

500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

18.050 P01

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| SPA005C | SITE PLAN / ROOF PLAN |
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| SPA802 | 3D PERSPECTIVES |
| SPA803 | 3D PERSPECTIVE |
| SPA804 | 3D PERSPECTIVES |
| SPA805 | 3D PERSPECTIVES |
| SPA806 | 3D PERSPECTIVES |
| SPA807 | 3D PERSPECTIVES |
| SPA808 | 3D PERSPECTIVES |
| SPA809 | 3D PERSPECTIVES - PARKING RAMP |
| SPA810 | 3D PERSPECTIVES - PARKING RAMP |
| SPA811 | JUNE SHADOW STUDIES |
| SPA812 | JUNE SHADOW STUDIES |
| SPA813 | JUNE SHADOW STUDIES |
| SPA814 | JUNE SHADOW STUDIES |
| SPA815 | JUNE SHADOW STUDIES |
| SPA816 | JUNE SHADOW STUDIES |
| SPA817 | JUNE SHADOW STUDIES |
| SPA818 | SEPTEMBER SHADOW STUDIES |
| SPA819 | SEPTEMBER SHADOW STUDIES |
| SPA820 | SEPTEMBER SHADOW STUDIES |
| SPA821 | SEPTEMBER SHADOW STUDIES |
| SPA822 | SEPTEMBER SHADOW STUDIES |
| SPA823 | SEPTEMBER SHADOW STUDIES |
| SPA824 | DECEMBER SHADOW STUDIES |
| SPA825 | DECEMBER SHADOW STUDIES |
| SPA826 | DECEMBER SHADOW STUDIES |
| SPA827 | DECEMBER SHADOW STUDIES |



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ISSUED FOR SITE PLAN APPROVAL
NOVEMBER 01, 2024

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This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of all relevant laws and regulations. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from the work.

The site plan prepared by Turner Fleischer is based on a legal survey showing the boundaries of the lands together with the current location of any existing buildings, features or encroachments prepared by Annis O'Sullivan, Vollebakk Ltd.

TOPOGRAPHIC PLAN OF SURVEY OF

LOT 1
REGISTERED PLAN 747
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 400

Metric
DISTANCES AND COORDINATES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE CONVERTED TO FEET BY
DIVIDING BY 0.3048.

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 19th day of May, 2023.
Date May 23, 2023
V. Andrew Rempel
Ontario Land Surveyor

Notes & Legend

- Denotes
- Survey Monument Planted
 - Survey Monument Found
 - Standard Iron Bar
 - Short Standard Iron Bar
 - Witness
 - Measured
 - Annis, O'Sullivan, Vollebakk Ltd.
 - Registered Plan 747
 - Plan 55-3157
 - Plan 45-17039
 - (AOG) Plan dated June 14, 1995 (ADV Ref. 0-180-95)
 - Plan 45-12250
 - Plan 55-5421
 - Fire Hydrant
 - Water Valve
 - Water Stand Post
 - Maintenance Hole (Storm Sewer)
 - Maintenance Hole (Sanitary)
 - Maintenance Hole (Bell Telephone)
 - Maintenance Hole (Hydro)
 - Catch Basin
 - Catch Basin Inlet
 - M-W
 - Monitoring Well
 - Handhole
 - Cable Terminal Box
 - Sign
 - Chain Link Fence
 - Board Fence
 - Gate
 - Metall Pole
 - Utility Pole
 - Anchor
 - Light Standard
 - Deciduous Tree
 - Coniferous Tree
 - Shrub
 - Diameter
 - Location of Elevations
 - Top of Concrete Curb Elevation
 - Centreline
 - Property Line
 - Multiple trees

SITE AREA = 34,661 m²

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 01915880105 and 019158434791, MTM Zone 9 (75°30' West Longitude) NAD-83 (original).

For comparison purposes, bearings shown on Plans (P), (P1) & (P3) are astronomic bearings.

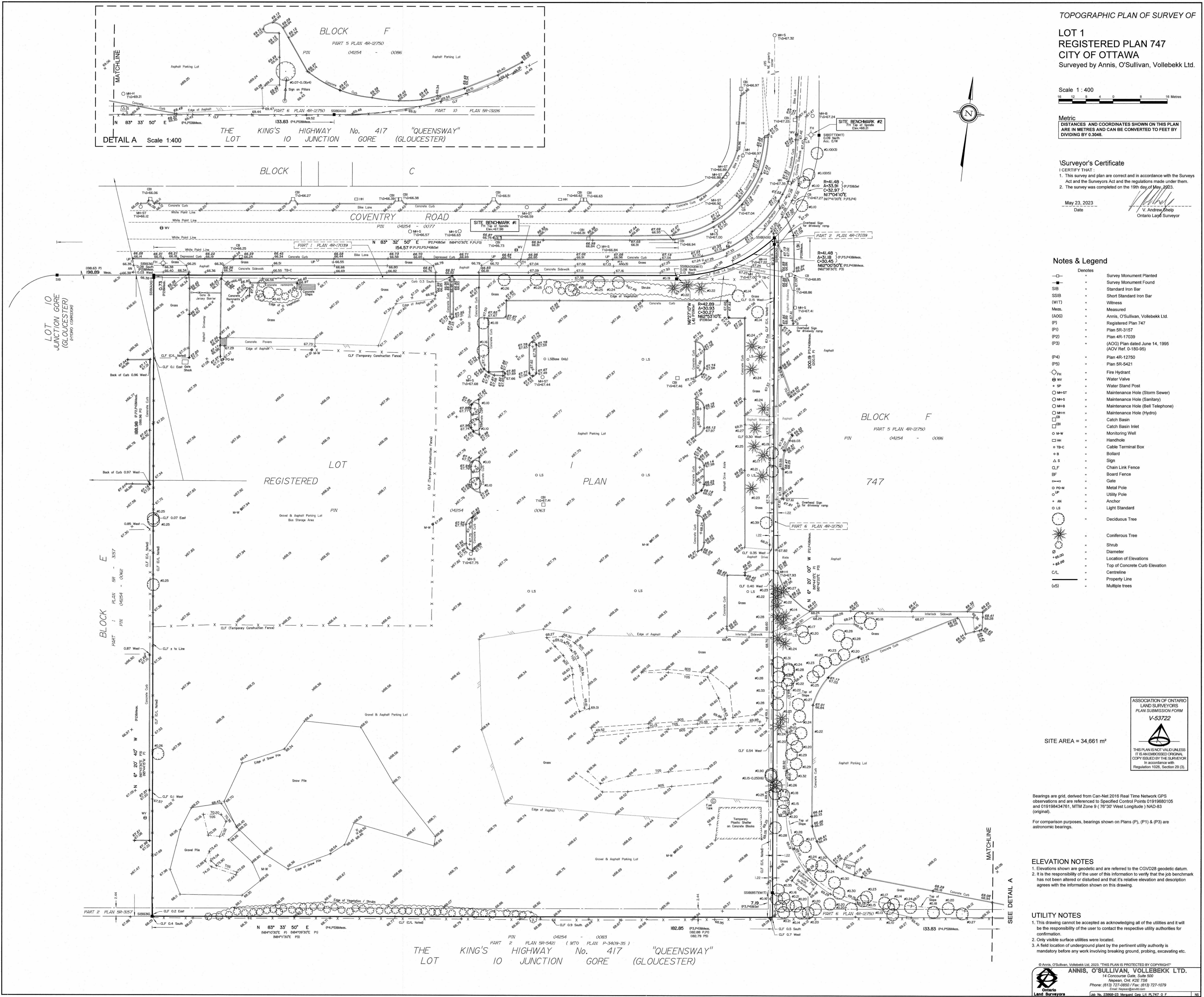
ELEVATION NOTES

- Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- Only visible surface utilities were located.
- A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

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| | | | |
|---|------------|-------------------------------|------|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | IAVU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | ATU |
| # | DATE | DESCRIPTION | BY |

Morguard

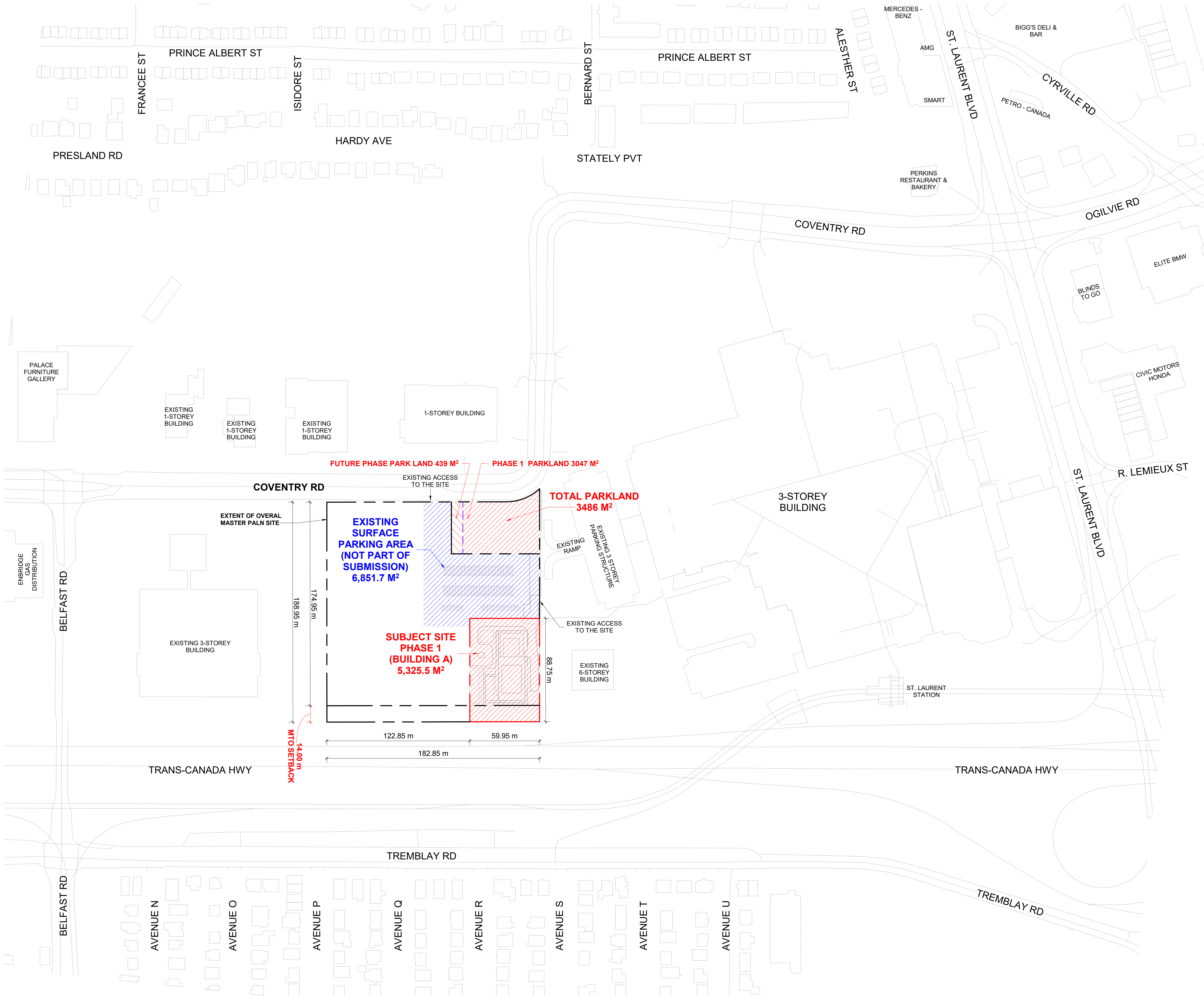
PROJECT
500 COVENTRY ROAD
500 COVENTRY ROAD, OTTAWA, ON.

DRAWING
SURVEY

| | |
|--------------|------------|
| PROJECT NO. | 18.050 P01 |
| PROJECT DATE | 2024-09-13 |
| DRAWN BY | |
| CHECKED BY | |
| SCALE | |

DRAWING NO. SPA001
REV. 2

2024-10-28 2:24:46 PM



1 CONTEXT PLAN
1 : 1500

TURNER FLEISCHER

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| | | | |
|---|------------|-------------------------------|-----|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING
CONTEXT PLAN

| | |
|------------------------------|------------------|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU / MDM | |
| SCALE 1 : 1500 | |
| | |
| DRAWING NO. SPA004 | REV. 2 |

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SITE PLAN SYMBOLS

| | |
|--|--|
| | PRIMARY RESIDENTIAL ENTRANCE |
| | SECONDARY RESIDENTIAL ENTRANCE |
| | EXIT |
| | FIRE HYDRANT |
| | SIAMESE CONNECTION |
| | CONVEX MIRROR |
| | SPOT ELEVATION |
| | GAS/HYDRO METER |
| | PRIVATE ROAD |
| | PRIVATE ROAD - INTERNAL |
| | PARKLAND |
| | SOFT LANDSCAPING |
| | GREEN ROOF / AMENITY |
| | TWO-WAY CYCLE PATH |
| | OUTDOOR TERRACE |
| | SIDEWALK |
| | TWSI - AT PEDESTRIAN AND CYCLING CROSSINGS |
| | TOWNHOUSES AT GRADE |
| | EXTENT OF UNDERGROUND PARKING BELOW |

REFER TO LANDSCAPE DRAWINGS FOR SURFACE TREATMENT

| | | | |
|---|------------|-------------------------------|------|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | IAJU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | ATU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

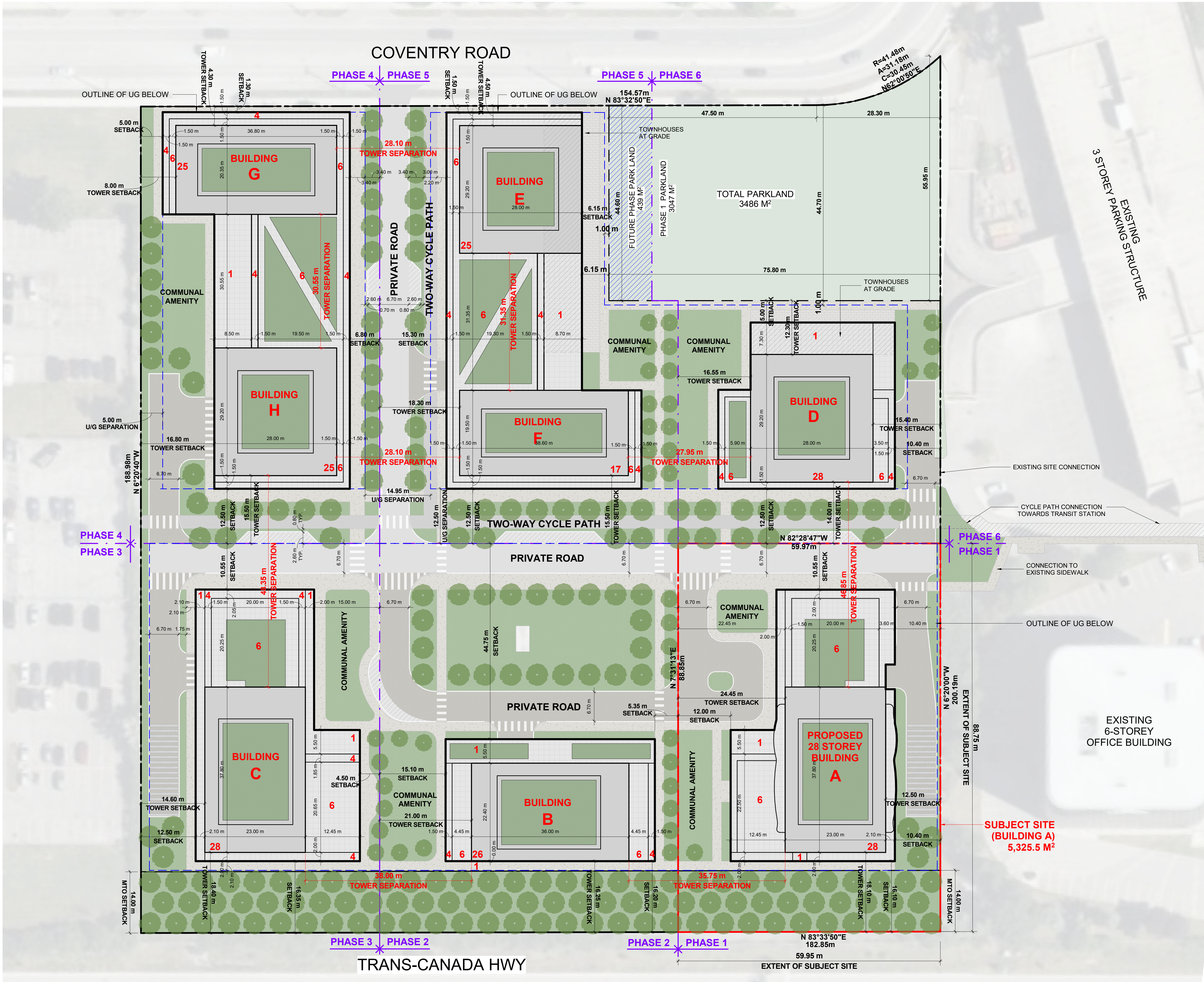
500 COVENTRY ROAD, OTTAWA, ON.

