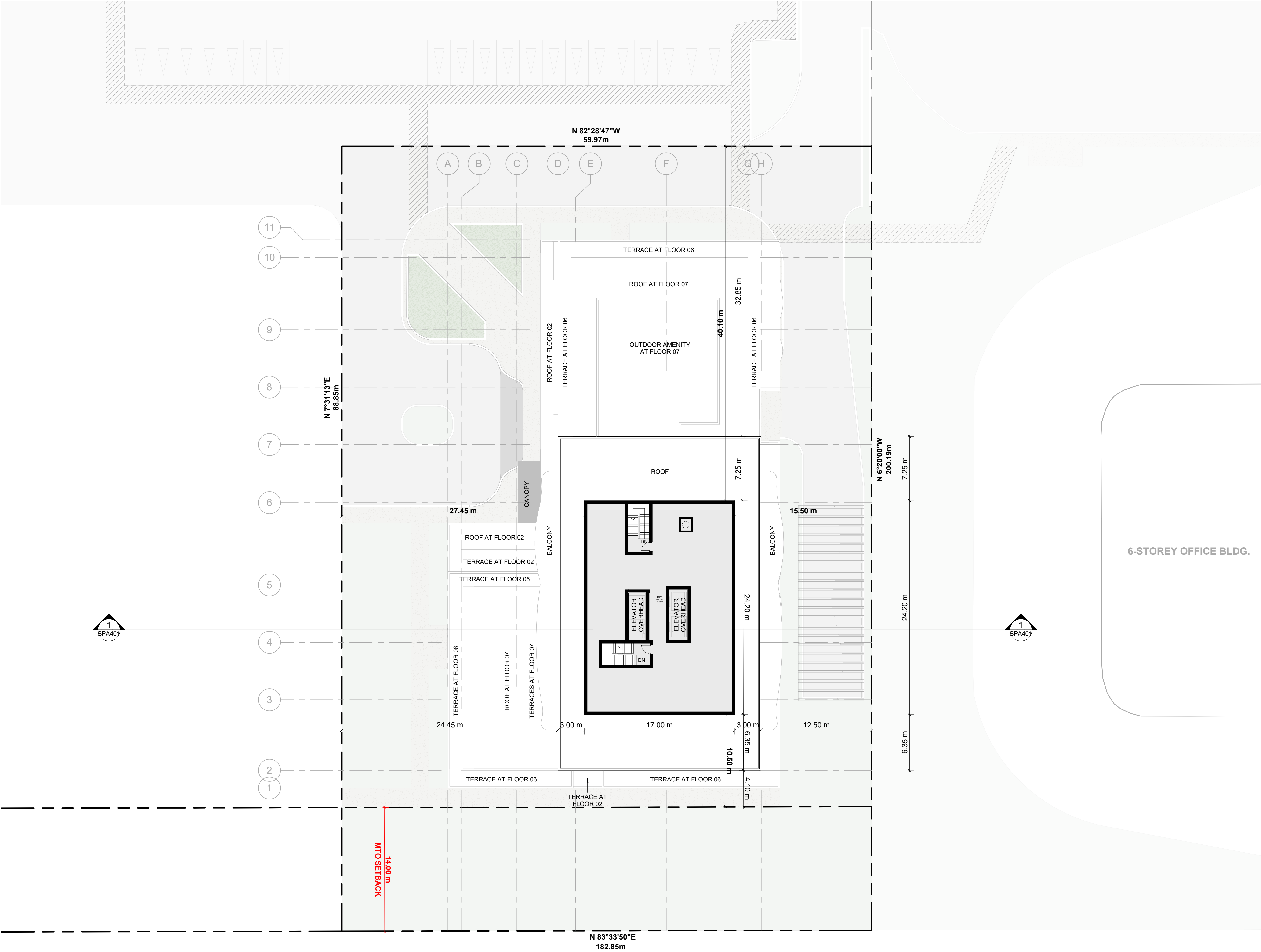
PROJECT  
**500 COVENTRY ROAD**  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
**FLOOR 08 - 28**

|                            |  |
|----------------------------|--|
| PROJECT NO.<br>18.050 P01  |  |
| PROJECT DATE<br>2025-02-26 |  |
| DRAWN BY<br>DRO            |  |
| CHECKED BY<br>AYU          |  |
| SCALE<br>1 : 200           |  |

|  |                              |                  |
|--|------------------------------|------------------|
|  | DRAWING NO.<br><b>SPA156</b> | REV.<br><b>3</b> |
|--|------------------------------|------------------|