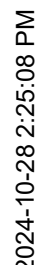
DRAWINGS
MASTERPLAN / CONCEPT PLAN

| | |
|----------------------------|--|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU / MDM | |
| SCALE 1:400 | |

DRAWING NO.
SPA005A

REV.
2



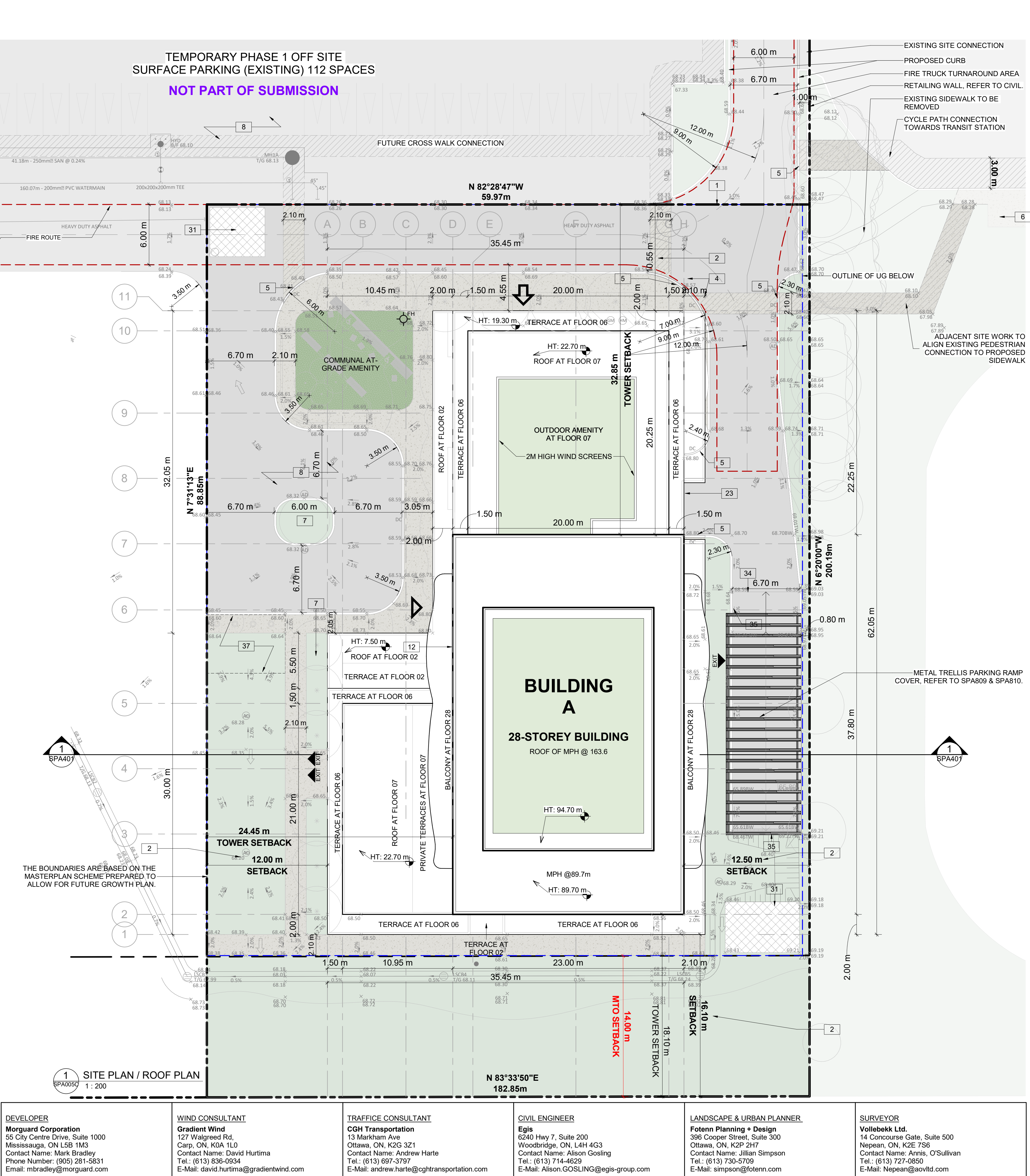


PART 2 PLAN 5r-5421 (mto plan p-3409-35)

| | | |
|---|-------------|------|
|  | DRAWING NO. | REV. |
| | SPA005B | 2 |



- DRAWINGS NOTES**
- PROPERTY LINE
 - BUILDING SETBACKS
 - PROPOSED ROAD WIDENING
 - HARD SURFACE PAVING, REFER TO LANDSCAPE PLAN FOR PATTERN AND TYPE
 - DEPRESSED CURB AND SIDEWALK TO CITY STANDARDS, REFER TO CIVIL
 - EXISTING STREET CURB AND SIDEWALK
 - SOFT LANDSCAPING, REFER TO LANDSCAPE PLAN
 - ASPHALT DRIVING SURFACE / PARKING LOT WITH BARRIER CURB
 - INTERNAL GARBAGE ROOM
 - 2.0m WIDE CONCRETE SIDEWALK
 - OUTLINE OF PRIVATE BALCONY ABOVE
 - OUTLINE OF TOWER ABOVE
 - STRUCTURAL SUPPORT FOR BUILDING ABOVE
 - VISITOR / SHORT TERM PARKING SPACE 2.6 x 5.2m
 - EXISTING TREE TO BE REMOVED
 - EXISTING STORM GRATE
 - EXISTING UTILITY KIOSK
 - PROPOSED SERVICES
 - RETAINING WALL, REFER TO CIVIL FOR HEIGHT
 - EXISTING CONCRETE / ASPHALT ISLAND
 - EXISTING UTILITY / LIGHT POLE
 - 1.2 X 1.8 CONCRETE PAD FOR GAS EQUIPMENT (GAS BLOW OFF)
 - 3.5 x 7.0m LOADING SPACE
 - SIAMESE CONNECTION
 - EXISTING CROSSWALK WITH DEPRESSED CURBS
 - EXISTING CONCRETE JERSEY BARRIER
 - EXISTING CONCRETE OVERPASS
 - GUARDRAIL WITH METAL PIPE RAILING
 - EXISTING FIRE HYDRANT
 - INTAKE / EXHAUST GRILL
 - BICYCLE PARKING SPACE WITH RACK
 - OUTLINE OF BELOW GRADE PARKING DECK
 - HEATED GARAGE RAMP WITH TRENCH DRAIN
 - GARAGE RAMP WALL
 - RELOCATE UTILITY / LIGHT POLE AS NEEDED
 - TEMPORARY SNOW STORAGE. SNOW WILL BE REMOVED FROM THE SITE AS REQUIRED
 - PRIVACY FENCE
 - WASHED PEA-STONE SURFACE
 - DEPRESSED CURB
 - ACCESS TO INTERNAL CISTERN



| | | | | |
|---|--|--|---|-----------------------------------|
| PROJECT INFORMATION Zoning By-law 2008-250 Consolidation NET OVERALL SITE AREA BREAKDOWN AREA TYPE SITE AREA - BLDG A TOTAL PARKLAND AREA | | | TD3 m ² ft ² | |
| TEMPORARY OFF SITE PARKING (PHASE 1) | | | | |
| PHASE 1 SURFACE PARKING | | | 6,851.7 | 73,751.1 |
| ZONING | | | | |
| BUILDING HEIGHT | | | REQUIRED 30 STOREYS / 90.0M | PROVIDED 28 STOREYS / 89.7M |
| GRADE (GEODETIC ELEVATION - ASL) | | | 68.80M | |
| ALLOWABLE PROJECTION - AMENITY LEVEL | | | 0.0M | |
| DENSITY - MINIMUM 350 units/hectare | | | 206 UNITS | |
| FRONT YARD SETBACK | | | 3.0M | |
| CORNER YARD SETBACK (East / West) | | | 3.0M/3.0M | |
| REAR YARD SETBACK (GROUND TO 6th FLOOR) | | | 0.0M | |
| REAR YARD SETBACK (ABOVE 7th STOREY) | | | 12.0M | |
| AMENITY AREA - TOTAL PER UNIT | | | 6.0M ² | |
| AMENITY AREA - 50% COMMUNAL PER UNIT | | | 3.0M ² | |
| AMENITY AREA - 2.0% OF LOT EXTERIOR AT GRADE COMMUNAL | | | 117.15M ² | |
| VEHICLE PARKING - RESIDENTIAL (AREA 'Z' - MAX 1.5/PER UNIT) | | | NOT REQUIRED | 289 |
| VEHICLE PARKING - VISITOR ONLY (MAX. 30, AFTER 12 UNITS) | | | 30 | 30 |
| BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT | | | 165 | 309 |
| AISLE & DRIVEWAY MINIMUM / MAXIMUM WIDTH | | | 6.0M/6.7M | 6.7M |
| GROSS BUILDING FLOOR AREA (OTTAWA ZONING DEFINITION) | | | m ² | ft ² |
| UG1 | | | | |
| FLOOR 01 | | | | |
| FLOOR 02 | | | 1,339.6 | 14,419 |
| FLOOR 03-05 | | | 1,339.6 m ² x 3 | 43,257 |
| FLOOR 06 | | | 1,224.1 | 13,176 |
| FLOOR 07 | | | 631.4 | 6,796 |
| FLOOR 08 - FLOOR 28 | | | 725.2 m ² x 21 | 163,926 |
| TOTAL | | | 22,443.7 | 241,582 |
| TYP. FLOOR PLATE | | | 725.2 | 7,806 |
| UNIT STATISTICS | | | UNITS | |
| 1B | | | 58 | |
| 1B+D | | | 82 | |
| 2B | | | 77 | |
| 2B+D | | | 61 | |
| 3B | | | 31 | |
| TOTAL | | | 309 | |
| VEHICULAR PARKING SPACES REQUIRED- AREA 'Z' ON SCHEDULE 1A | | | | |
| VISITOR | | | 0.1 SPACES PER UNIT AFTER 12 UNITS - MAX 30 | 30 |
| RESIDENTIAL | | | N/A | 0 |
| TOTAL | | | 30 | |
| VEHICULAR PARKING SPACES PROVIDED | | | | |
| VISITOR | | | 0.1 SPACES PER UNIT (309 UNITS) | 30 |
| RESIDENTIAL | | | 0.56 SPACES PER UNIT (309 UNITS) | 177 |
| TOTAL | | | 207 | |
| EXISTING SURFACE PARKING LOT | | | 112 | |
| TOTAL | | | 319 | |
| ACCESSIBLE PARKING SPACES REQUIRED - (NOT INCLUDING SURFACE PARKING) | | | | |
| TYPE 'A' | | | 3 | |
| TYPE 'B' | | | 4 | |
| TOTAL | | | 7 | |
| ACCESSIBLE PARKING SPACES PROVIDED - (NOT INCLUDING SURFACE PARKING) | | | | |
| TYPE 'A' | | | 3 | |
| TYPE 'B' | | | 5 | |
| TOTAL | | | 8 | |
| STANDARD PARKING SPACE | | | 2.6m X 5.2m | |
| PARALLEL PARKING SPACE | | | 2.6m X 6.7m | |
| SMALL PARKING SPACE | | | 2.4m X 4.6m | |
| ACCESSIBLE PARKING SPACE 'TYPE A' | | | 3.4m X 5.2m | |
| ACCESSIBLE PARKING SPACE 'TYPE B' | | | 2.4m X 5.2m | |
| LOADING SPACE | | | 3.5m X 7.0m | |
| BICYCLE PARKING SPACES REQUIRED | | | | |
| RESIDENTIAL | | | 0.5 PER UNIT (309 UNITS) | 155 |
| TOTAL | | | 155 | |
| BICYCLE PARKING SPACES PROVIDED | | | | |
| RESIDENTIAL | | | INTERIOR | 309 |
| TOTAL | | | EXTERIOR | 0 |
| TOTAL | | | 1.0 PER UNIT (309 UNITS) | |
| AMENITY AREA | | | m ² | ft ² |
| GRADE EXTERIOR - COMMUNAL | | | 172.6 | 1,858 |
| INTERIOR - COMMUNAL | | | 1,095.4 | 11,791 |
| 07F EXTERIOR - COMMUNAL | | | 202.1 | 2,175 |
| TOTAL COMMUNAL | | | 1,470.1 | 15,824 |
| BALCONIES / TERRACE - PRIVATE | | | 3,506.2 | 37,741 |
| TOTAL | | | 4,976.3 | 53,565 |
| REQUIRED (309 UNITS X 6 m ²) = 1,854 sq. m. | | | | |
| REQUIRED COMMUNAL @ 50% = 927 sq. m. | | | | |
| SITE COVERAGE | | | m ² | % |
| BUILDING FOOTPRINT | | | 1,815.4 | 34.1% |
| DRIVING SURFACE | | | 1,260.5 | 23.7% |
| LANDSCAPE AREA | | | 2,249.6 | 42.2% |
| TOTAL BUILDING A | | | 5,325.5 | 100% |
| REFUGE REQUIREMENT (309 UNITS) | | | | |
| GARBAGE | | | COMPACTED RATIO | CUBIC YARDS |
| RECYCLING GMP | | | 0.053 yd ³ /UNIT | 17 |
| RECYCLING FIBER | | | 0.018 yd ³ /UNIT | 6 |
| COMPOST | | | 0.038 yd ³ /UNIT | 12 |
| | | | 240L PER 50 UNITS | 7 BINS |
| SURVEYOR | | | | |
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The key plan prepared by Turner Fleischer is subject to a legal survey showing the boundaries of the lands together with the current location of any existing buildings, features or encroachments prepared by Annis P. Fleischer, dated 11/15/2023 as recorded by Ontario LSA.

SITE PLAN SYMBOLS

- PRIMARY RESIDENTIAL ENTRANCE
- SECONDARY RESIDENTIAL ENTRANCE
- EXIT
- FIRE HYDRANT
- SIAMESE CONNECTION
- CONVEX MIRROR
- SPOT ELEVATION
- GAS/HYDRO METER

MINIMUM PERMITTED PARKING DIMENSIONS

TYPICAL PARKING DIMENSIONS

ASILE WIDTH: MIN 6.7m

TYPICAL PARKING SPACE: MIN 2.6 x 5.2 x 2.1 m HIGH

TYPICAL BARRIER FREE SPACE

MIN 3.66 x 5.2 x 2.1m HIGH

PROJECT

500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

SITE PLAN / ROOF PLAN

PROJECT NO. 18.050 P01

PROJECT DATE 2024-09-13

DRAWN BY RYT / DRO

CHECKED BY AYU / MDM

SCALE 1:200

DRAWING NO. SPA005C

REV. 2

ONTARIO ASSOCIATION OF ARCHITECTS

RUSSELL L. FLEISCHER

LICENCE 5004

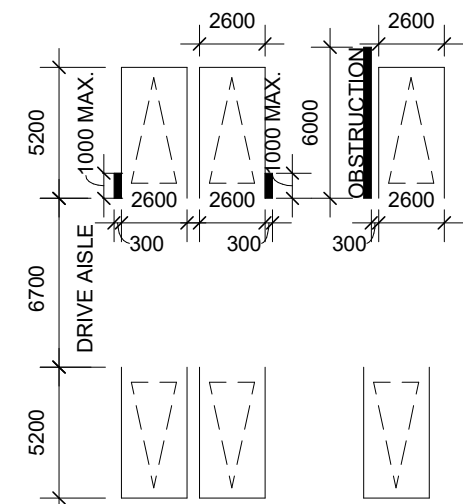
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MINIMUM PERMITTED PARKING
DIMENSIONS

TYPICAL PARKING DIMENSIONS

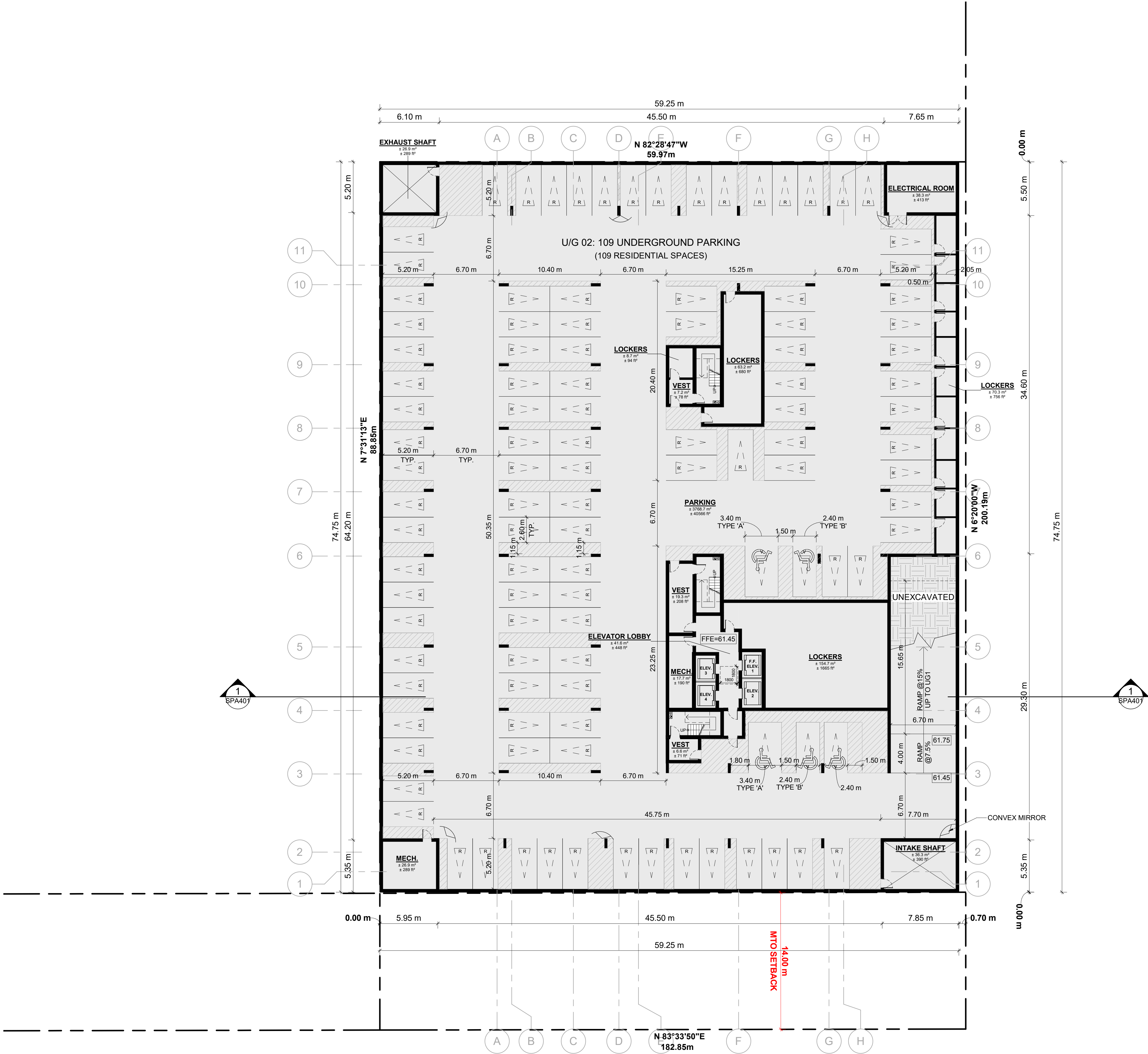
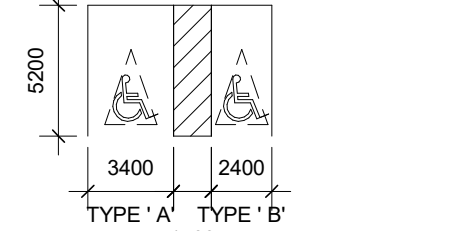
aisle width: min 6.7m

TYPICAL PARKING SPACE:
MIN 2.6 x 5.2 x 2.1 m HIGH



TYPICAL BARRIER FREE SPACE

MIN 3.66 x 5.2 x 2.1m HIGH



| | | | |
|---|------------|-------------------------------|------|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | IAJU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | ATU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING

UNDERGROUND LEVEL 02

| | |
|------------------------------|------------------|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU / MDM | |
| SCALE 1:200 | |
| DRAWING NO. SPA101 | REV. 2 |

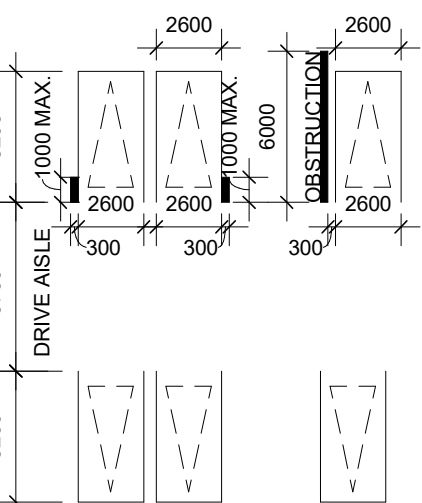
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MINIMUM PERMITTED PARKING
DIMENSIONS

TYPICAL PARKING DIMENSIONS

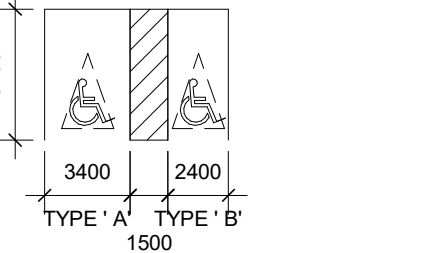
aisle width: MIN 6.7m

TYPICAL PARKING SPACE:
MIN 2.6 x 5.2 x 2.1 m HIGH

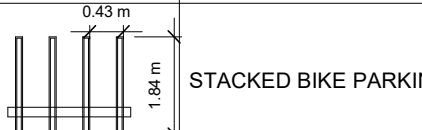


TYPICAL BARRIER FREE SPACE

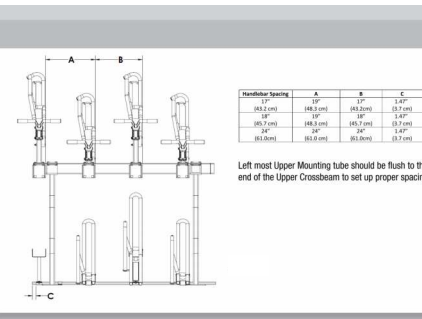
MIN 3.66 x 5.2 x 2.1m HIGH



BIKE PARKING LEGEND



STACKED BIKE PARKING DIAGRAM



| | | | |
|---|------------|-------------------------------|------|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | IAVU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | ATU |
| # | DATE | DESCRIPTION | BY |



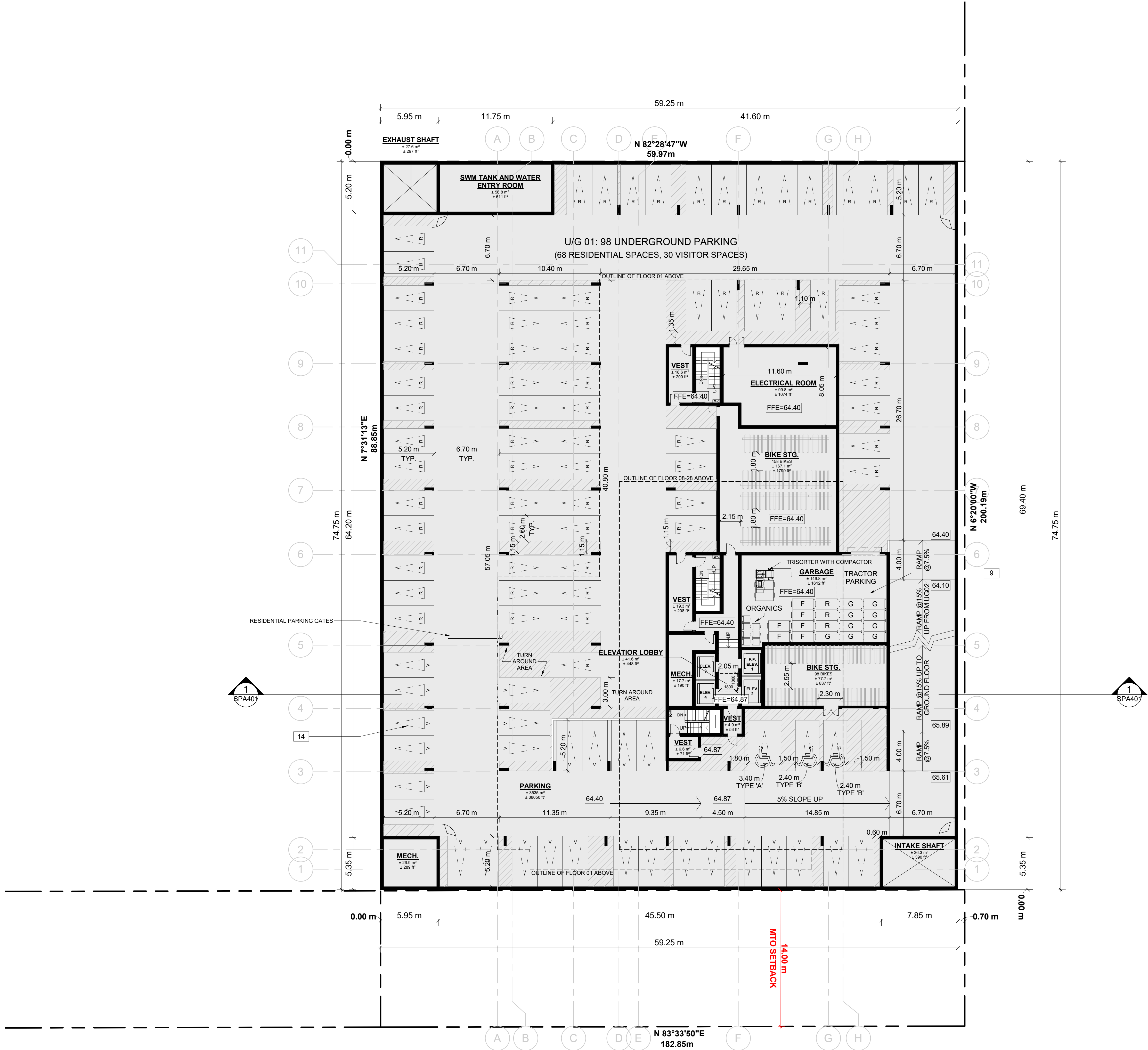
PROJECT
500 COVENTRY ROAD

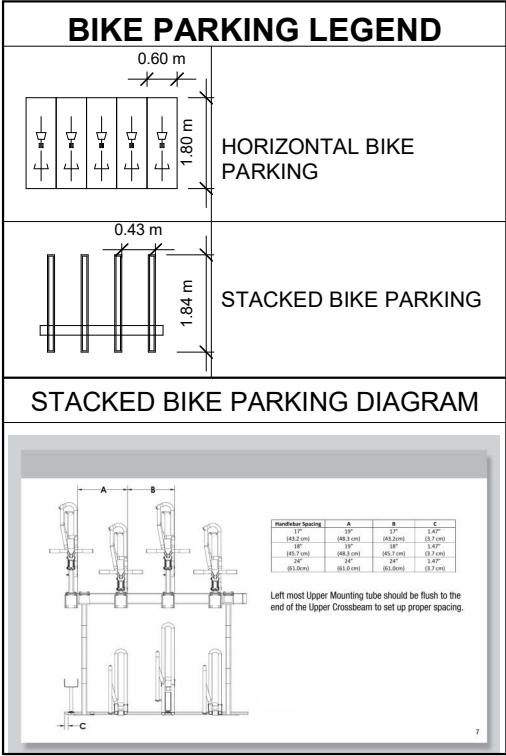
500 COVENTRY ROAD, OTTAWA, ON.