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|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION      | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
  
**MPH**

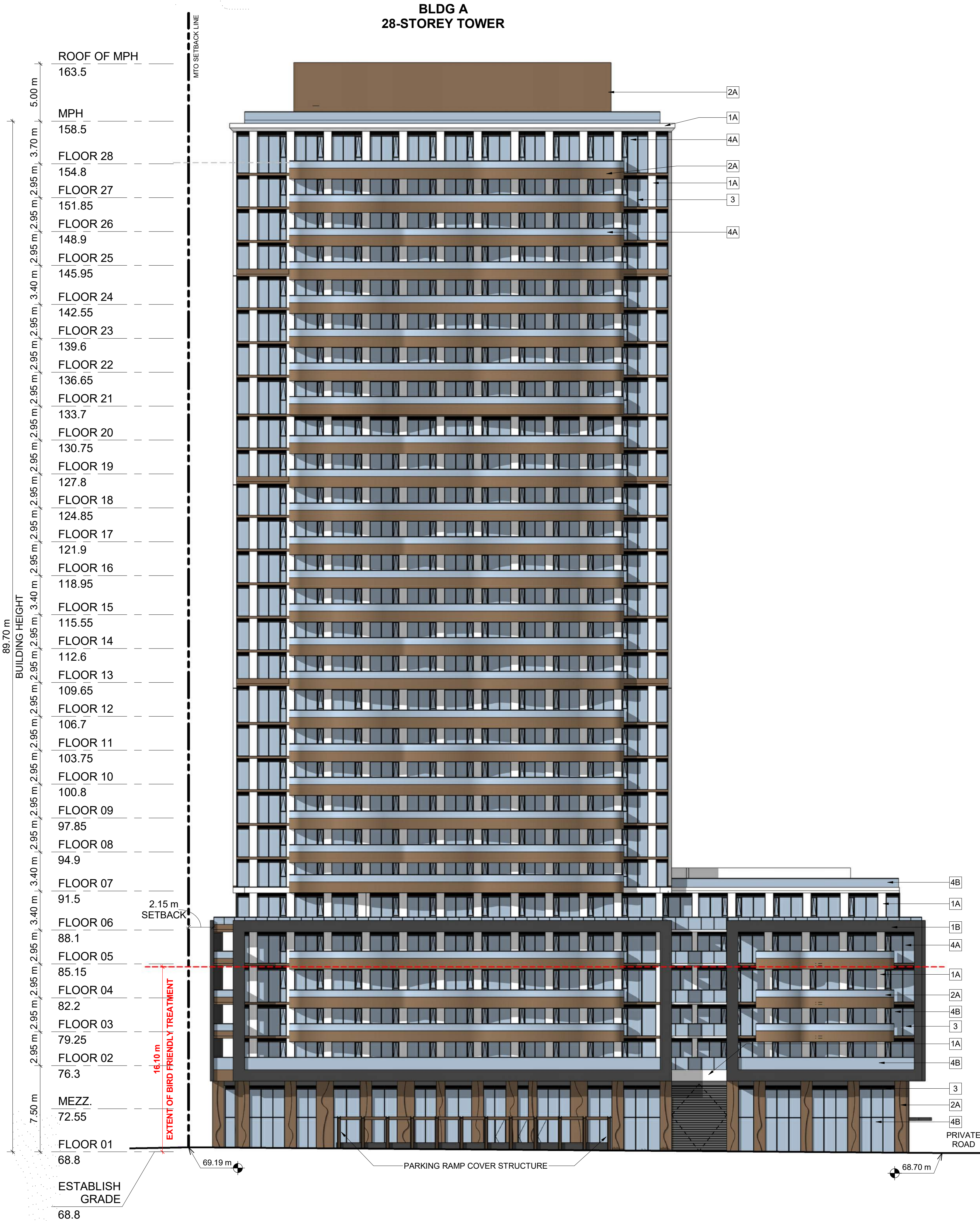
|                              |                  |
|------------------------------|------------------|
| PROJECT NO.<br>18.050 P01    |                  |
| PROJECT DATE<br>2025-02-26   |                  |
| DRAWN BY<br>DRO              |                  |
| CHECKED BY<br>AYU            |                  |
| SCALE<br>1 : 200             |                  |
| DRAWING NO.<br><b>SPA157</b> | REV.<br><b>3</b> |