DRAWING
UNDERGROUND LEVEL 01

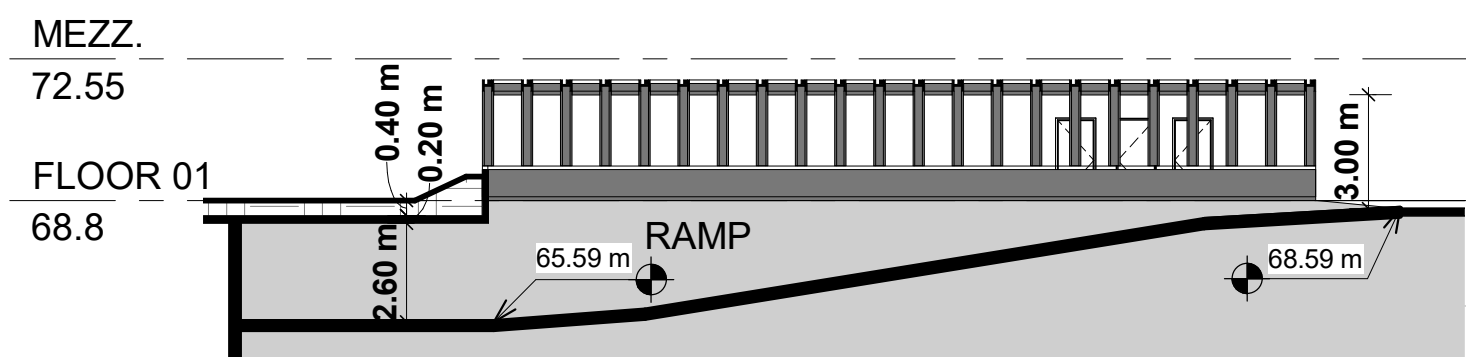
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|----------------------------|--|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU / MDM | |
| SCALE 1:200 | |

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| DRAWING NO. SPA102 | REV. 2 |
|-----------------------|-----------|



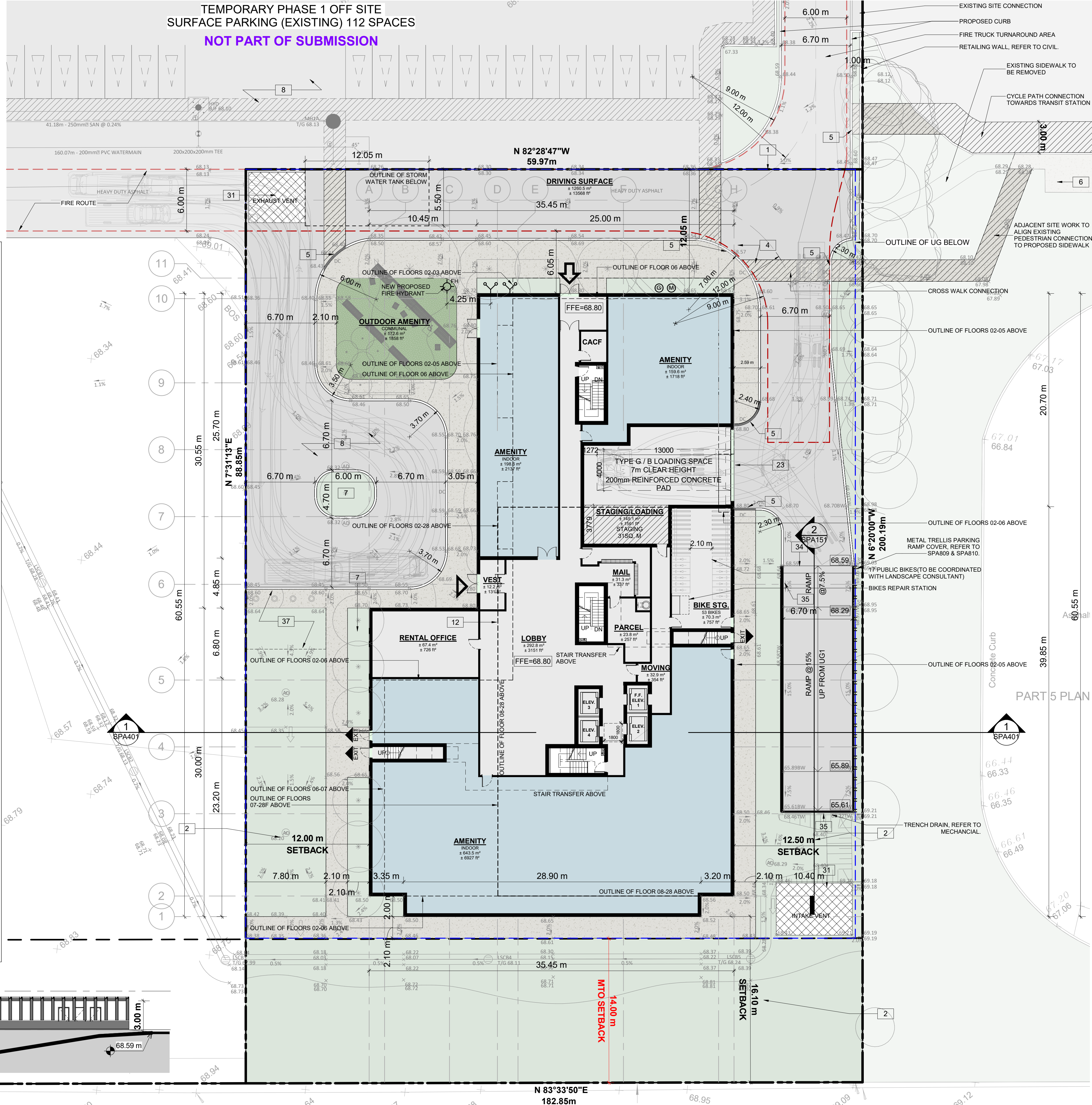


- DRAWINGS NOTES**
- 1 PROPERTY LINE
 - 2 BUILDING SETBACKS
 - 3 PROPOSED ROAD WIDENING
 - 4 HARD SURFACE PAVING, REFER TO LANDSCAPE PLAN FOR PATTERN AND TYPE
 - 5 DEPRESSED CURB AND SIDEWALK TO CITY STANDARDS, REFER TO CIVIL
 - 6 EXISTING STREET CURB AND SIDEWALK
 - 7 SOFT LANDSCAPING, REFER TO LANDSCAPE PLAN
 - 8 ASPHALT DRIVING SURFACE / PARKING LOT WITH BARRIER CURB
 - 9 INTERNAL GARBAGE ROOM
 - 10 2.0m WIDE CONCRETE SIDEWALK
 - 11 OUTLINE OF PRIVATE BALCONY ABOVE
 - 12 OUTLINE OF TOWER ABOVE
 - 13 STRUCTURAL SUPPORT FOR BUILDING ABOVE
 - 14 VISITOR / SHORT TERM PARKING SPACE 2.6 x 5.2m
 - 15 EXISTING TREE TO BE REMOVED
 - 16 EXISTING STORM GRATE
 - 17 EXISTING UTILITY KIOSK
 - 18 PROPOSED SERVICES
 - 19 RETAINING WALL, REFER TO CIVIL FOR HEIGHT
 - 20 EXISTING CONCRETE / ASPHALT ISLAND
 - 21 EXISTING UTILITY / LIGHT POLE
 - 22 1.2 X 1.8 CONCRETE PAD FOR GAS EQUIPMENT (GAS BLOW OFF)
 - 23 3.5 x 7.0m LOADING SPACE
 - 24 SIAMESE CONNECTION
 - 26 EXISTING CROSSWALK WITH DEPRESSED CURBS
 - 27 EXISTING CONCRETE JERSEY BARRIER
 - 28 EXISTING CONCRETE OVERPASS
 - 29 GUARDRAIL WITH METAL PIPE RAILING
 - 30 EXISTING FIRE HYDRANT
 - 31 INTAKE / EXHAUST GRILL
 - 32 BICYCLE PARKING SPACE WITH RACK
 - 33 OUTLINE OF BELOW GRADE PARKING DECK
 - 34 HEATED GARAGE RAMP WITH TRENCH DRAIN
 - 35 GARAGE RAMP WALL
 - 36 RELOCATE UTILITY / LIGHT POLE AS NEEDED
 - 37 TEMPORARY SNOW STORAGE. SNOW WILL BE REMOVED FROM THE SITE AS REQUIRED
 - 38 PRIVACY FENCE
 - 39 WASHED PEA-STONE SURFACE
 - 40 DEPRESSED CURB
 - 41 ACCESS TO INTERNAL CISTERN



2 RAMP SECTION
SPA151 1:200

TEMPORARY PHASE 1 OFF SITE
SURFACE PARKING (EXISTING) 112 SPACES
NOT PART OF SUBMISSION



1 FLOOR 01
SPA151 1:200

PROJECT INFORMATION

Zoning By-law 2008-250 Consolidation TD3

NET OVERALL SITE AREA BREAKDOWN

| AREA TYPE | m ² | ft ² |
|---------------------|----------------|-----------------|
| SITE AREA - BLDG A | 5,325.5 | 57,323.4 |
| TOTAL PARKLAND AREA | 3,486.0 | 37,523 |

TEMPORARY OFF SITE PARKING (PHASE 1)

| PHASE 1 SURFACE PARKING | 6,851.7 | 73,751.1 |
|-------------------------|---------|----------|
|-------------------------|---------|----------|

ZONING

| | REQUIRED | PROVIDED |
|---|----------------------|---------------------|
| BUILDING HEIGHT | 30 STOREYS / 90.0M | 28 STOREYS / 89.7M |
| GRADE (GEODETIC ELEVATION - ASL) | 0.0M | 22.7M |
| ALLOWABLE PROJECTION - AMENITY LEVEL | 206 UNITS | 309 UNITS |
| DENSITY - MINIMUM 350 units/hectare | 3.0M | 110.75M |
| FRONT YARD SETBACK | 3.0M/3.0M | 134.85M/12.5M |
| CORNER YARD SETBACK (East / West) | 0.0M | 16.10M |
| REAR YARD SETBACK (GROUND TO 6th FLOOR) | 12.0M | 18.10M |
| REAR YARD SETBACK (ABOVE 7th STOREY) | 6.0M ² | 17.4M ² |
| AMENITY AREA - TOTAL PER UNIT | 3.0M ² | 4.55M ² |
| AMENITY AREA - 50% COMMUNAL PER UNIT | 117.15M ² | 172.6M ² |
| AMENITY AREA - 2.0% OF LOT EXTERIOR AT GRADE COMMUNAL | NOT REQUIRED | 289 |
| VEHICLE PARKING - RESIDENTIAL (AREA 'Z' - MAX 1.5/PER UNIT) | 30 | 30 |
| VEHICLE PARKING - VISITOR ONLY (MAX. 30, AFTER 12 UNITS) | 165 | 309 |
| BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT | 6.0M/6.7M | 6.7M |
| aisle & DRIVEWAY MINIMUM / MAXIMUM WIDTH | | |

GROSS BUILDING FLOOR AREA (OTTAWA ZONING DEFINITION)

| | m ² | ft ² |
|-------------------------|----------------------------|-----------------|
| UG1 | | |
| FLOOR 01 | | |
| FLOOR 02 | 1,339.6 | 14,419 |
| FLOOR 03-05 | 1,339.6 m ² x 3 | 4,018.8 |
| FLOOR 06 | 1,224.1 | 13,176 |
| FLOOR 07 | 631.4 | 6,796 |
| FLOOR 08 - FLOOR 28 | 725.2 m ² x 21 | 163,926 |
| TOTAL | 22,443.7 | 241,582 |
| TYP. FLOOR PLATE | 725.2 | 7,806 |

UNIT STATISTICS

| | UNITS |
|--------------|------------|
| 1B | 58 |
| 1B+D | 82 |
| 2B | 77 |
| 2B+D | 61 |
| 3B | 31 |
| TOTAL | 309 |

VEHICULAR PARKING SPACES REQUIRED- AREA 'Z' ON SCHEDULE 1A

| | 0.1 SPACES PER UNIT AFTER 12 UNITS - MAX 30 | 30 |
|--------------|---|-----------|
| VISITOR | | |
| RESIDENTIAL | N/A | 0 |
| TOTAL | | 30 |

VEHICULAR PARKING SPACES PROVIDED

| | 0.1 SPACES PER UNIT (309 UNITS) | 30 |
|------------------------------|----------------------------------|------------|
| VISITOR | | |
| RESIDENTIAL | 0.56 SPACES PER UNIT (309 UNITS) | 177 |
| TOTAL | | 207 |
| EXISTING SURFACE PARKING LOT | | 112 |
| TOTAL | 1.03 PER UNIT (309 UNITS) | 319 |

ACCESSIBLE PARKING SPACES REQUIRED - (NOT INCLUDING SURFACE PARKING)

| | 3 |
|--------------|----------|
| TYPE 'A' | |
| TYPE 'B' | 4 |
| TOTAL | 7 |

ACCESSIBLE PARKING SPACES PROVIDED - (NOT INCLUDING SURFACE PARKING)

| | 3 |
|--------------|----------|
| TYPE 'A' | |
| TYPE 'B' | 5 |
| TOTAL | 8 |

STANDARD PARKING SPACE

| | |
|-----------------------------------|-------------|
| PARALLEL PARKING SPACE | 2.6m X 5.2m |
| SMALL PARKING SPACE | 2.4m X 6.7m |
| ACCESSIBLE PARKING SPACE 'TYPE A' | 3.4m X 5.2m |
| ACCESSIBLE PARKING SPACE 'TYPE B' | 2.4m X 5.2m |
| LOADING SPACE | 3.5m X 7.0m |

BICYCLE PARKING SPACES REQUIRED

| | 0.5 PER UNIT (309 UNITS) | 155 |
|--------------|--------------------------|------------|
| RESIDENTIAL | | |
| TOTAL | | 155 |

BICYCLE PARKING SPACES PROVIDED

| | INTERIOR | 309 |
|--------------|---------------------------------|------------|
| RESIDENTIAL | | |
| EXTERIOR | 0 | |
| TOTAL | 1.0 PER UNIT (309 UNITS) | 309 |

AMENITY AREA

| | m ² | ft ² |
|-------------------------------|----------------|-----------------|
| GRADE EXTERIOR - COMMUNAL | 172.6 | 1,858 |
| INTERIOR - COMMUNAL | 1,095.4 | 11,791 |
| 07F EXTERIOR - COMMUNAL | 202.1 | 2,175 |
| TOTAL COMMUNAL | 1,470.1 | 15,824 |
| BALCONIES / TERRACE - PRIVATE | 3,506.2 | 37,741 |
| TOTAL | 4,976.3 | 53,565 |

REQUIRED (309 UNITS X 6 m²) = 1,854 sq. m.
REQUIRED COMMUNAL @ 50% = 927 sq. m.

SITE COVERAGE

| | m ² | % |
|-------------------------|----------------|-------------|
| BUILDING FOOTPRINT | 1,815.4 | 34.1% |
| DRIVING SURFACE | 1,260.5 | 23.7% |
| LANDSCAPE AREA | 2,249.6 | 42.2% |
| TOTAL BUILDING A | 5,325.5 | 100% |

REFUSE REQUIREMENT (309 UNITS)

| | COMPACTED RATIO | CUBIC YARDS |
|-----------------|-----------------------------|-------------|
| GARBAGE | 0.053 yd ³ /UNIT | 17 |
| RECYCLING GMP | 0.018 yd ³ /UNIT | 6 |
| RECYCLING FIBER | 0.038 yd ³ /UNIT | 12 |
| COMPOST | 240L PER 50 UNITS | 7 BINS |

TURNER FLEISCHER

Turner Fleischer Architects Inc.
67 Leslie Road
Toronto, ON M5B 2T8
T 416 425 2222
turnerfleischer.com

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SITE PLAN SYMBOLS

| | |
|--------------------------------|--|
| PRIMARY RESIDENTIAL ENTRANCE | |
| SECONDARY RESIDENTIAL ENTRANCE | |
| EXIT | |
| EXIT | |
| FIRE HYDRANT | |
| SIAMESE CONNECTION | |
| CONVEX MIRROR | |
| SPOT ELEVATION | |
| GAS/HYDRO METER | |

REFER TO LANDSCAPE DRAWINGS FOR SURFACE TREATMENT

MINIMUM PERMITTED PARKING DIMENSIONS

TYPICAL PARKING DIMENSIONS

aisle width: MIN 6.7m

TYPICAL PARKING SPACE:
MIN 2.6 x 5.2 x 2.1m HIGH

TYPICAL BARRIER FREE SPACE

MIN 3.66 x 5.2 x 2.1m HIGH

Morguard

PROJECT
500 COVENTRY ROAD
500 COVENTRY ROAD, OTTAWA, ON.

DRAWING
FLOOR 01

PROJECT NO.
18.050 P01

PROJECT DATE
2024-09-13

DRAWN BY
RYT / DRO

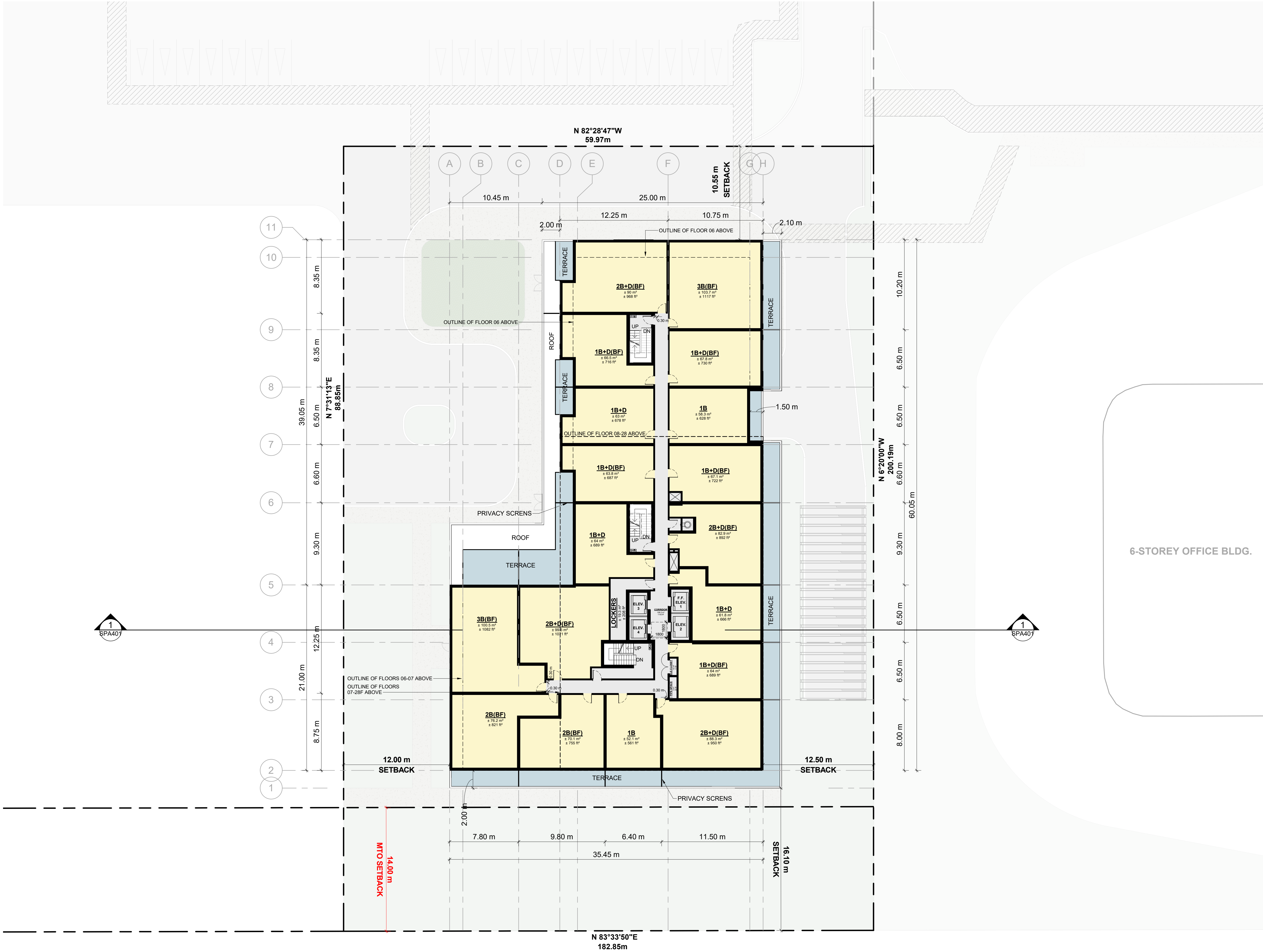
CHECKED BY
AYU / MDM

SCALE
1:200

DRAWING NO.
SPA151

REV
2

ONTARIO ASSOCIATION OF ARCHITECTS
RUSSELL L. FLEISCHER
LICENCE
5004



| | | | |
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| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING

FLOOR 02

| | |
|------------------------------|--|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU / MDM | |
| SCALE 1 : 200 | |
| DRAWING NO. SPA152 | |
| REV. 2 | |



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| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
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| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING
FLOOR 03 - 05

| | |
|------------------------------|--|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
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| DRAWING NO. SPA153 | |
| REV. 2 | |



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| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
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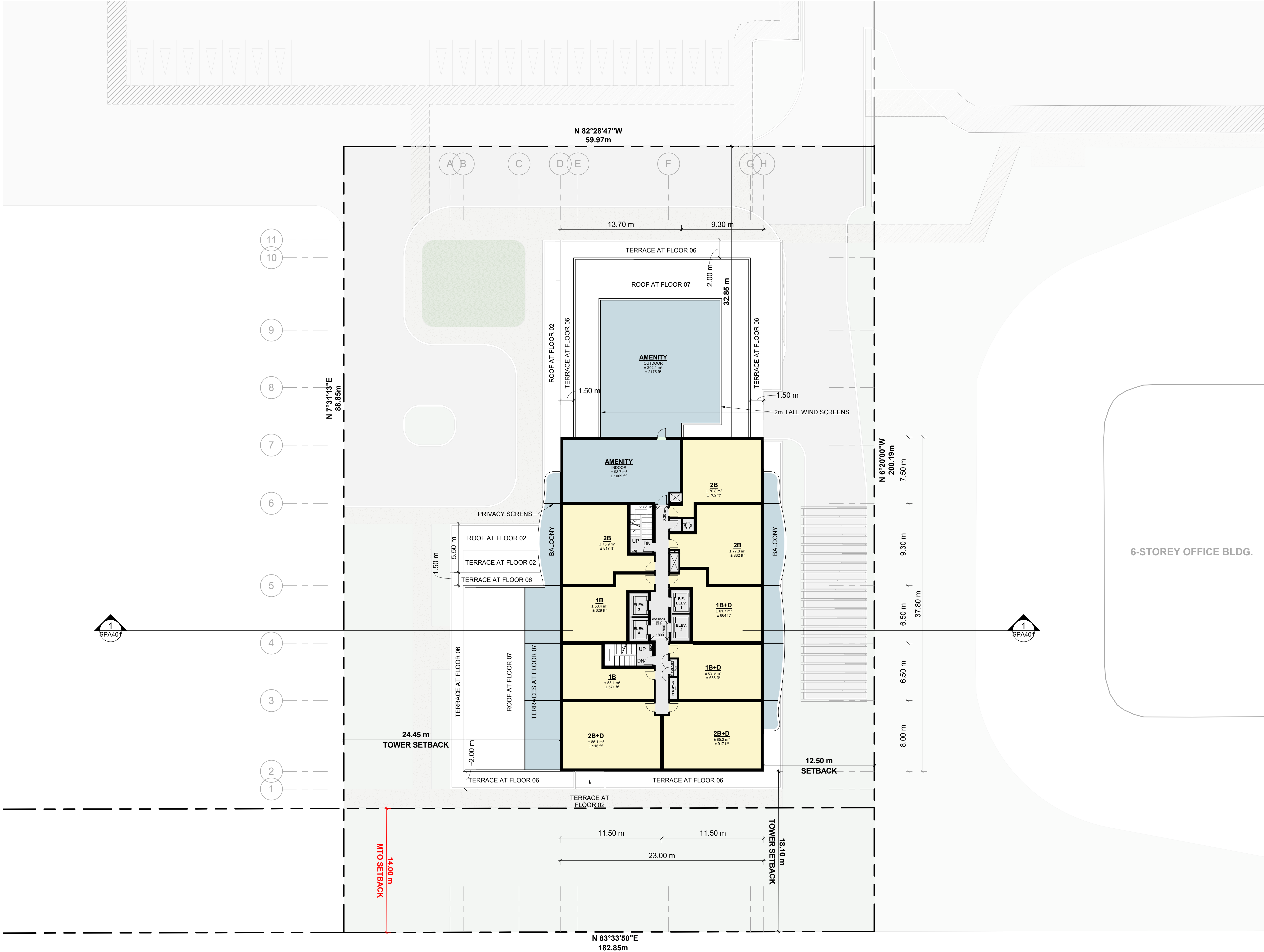


PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING
FLOOR 06

| | | | |
|----------------------------|--|------------------------------|------------------|
| PROJECT NO. 18.050 P01 | | DRAWING NO. SPA154 | REV. 2 |
| PROJECT DATE 2024-09-13 | | | |
| DRAWN BY RYT / DRO | | | |
| CHECKED BY AYU / MDM | | | |
| SCALE 1 : 200 | | | |



6-STOREY OFFICE BLDG.

| | | | |
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| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |



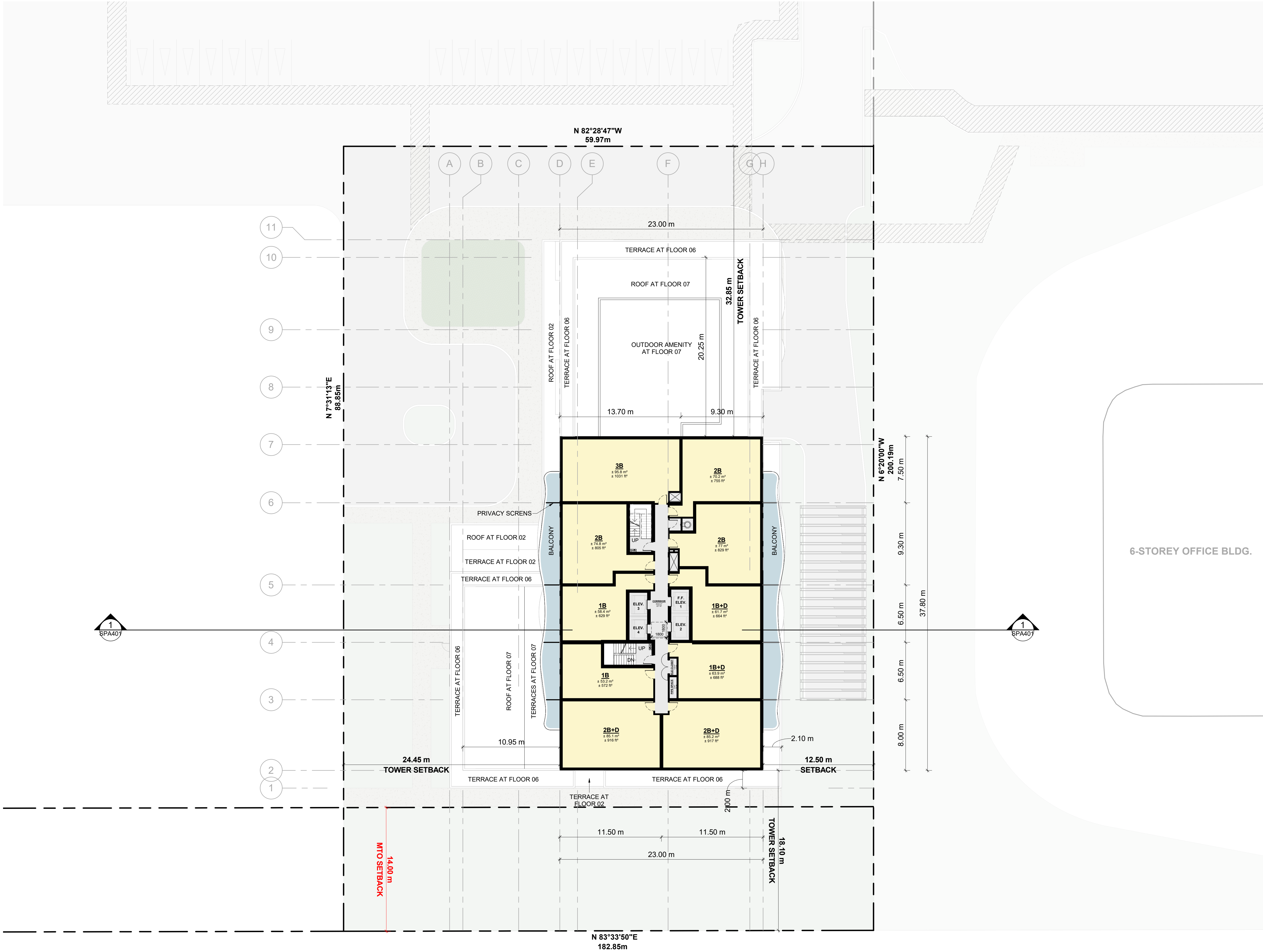
PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING
FLOOR 07

| | |
|----------------------------|--|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU / MDM | |
| SCALE 1 : 200 | |

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|------------------------------|------------------|
| DRAWING NO. SPA155 | REV. 2 |
|------------------------------|------------------|



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| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

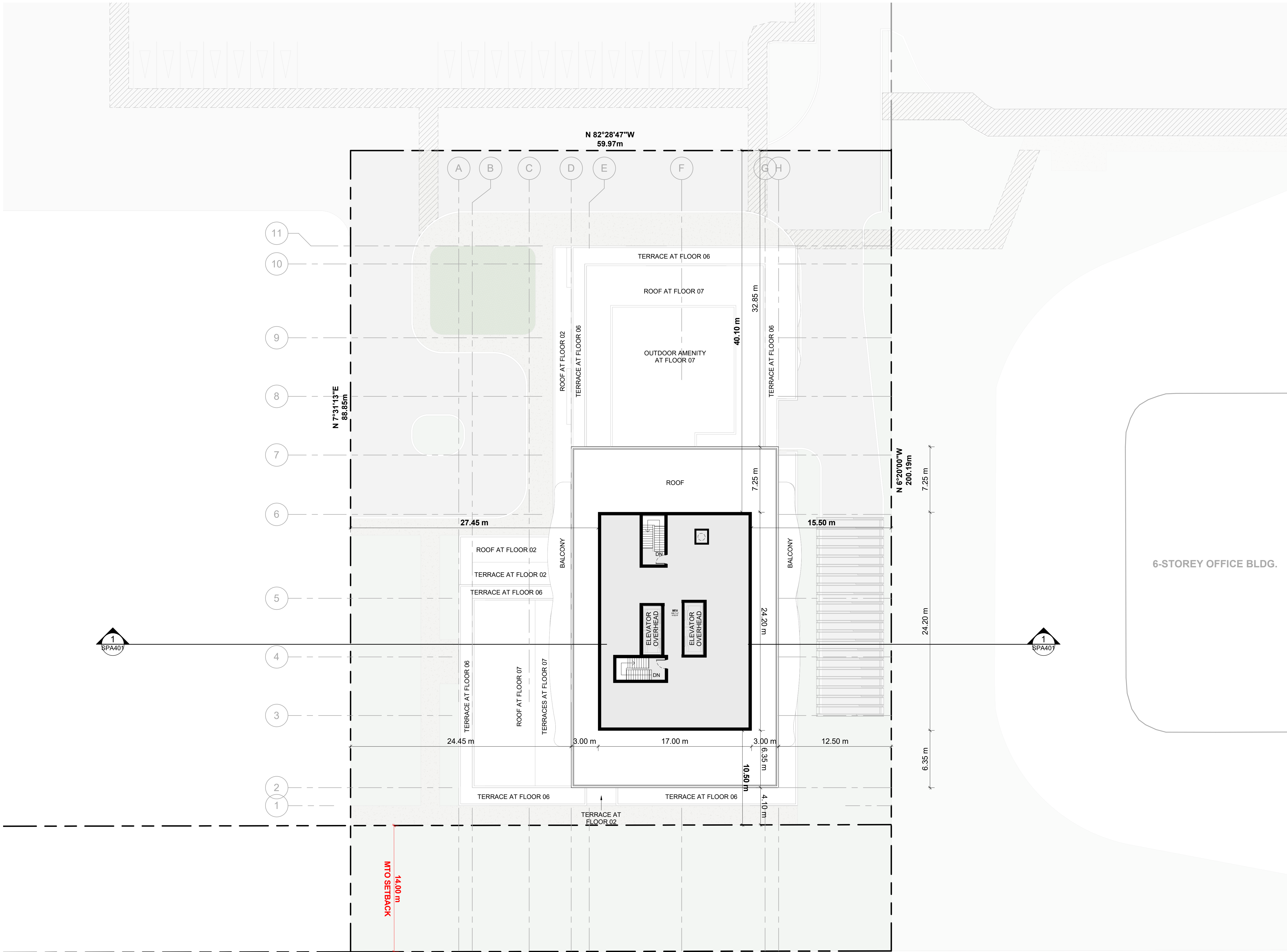
DRAWING

FLOOR 08 - 28

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|------------------------------|--|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU / MDM | |
| SCALE 1 : 200 | |
| DRAWING NO. SPA156 | |
| REV. 2 | |