2025-02-25 3:46:24 PM

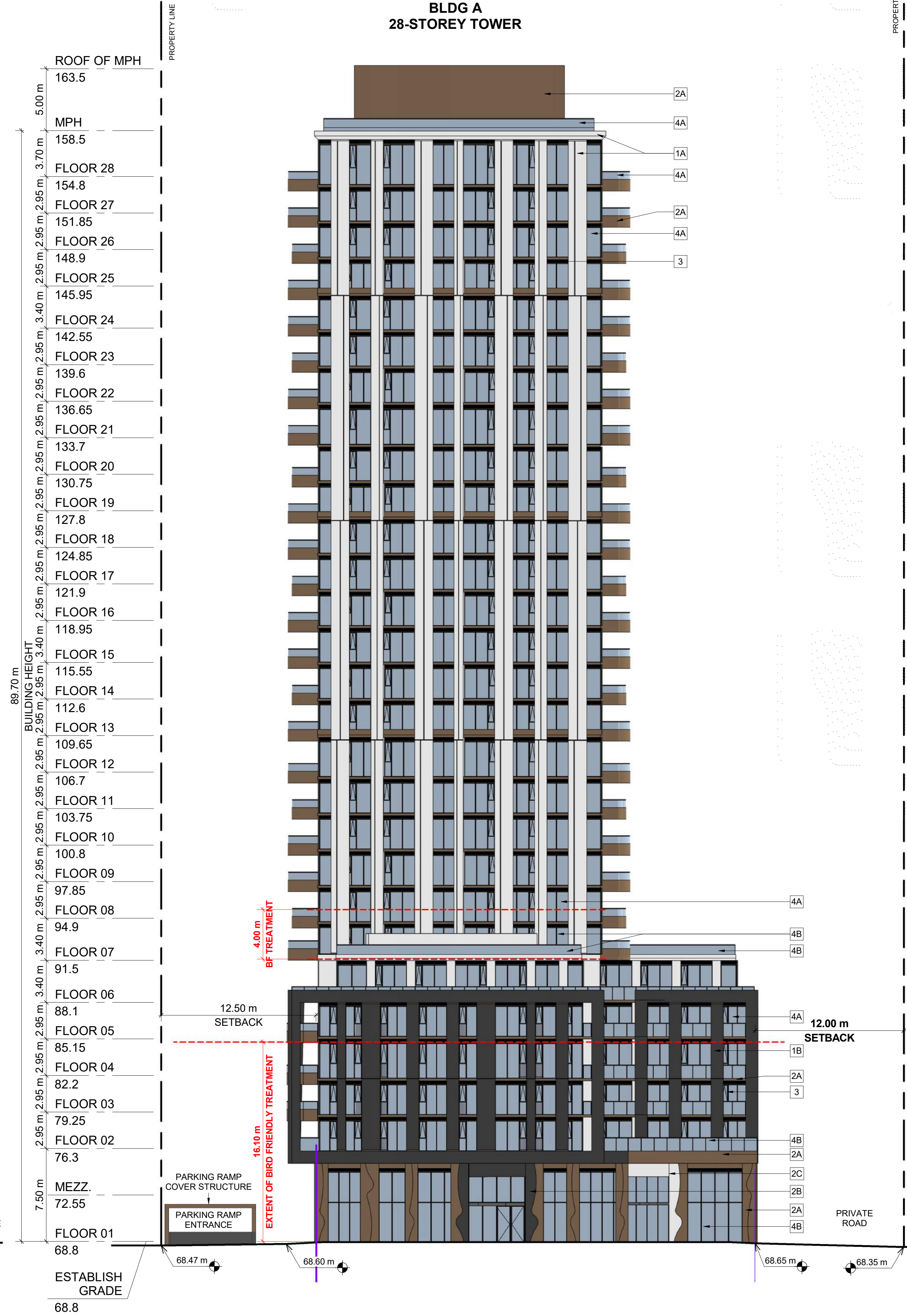
1  
SPA301

EAST Elevation  
1 : 200



2  
SPA301

NORTH Elevation  
1 : 200



# TURNER FLEISCHER

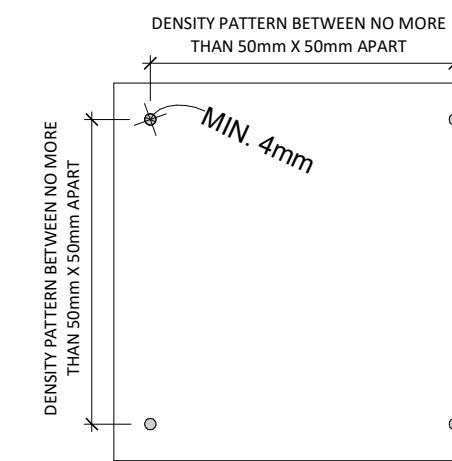
Turner Fleischer Architects Inc.  
67 Leslie Road  
Toronto, ON, M5B 2T8  
T 416 425 2222  
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| EXTERIOR FINISH LEGEND |                             |
|------------------------|-----------------------------|
| 1A                     | PRECAST CONCRETE - WHITE    |
| 1B                     | PRECAST CONCRETE - BLACK    |
| 2A                     | METAL PANEL - BRONZE        |
| 2B                     | METAL PANEL - BLACK         |
| 2C                     | METAL PANEL - WHITE         |
| 3                      | METAL MULLIONS - LIGHT GREY |
| 4A                     | CLEAR GLAZING               |
| 4B                     | FRITTED GLASS               |
| 5                      | SPANDREL GLASS - LIGHT GREY |

GENERAL NOTES IN ACCORDANCE WITH THE BIRD-SAFE DESIGN GUIDELINES (FIRST 16 METERS ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER):

- PROVISION OF VISUAL MARKERS  
VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED.  
METHODS OF ACHIEVING THIS ARE AS FOLLOWS:
- HIGH COLOUR CONTRAST TO THE GLASS SURFACE.
  - MUST BE APPLIED TO THE EXTERIOR (FIRST) SURFACE OF THE GLASS.
  - VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 50mm x 50mm.
  - INDIVIDUAL MARKER ELEMENTS SHOULD BE A MINIMUM OF 4 MM DIAMETER, OR 2 MM WIDE BY 8 MM LONG FOR LINEAR ELEMENTS.
  - LOW REFLECTANCE OR OPAQUE MATERIALS
  - BUILDING-INTERGRADED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES.



DETAIL NOTES:

FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 50mm X 50mm APART FOR THE FIRST 16M ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER)