2024-10-28 2:25:28 PM

1 SPA157 MPH 1 : 200



TURNER FLEISCHER

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67 Leslie Road
Toronto, ON, M5B 2T8
T 416 425 2222
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| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING

MPH

PROJECT NO.
18.050 P01
PROJECT DATE
2024-09-13
DRAWN BY
RYT / DRO
CHECKED BY
AYU / MDM
SCALE
1 : 200

ONTARIO ASSOCIATION
OF
ARCHITECTS
RUSSELL L. FLEISCHER
LICENCE
5004

DRAWING NO.
SPA157
REV.
2

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| | | | |
|---|------------|-------------------------------|-----|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |

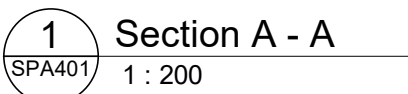


DRAWING

SECTION A - A

| | |
|----------------------------|--|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU / MDM | |
| SCALE 1 : 200 | |
| | |

| | |
|-------------|------|
| DRAWING NO. | REV. |
| SPA401 | 2 |





VIEW FROM TRANS-CANADA HWY LOOKING NORTH WEST

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|---|------------|-------------------------------|-----|
| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES

| | |
|------------------------------|------------------|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY EHS | |
| CHECKED BY AYU | |
| SCALE | |
| | |
| DRAWING NO. SPA801 | REV. 1 |

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VIEW FROM TRANS-CANADA HWY LOOKING NORTH EAST

| | | | |
|---|------------|-------------------------------|-----|
| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES

| | |
|----------------------------|--|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY EHS | |
| CHECKED BY AYU | |
| SCALE | |

| | |
|------------------------------|------------------|
| DRAWING NO. SPA802 | REV. 1 |
|------------------------------|------------------|



VIEW FROM TRANS-CANADA HWY LOOKING NORTH

TURNER
FLEISCHER

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Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

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| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVE

PROJECT NO.
18.050 P01
PROJECT DATE
2024-09-13
DRAWN BY
EHS
CHECKED BY
AYU
SCALE



DRAWING NO.
SPA803
REV.
1



VIEW LOOKING SOUTH WEST FROM EXISTING BUS STOP

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| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES

PROJECT NO.
18.050 P01
PROJECT DATE
2024-09-13
DRAWN BY
EHS
CHECKED BY
AYU
SCALE

DRAWING NO.
SPA804

REV.
1



VIEW LOOKING EAST FROM PHASE 2

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| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING

3D PERSPECTIVES

PROJECT NO.
18.050 P01
PROJECT DATE
2024-09-13
DRAWN BY
EHS
CHECKED BY
AYU
SCALE

ONTARIO ASSOCIATION
OF
ARCHITECTS
RUSSELL L. FLEISCHER
LICENCE
5004

DRAWING NO.
SPA805
REV.
2



VIEW LOOKING WEST FROM EXISTING 6-STOREY OFFICE BUILDING

TURNER FLEISCHER

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T 416 425 2222
turnerfleischer.com

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| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES

| | |
|----------------------------|--|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY EHS | |
| CHECKED BY AYU | |
| SCALE | |
| | |

DRAWING NO.
SPA806

REV.
2



VIEW LOOKING TOWARDS MAIN ENTRANCE AND DROP-OFF AREA

TURNER
FLEISCHER

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T 416 425 2222
turnerfleischer.com

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| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES

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|----------------------------|--|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY EHS | |
| CHECKED BY AYU | |
| SCALE | |

DRAWING NO.
SPA807

REV.
1



VIEW FROM TRANS-CANADA HWY LOOKING NORTH EAST

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| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES

| | | | | | |
|----------------------------|--|------------------------------|--|------------------|--|
| PROJECT NO. 18.050 P01 | | DRAWING NO. SPA808 | | REV. 1 | |
| PROJECT DATE 2024-09-13 | | | | | |
| DRAWN BY EHS | | | | | |
| CHECKED BY AYU | | | | | |
| SCALE | | | | | |



VIEW LOOKING SOUTH WEST TOWARDS THE PARKING RAMP COVER STRUCTURE

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| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES - PARKING RAMP

| | |
|------------------------------|------------------|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY EHS | |
| CHECKED BY AYU | |
| SCALE | |
| DRAWING NO. SPA809 | REV. 1 |



VIEW LOOKING WEST TOWARDS THE PARKING RAMP COVER STRUCTURE

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| 1 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

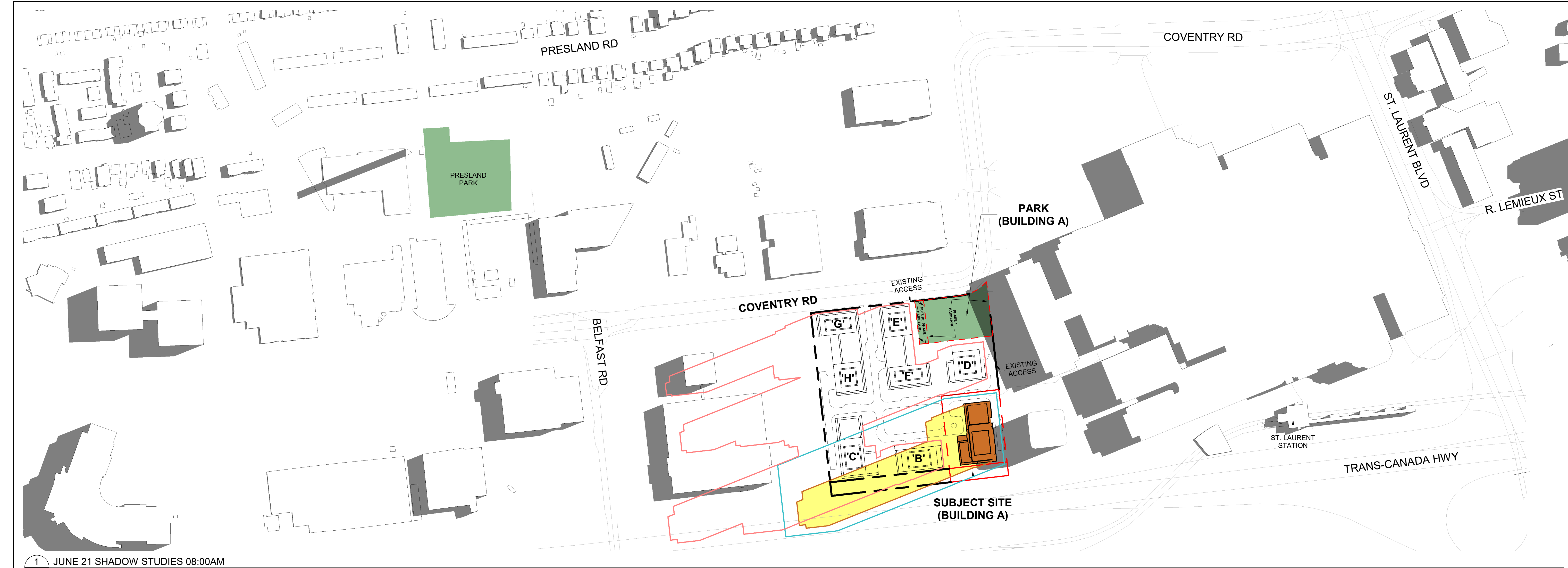
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES - PARKING RAMP

| | |
|----------------------------|--|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY EHS | |
| CHECKED BY AYU | |
| SCALE | |

| | |
|------------------------------|------------------|
| DRAWING NO. SPA810 | REV. 1 |
|------------------------------|------------------|



1 JUNE 21 SHADOW STUDIES 08:00AM
SPA811 1:2000



2 JUNE 21 SHADOW STUDIES 09:00AM
SPA811 1:2000

TURNER
FLEISCHER

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SHADOW STUDY LEGEND

EXISTING SHADOWS

PROPOSED BUILDING
28 STOREYS

PUBLIC SPACES

NET NEW SHADOWS BY
PROPOSED DEVELOPMENT

PROPOSED SHADOW
OUTLINE

AS-OF-RIGHT SHADOW
OUTLINE

PROPOSED MASTER PLAN
SHADOW OUTLINE

Assuming Site is Flat

SCALE BAR

0m 20m 50m 100m 150m

10m 35m 75m 150m

| | | | |
|---|------------|-------------------------------|------|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | IAVU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | ATU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING
JUNE SHADOW STUDIES

PROJECT NO.
18.050 P01
PROJECT DATE
2024-09-13
DRAWN BY
RYT / DRO
CHECKED BY
AYU
SCALE
1:2000

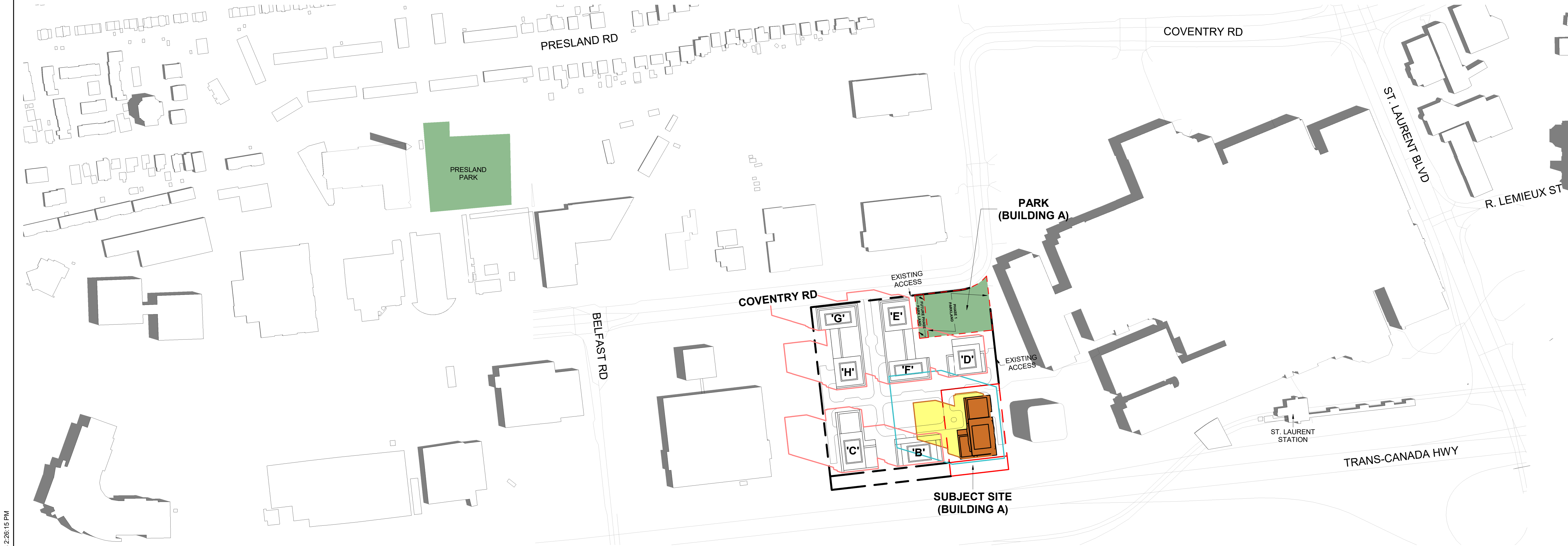
ONTARIO ASSOCIATION
OF
ARCHITECTS
RUSSELL L. FLEISCHER
LICENCE
5004

DRAWING NO.
SPA811

REV.
2



1 JUNE 21 SHADOW STUDIES 10:00AM
1 : 2000



2 JUNE 21 SHADOW STUDIES 11:00AM
1 : 2000

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SHADOW STUDY LEGEND

- EXISTING SHADOWS
- PROPOSED BUILDING 28 STOREYS
- PUBLIC SPACES
- NET NEW SHADOWS BY PROPOSED DEVELOPMENT
- PROPOSED SHADOW OUTLINE
- AS-OF-RIGHT SHADOW OUTLINE
- PROPOSED MASTER PLAN SHADOW OUTLINE

Assuming Site is Flat

SCALE BAR

0m 20m 50m 100m 150m

| | | | |
|---|------------|-------------------------------|-----|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |

PROJECT

500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING

JUNE SHADOW STUDIES

| | |
|----------------------------|--|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU | |
| SCALE 1:2000 | |

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|------------------------------|------------------|
| DRAWING NO. SPA812 | REV. 2 |
|------------------------------|------------------|



1 JUNE 21 SHADOW STUDIES 12:00PM
SPA813 1:2000



2 JUNE 21 SHADOW STUDIES 01:00PM
SPA813 1:2000

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SHADOW STUDY LEGEND

- EXISTING SHADOWS
- PROPOSED BUILDING 28 STOREYS
- PUBLIC SPACES
- NET NEW SHADOWS BY PROPOSED DEVELOPMENT
- PROPOSED SHADOW OUTLINE
- AS-OF-RIGHT SHADOW OUTLINE
- PROPOSED MASTER PLAN SHADOW OUTLINE

Assuming Site is Flat

SCALE BAR

0m 10m 20m 35m 50m 75m 100m 150m

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| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |

Morguard

PROJECT

500 COVENTRY ROAD

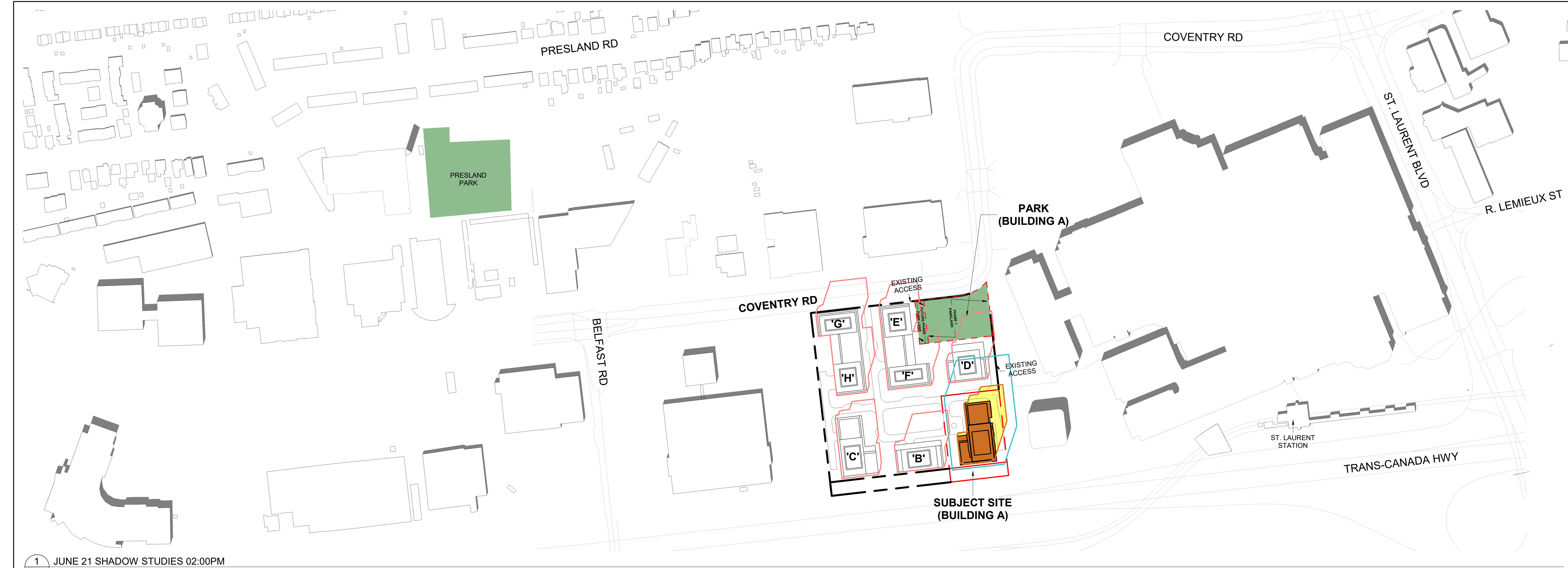
500 COVENTRY ROAD, OTTAWA, ON.