|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION      | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
**ELEVATIONS**

|                            |  |
|----------------------------|--|
| PROJECT NO.<br>18.050 P01  | ONTARIO ASSOCIATION<br>OF<br>ARCHITECTS<br>RUSSELL L. FLEISCHER<br>LICENCE<br>5004 |
| PROJECT DATE<br>2025-02-26 |  |
| DRAWN BY<br>DRO            |  |
| CHECKED BY<br>AYU          |  |
| SCALE<br>1:200             |  |

DRAWING NO.  
**SPA301**

REV.  
**3**





# TURNER FLEISCHER

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turnerfleischer.com

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## EXTERIOR FINISH LEGEND

|    |                             |
|----|-----------------------------|
| 1A | PRECAST CONCRETE - WHITE    |
| 1B | PRECAST CONCRETE - BLACK    |
| 2A | METAL PANEL - BRONZE        |
| 2B | METAL PANEL - BLACK         |
| 2C | METAL PANEL - WHITE         |
| 3  | METAL MULLIONS - LIGHT GREY |
| 4A | CLEAR GLAZING               |
| 4B | FRITTED GLASS               |
| 5  | SPANDREL GLASS - LIGHT GREY |

**GENERAL NOTES IN ACCORDANCE WITH THE BIRD-SAFE DESIGN GUIDELINES (FIRST 16 METERS ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER):**

**PROVISION OF VISUAL MARKERS**  
VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED.  
METHODS OF ACHIEVING THIS ARE AS FOLLOWS:

- HIGH COLOUR CONTRAST TO THE GLASS SURFACE.
- MUST BE APPLIED TO THE **EXTERIOR (FIRST) SURFACE OF THE GLASS.**
- VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 50mm x 50mm.
- INDIVIDUAL MARKER ELEMENTS SHOULD BE A MINIMUM OF 4 MM DIAMETER, OR 2 MM WIDE BY 8 MM LONG FOR LINEAR ELEMENTS.
- LOW REFLECTANCE OR OPAQUE MATERIALS
- BUILDING-INTERGRADED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES.

DENSITY PATTERN BETWEEN NO MORE THAN 50mm x 50mm APART

MIN. 4mm

DENSITY PATTERN BETWEEN NO MORE THAN 50mm x 50mm APART

**DETAIL NOTES:**


FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 50mm x 50mm APART FOR THE FIRST 16M ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER)

|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION      | AYU |
| # | DATE       | DESCRIPTION                      | BY  |

## Morguard

PROJECT  
**500 COVENTRY ROAD**  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
**ELEVATIONS**

|                            |   |                  |
|----------------------------|---|------------------|
| PROJECT NO.<br>18.050 P01  |  |                  |
| PROJECT DATE<br>2025-02-26 |   |                  |
| DRAWN BY<br>DRO            |   |                  |
| CHECKED BY<br>AYU          |   |                  |
| SCALE<br>1:200             | DRAWING NO.<br><b>SPA302</b>  | REV.<br><b>3</b> |



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|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION      | AYU |
| # | DATE       | DESCRIPTION                      | BY  |

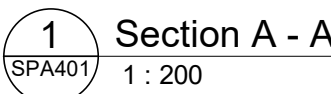


DRAWING

**SECTION A - A**

|                            |  |
|----------------------------|--|
| PROJECT NO.<br>18.050 P01  |  |
| PROJECT DATE<br>2025-02-26 |  |
| DRAWN BY<br>DRO            |  |
| CHECKED BY<br>AYU          |  |
| SCALE<br>1 : 200           |  |

|             |      |
|-------------|------|
| DRAWING NO. | REV. |
| SPA401      | 3    |







VIEW FROM TRANS-CANADA HWY LOOKING NORTH WEST

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|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2025-03-25 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
  
**3D PERSPECTIVES**

PROJECT NO.  
18.050 P01

PROJECT DATE  
2025-02-26

DRAWN BY  
DRO

CHECKED BY  
AYU

SCALE

ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
RUSSELL L. FLEISCHER  
LICENCE  
5004

DRAWING NO.  
**SPA801**

REV.  
**2**





VIEW FROM TRANS-CANADA HWY LOOKING NORTH EAST

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|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2025-03-25 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
  
**3D PERSPECTIVES**

|                            |  |                              |                  |
|----------------------------|--|------------------------------|------------------|
| PROJECT NO.<br>18.050 P01  |  | DRAWING NO.<br><b>SPA802</b> | REV.<br><b>2</b> |
| PROJECT DATE<br>2025-02-26 |  |                              |                  |
| DRAWN BY<br>DRO            |  |                              |                  |
| CHECKED BY<br>AYU          |  |                              |                  |
| SCALE                      |  |                              |                  |





VIEW FROM TRANS-CANADA HWY LOOKING NORTH

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|   |            |                                  |     |
|---|------------|----------------------------------|-----|
| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2025-03-25 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
  
**3D PERSPECTIVE**

|                            |  |                              |                  |
|----------------------------|--|------------------------------|------------------|
| PROJECT NO.<br>18.050 P01  |  | DRAWING NO.<br><b>SPA803</b> | REV.<br><b>2</b> |
| PROJECT DATE<br>2025-02-26 |  |                              |                  |
| DRAWN BY<br>DRO            |  |                              |                  |
| CHECKED BY<br>AYU          |  |                              |                  |
| SCALE                      |  |                              |                  |





VIEW LOOKING SOUTH WEST FROM EXISTING BUS STOP

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| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2025-03-25 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
  
**3D PERSPECTIVES**

|                            |  |                              |                  |
|----------------------------|--|------------------------------|------------------|
| PROJECT NO.<br>18.050 P01  |  | DRAWING NO.<br><b>SPA804</b> | REV.<br><b>2</b> |
| PROJECT DATE<br>2025-02-26 |  |                              |                  |
| DRAWN BY<br>DRO            |  |                              |                  |
| CHECKED BY<br>AYU          |  |                              |                  |
| SCALE                      |  |                              |                  |
|                            |  |                              |                  |