DRAWING

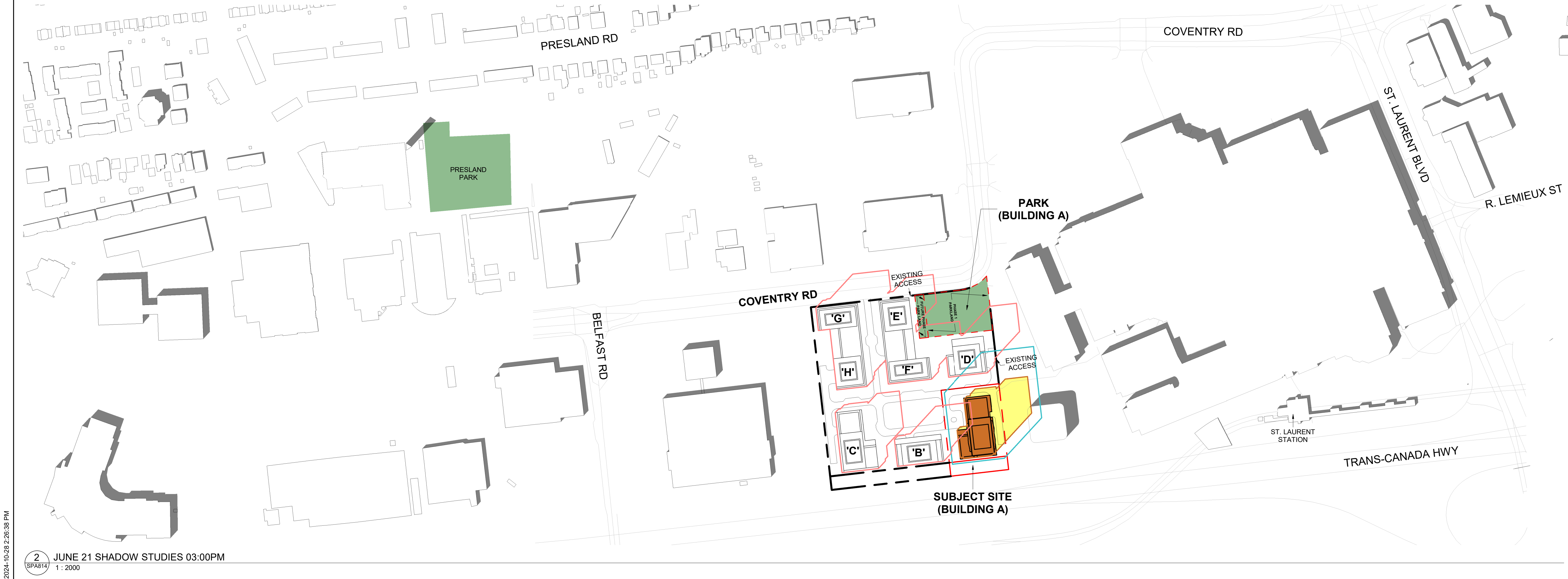
JUNE SHADOW STUDIES

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|----------------------------|--|
| PROJECT NO. 18.050 P01 | <div><div>ONTARIO ASSOCIATION OF ARCHITECTS</div><div></div></div> |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU | |
| SCALE 1:2000 | |

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| DRAWING NO. SPA813 | REV. 2 |
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1 JUNE 21 SHADOW STUDIES 02:00PM
1 : 2000



2 JUNE 21 SHADOW STUDIES 03:00PM
1 : 2000

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SHADOW STUDY LEGEND

- EXISTING SHADOWS
- PROPOSED BUILDING 28 STOREYS
- PUBLIC SPACES
- NET NEW SHADOWS BY PROPOSED DEVELOPMENT
- PROPOSED SHADOW OUTLINE
- AS-OF-RIGHT SHADOW OUTLINE
- PROPOSED MASTER PLAN SHADOW OUTLINE

Assuming Site is Flat

SCALE BAR

0m 20m 50m 100m 150m


| | | | |
|---|------------|-------------------------------|-----|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |

Morguard

PROJECT
500 COVENTRY ROAD

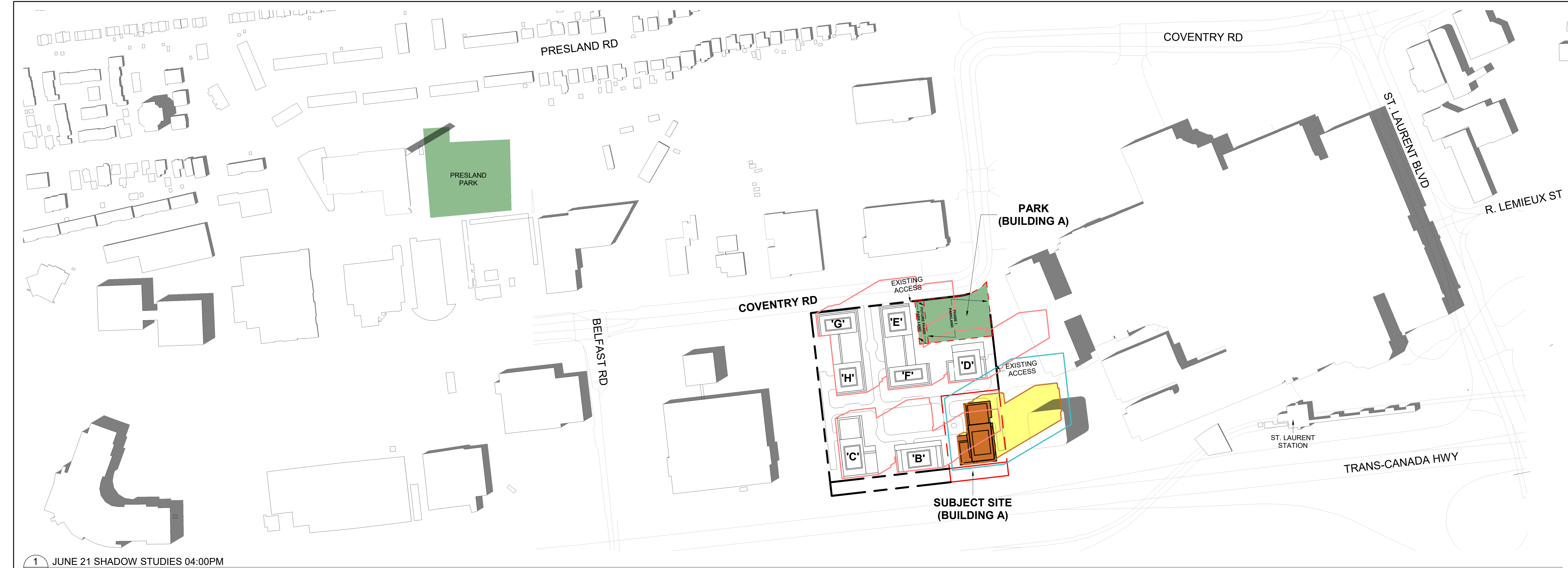
500 COVENTRY ROAD, OTTAWA, ON.

DRAWING
JUNE SHADOW STUDIES

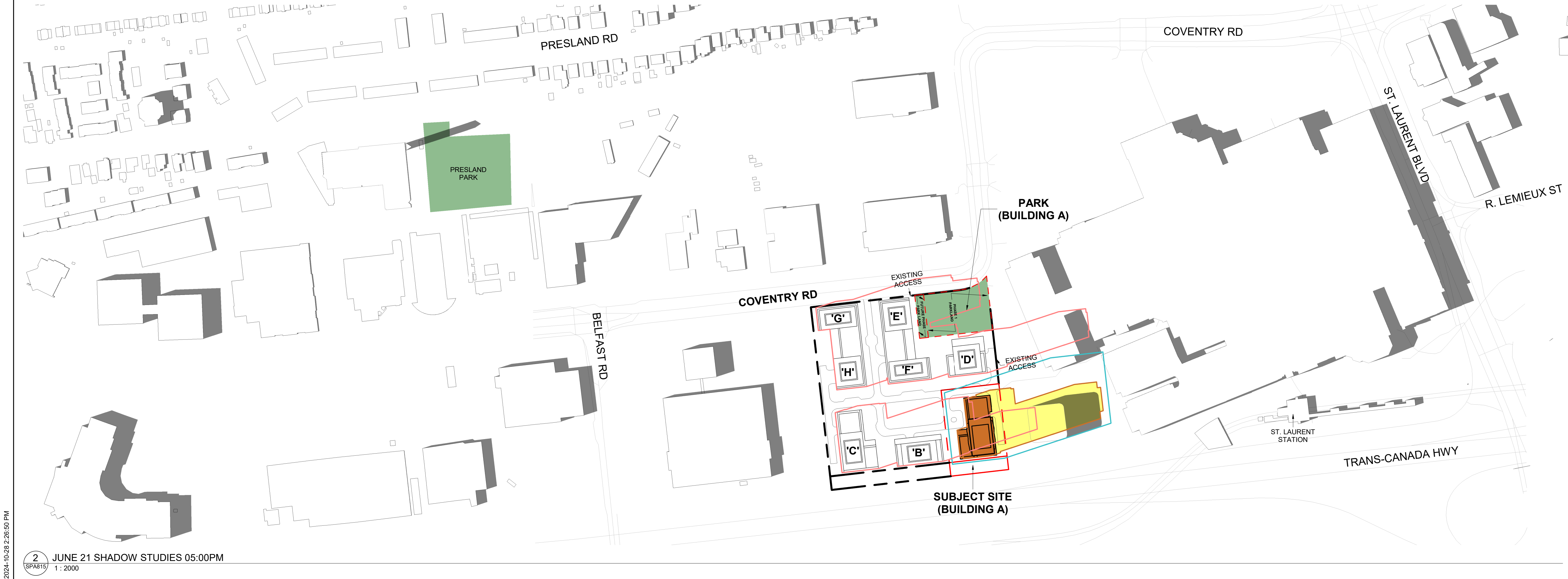
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| PROJECT NO. 18.050 P01 |  |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU | |
| SCALE 1:2000 | |

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| DRAWING NO. SPA814 | REV. 2 |
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2024-10-28 2:26:38 PM



1 JUNE 21 SHADOW STUDIES 04:00PM
1:2000



2 JUNE 21 SHADOW STUDIES 05:00PM
1:2000

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SHADOW STUDY LEGEND

- EXISTING SHADOWS
- PROPOSED BUILDING 28 STOREYS
- PUBLIC SPACES
- NET NEW SHADOWS BY PROPOSED DEVELOPMENT
- PROPOSED SHADOW OUTLINE
- AS-OF-RIGHT SHADOW OUTLINE
- PROPOSED MASTER PLAN SHADOW OUTLINE

Assuming Site is Flat

SCALE BAR

0m 20m 50m 100m 150m

| | | | |
|---|------------|-------------------------------|------|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | IAVU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | ATU |
| # | DATE | DESCRIPTION | BY |

PROJECT

500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING

JUNE SHADOW STUDIES

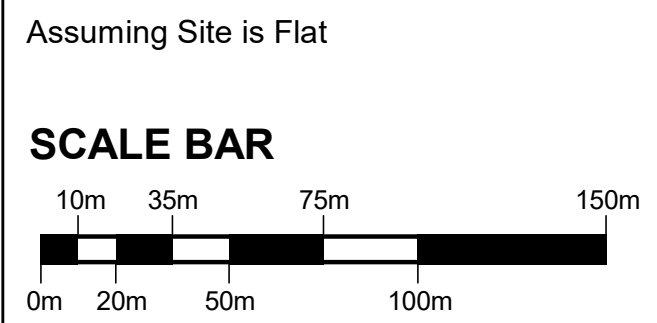
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| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU | |
| SCALE 1:2000 | |

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| DRAWING NO. SPA815 | REV. 2 |
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- SHADOW STUDY LEGEND**
- EXISTING SHADOWS
 - PROPOSED BUILDING 28 STOREYS
 - PUBLIC SPACES
 - NET NEW SHADOWS BY PROPOSED DEVELOPMENT
 - PROPOSED SHADOW OUTLINE
 - AS-OF-RIGHT SHADOW OUTLINE
 - PROPOSED MASTER PLAN SHADOW OUTLINE



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|---|------------|-------------------------------|-----|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |




PROJECT

500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING

JUNE SHADOW STUDIES

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|------------------------------|---|
| PROJECT NO. 18.050 P01 |  |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU | |
| SCALE 1:2000 | |
| DRAWING NO. SPA816 | |
| REV. 2 | |



1 JUNE 21 SHADOW STUDIES 08:00PM
SPA817 1: 2000

TURNER FLEISCHER

Turner Fleischer Architects Inc.
67 Leslie Road
Toronto, ON M5B 2T8
T 416 425 2222
turnerfleischer.com

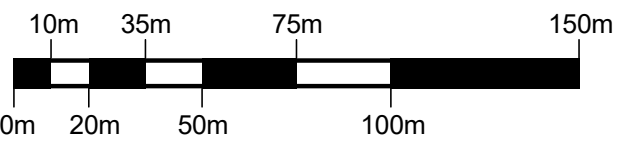
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SHADOW STUDY LEGEND

- EXISTING SHADOWS
- PROPOSED BUILDING 28 STOREYS
- PUBLIC SPACES
- NET NEW SHADOWS BY PROPOSED DEVELOPMENT
- PROPOSED SHADOW OUTLINE
- AS-OF-RIGHT SHADOW OUTLINE
- PROPOSED MASTER PLAN SHADOW OUTLINE

Assuming Site is Flat

SCALE BAR



| | | | |
|---|------------|-------------------------------|-----|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING
JUNE SHADOW STUDIES

| | |
|----------------------------|--|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU | |
| SCALE 1:2000 | |

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|--|------------------------------|------------------|
| | DRAWING NO. SPA817 | REV. 2 |
|--|------------------------------|------------------|



1 SEPTEMBER 21 SHADOW STUDIES 08:00AM
1:2000



2 SEPTEMBER 21 SHADOW STUDIES 09:00AM
1:2000

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- SHADOW STUDY LEGEND
- EXISTING SHADOWS