VIEW LOOKING EAST FROM PHASE 2

# TURNER FLEISCHER

Turner Fleischer Architects Inc.  
67 Leslie Road  
Toronto, ON, M5B 2T8  
T 416 425 2222  
turnerfleischer.com

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| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION      | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
  
**3D PERSPECTIVES**

|                            |  |
|----------------------------|--|
| PROJECT NO.<br>18.050 P01  |  |
| PROJECT DATE<br>2025-02-26 |  |
| DRAWN BY<br>DRO            |  |
| CHECKED BY<br>AYU          |  |
| SCALE                      |  |

DRAWING NO.  
**SPA805**

REV.  
**3**





VIEW LOOKING WEST FROM EXISTING 6-STOREY OFFICE BUILDING

# TURNER FLEISCHER

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67 Leslie Road  
Toronto, ON, M5B 2T8  
T 416 425 2222  
turnerfleischer.com

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| 3 | 2025-04-04 | ISSUED FOR SITE PLAN APPROVAL #2 | AYU |
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION      | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
  
**3D PERSPECTIVES**

|                            |  |
|----------------------------|--|
| PROJECT NO.<br>18.050 P01  |  |
| PROJECT DATE<br>2025-02-26 |  |
| DRAWN BY<br>DRO            |  |
| CHECKED BY<br>AYU          |  |
| SCALE                      |  |

DRAWING NO.  
**SPA806**

REV.  
**3**





VIEW LOOKING TOWARDS MAIN ENTRANCE AND DROP-OFF AREA

# TURNER FLEISCHER

Turner Fleischer Architects Inc.  
67 Leslie Road  
Toronto, ON, M5B 2T8  
T 416 425 2222  
turnerfleischer.com

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| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
  
**3D PERSPECTIVES**

|                            |  |
|----------------------------|--|
| PROJECT NO.<br>18.050 P01  |  |
| PROJECT DATE<br>2025-02-26 |  |
| DRAWN BY<br>DRO            |  |
| CHECKED BY<br>AYU          |  |
| SCALE                      |  |

DRAWING NO.  
**SPA807**

REV.  
**2**





VIEW FROM TRANS-CANADA HWY LOOKING NORTH EAST

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| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
  
**3D PERSPECTIVES**

|                            |  |                              |                  |
|----------------------------|--|------------------------------|------------------|
| PROJECT NO.<br>18.050 P01  |  | DRAWING NO.<br><b>SPA808</b> | REV.<br><b>2</b> |
| PROJECT DATE<br>2025-02-26 |  |                              |                  |
| DRAWN BY<br>DRO            |  |                              |                  |
| CHECKED BY<br>AYU          |  |                              |                  |
| SCALE                      |  |                              |                  |





VIEW LOOKING SOUTH WEST TOWARDS THE PARKING RAMP COVER STRUCTURE

2025-02-25 3:46:38 PM

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| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
  
**3D PERSPECTIVES - PARKING RAMP**

PROJECT NO.  
18.050 P01

PROJECT DATE  
2025-02-26

DRAWN BY  
DRO

CHECKED BY  
AYU

SCALE

A circular stamp from the Ontario Association of Architects. It contains the text "ONTARIO ASSOCIATION OF ARCHITECTS" around the perimeter and "RUSSELL L. FLEISCHER LICENCE 5004" in the center, with a signature over it.

DRAWING NO.  
**SPA809**

REV.  
**2**





VIEW LOOKING WEST TOWARDS THE PARKING RAMP COVER STRUCTURE

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| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL    | AYU |
| # | DATE       | DESCRIPTION                      | BY  |



PROJECT  
**500 COVENTRY ROAD**  
  
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS  
  
**3D PERSPECTIVES - PARKING RAMP**

|                            |   |
|----------------------------|---|
| PROJECT NO.<br>18.050 P01  | The seal of the Ontario Association of Architects, featuring a circular design with the text "ONTARIO ASSOCIATION OF ARCHITECTS" and a signature in the center. |
| PROJECT DATE<br>2025-02-26 |   |
| DRAWN BY<br>DRO            |   |
| CHECKED BY<br>AYU          |   |
| SCALE                      |   |