PROPOSED BUILDING
28 STOREYS

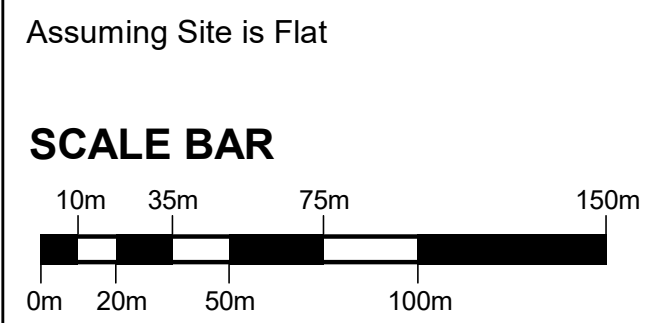
PUBLIC SPACES

NET NEW SHADOWS BY
PROPOSED DEVELOPMENT

PROPOSED SHADOW
OUTLINE

AS-OF-RIGHT SHADOW
OUTLINE

PROPOSED MASTER PLAN
SHADOW OUTLINE



| | | | |
|---|------------|-------------------------------|------|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | IAVU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | ATU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS
SEPTEMBER SHADOW STUDIES

PROJECT NO.
18.050 P01

PROJECT DATE
2024-09-13

DRAWN BY
RYT / DRO

CHECKED BY
AYU

SCALE
1:2000

ONTARIO ASSOCIATION
OF
ARCHITECTS

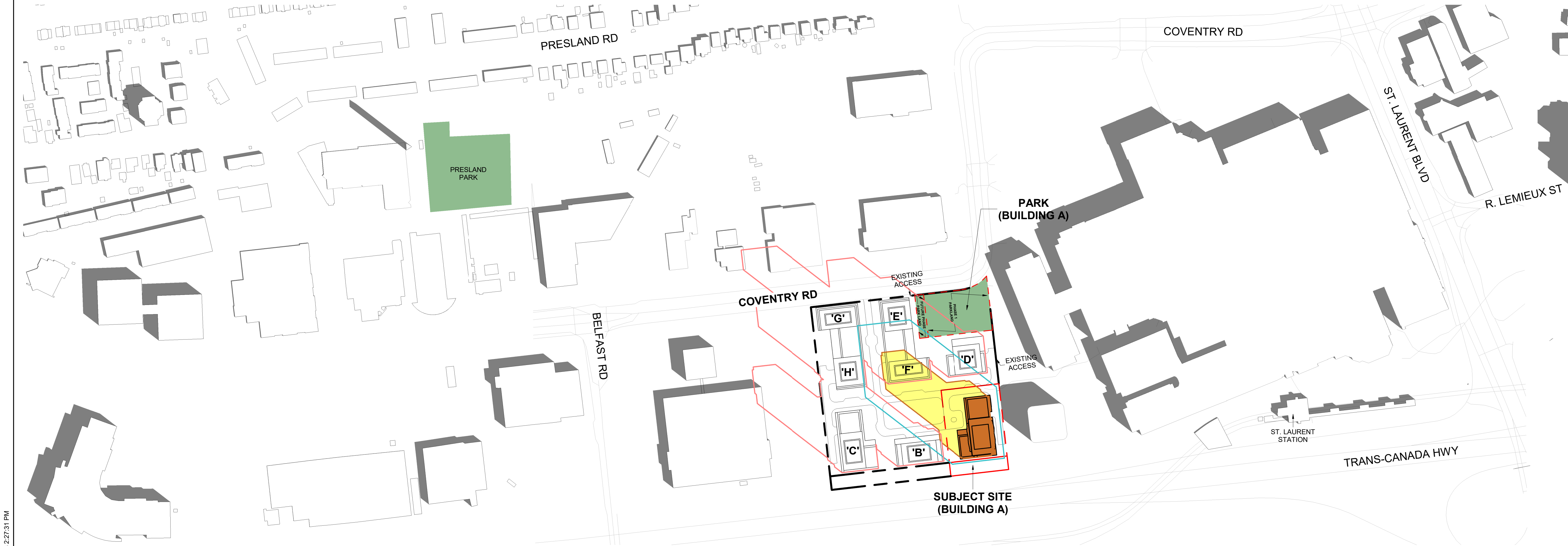
RUSSELL L. FLEISCHER
LICENCE
5004

DRAWING NO.
SPA818

REV.
2



1 SEPTEMBER 21 SHADOW STUDIES 10:00AM
1:2000



2 SEPTEMBER 21 SHADOW STUDIES 11:00AM
1:2000

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SHADOW STUDY LEGEND

EXISTING SHADOWS

PROPOSED BUILDING
28 STOREYS

PUBLIC SPACES

NET NEW SHADOWS BY
PROPOSED DEVELOPMENT

PROPOSED SHADOW
OUTLINE

AS-OF-RIGHT SHADOW
OUTLINE

PROPOSED MASTER PLAN
SHADOW OUTLINE

Assuming Site is Flat

SCALE BAR

10m 35m 75m 150m

0m 20m 50m 100m

| | | | |
|---|------------|-------------------------------|-----|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS
SEPTEMBER SHADOW STUDIES

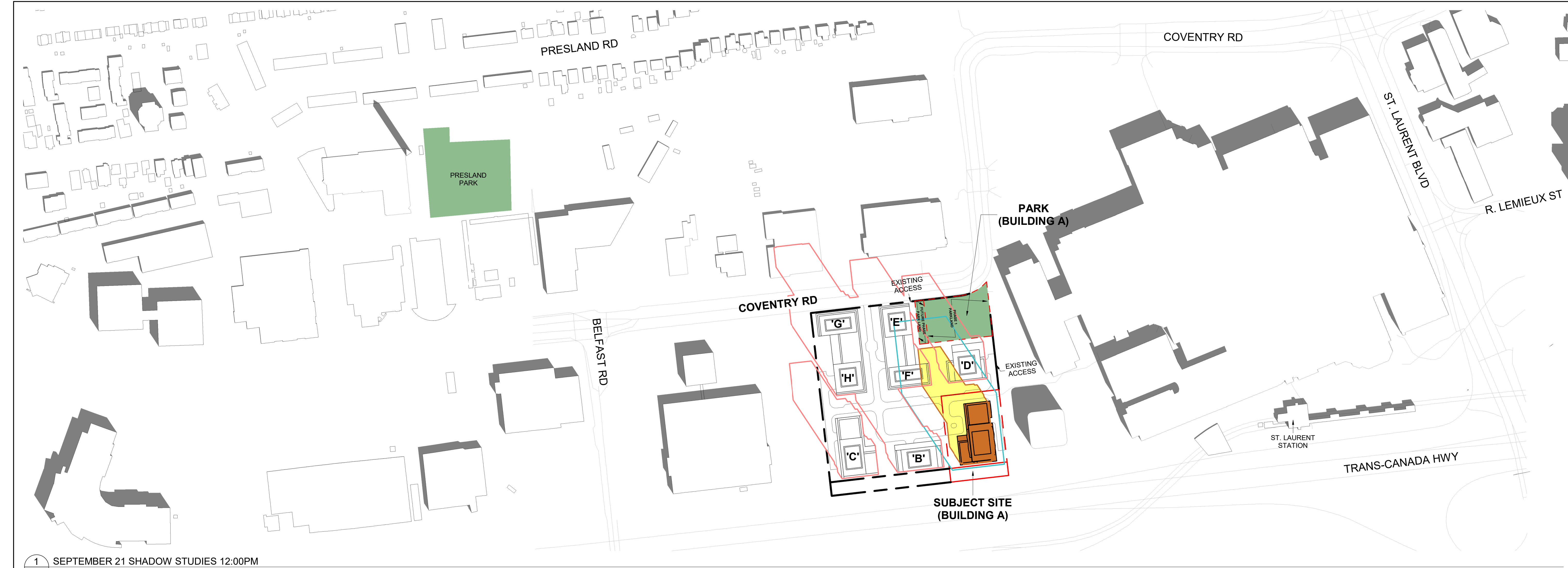
PROJECT NO.
18.050 P01
PROJECT DATE
2024-09-13
DRAWN BY
RYT / DRO
CHECKED BY
AYU
SCALE
1:2000

ONTARIO ASSOCIATION
OF
ARCHITECTS
RUSSELL L. FLEISCHER
LICENCE
5004

↑

DRAWING NO.
SPA819

REV.
2



1 SEPTEMBER 21 SHADOW STUDIES 12:00PM
SPA820 1:2000



2 SEPTEMBER 21 SHADOW STUDIES 01:00PM
SPA820 1:2000

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SHADOW STUDY LEGEND

- EXISTING SHADOWS
- PROPOSED BUILDING 28 STOREYS
- PUBLIC SPACES
- NET NEW SHADOWS BY PROPOSED DEVELOPMENT
- PROPOSED SHADOW OUTLINE
- AS-OF-RIGHT SHADOW OUTLINE
- PROPOSED MASTER PLAN SHADOW OUTLINE

Assuming Site is Flat

SCALE BAR

0m 20m 50m 100m 150m


| | | | |
|---|------------|-------------------------------|-----|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |

Morguard

PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS
SEPTEMBER SHADOW STUDIES

| | |
|----------------------------|---|
| PROJECT NO. 18.050 P01 |  |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU | |
| SCALE 1:2000 | |

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|------------------------------|------------------|
| DRAWING NO. SPA820 | REV. 2 |
|------------------------------|------------------|



1 SEPTEMBER 21 SHADOW STUDIES 02:00PM
1 : 2000



2 SEPTEMBER 21 SHADOW STUDIES 03:00PM
1 : 2000

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SHADOW STUDY LEGEND

- EXISTING SHADOWS
- PROPOSED BUILDING 28 STOREYS
- PUBLIC SPACES
- NET NEW SHADOWS BY PROPOSED DEVELOPMENT
- PROPOSED SHADOW OUTLINE
- AS-OF-RIGHT SHADOW OUTLINE
- PROPOSED MASTER PLAN SHADOW OUTLINE

Assuming Site is Flat

SCALE BAR


0m 20m 50m 100m 150m

| | | | |
|---|------------|-------------------------------|-----|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |

Morguard

PROJECT
500 COVENTRY ROAD
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS
SEPTEMBER SHADOW STUDIES

| | |
|----------------------------|---|
| PROJECT NO. 18.050 P01 |  |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU | |
| SCALE 1:2000 | |

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|------------------------------|------------------|
| DRAWING NO. SPA821 | REV. 2 |
|------------------------------|------------------|

2024-10-28 2:27:55 PM



1 SEPTEMBER 21 SHADOW STUDIES 04:00PM
1 : 2000



2 SEPTEMBER 21 SHADOW STUDIES 05:00PM
1 : 2000

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SHADOW STUDY LEGEND

- EXISTING SHADOWS
- PROPOSED BUILDING 28 STOREYS
- PUBLIC SPACES
- NET NEW SHADOWS BY PROPOSED DEVELOPMENT
- PROPOSED SHADOW OUTLINE
- AS-OF-RIGHT SHADOW OUTLINE
- PROPOSED MASTER PLAN SHADOW OUTLINE

Assuming Site is Flat

SCALE BAR

0m 20m 50m 100m 150m


| | | | |
|---|------------|-------------------------------|-----|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |

Morguard

PROJECT
500 COVENTRY ROAD

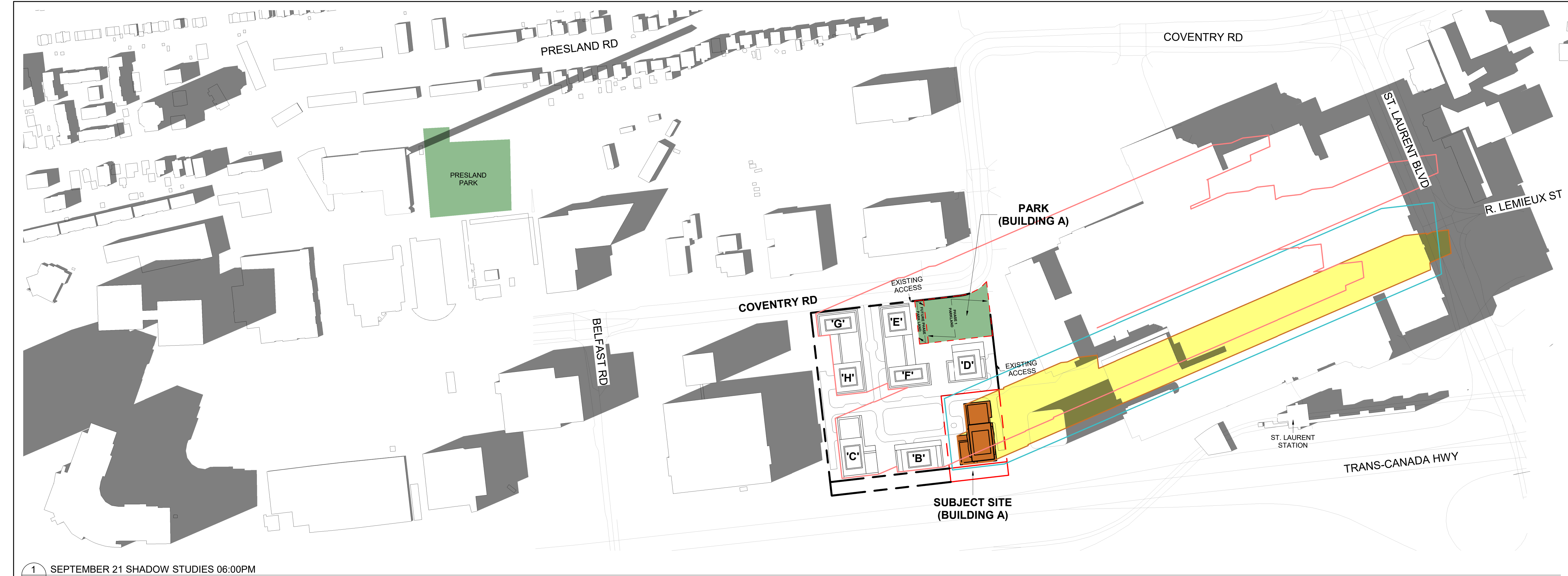
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS
SEPTEMBER SHADOW STUDIES

| | |
|----------------------------|---|
| PROJECT NO. 18.050 P01 |  |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU | |
| SCALE 1:2000 | |

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|------------------------------|------------------|
| DRAWING NO. SPA822 | REV. 2 |
|------------------------------|------------------|

2024-10-28 2:28:07 PM



1 SEPTEMBER 21 SHADOW STUDIES 06:00PM
SPA823 1 : 2000

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SHADOW STUDY LEGEND

EXISTING SHADOWS

PROPOSED BUILDING 28 STOREYS

PUBLIC SPACES

NET NEW SHADOWS BY PROPOSED DEVELOPMENT

PROPOSED SHADOW OUTLINE

AS-OF-RIGHT SHADOW OUTLINE

PROPOSED MASTER PLAN SHADOW OUTLINE

Assuming Site is Flat

SCALE BAR

10m 35m 75m 150m

0m 20m 50m 100m

| | | | |
|---|------------|-------------------------------|-----|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT

500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

SEPTEMBER SHADOW STUDIES

PROJECT NO.
18.050 P01

PROJECT DATE
2024-09-13

DRAWN BY
RYT / DRO

CHECKED BY
AYU

SCALE
1:2000

ONTARIO ASSOCIATION OF ARCHITECTS

RUSSELL L. FLEISCHER

LICENCE 5004

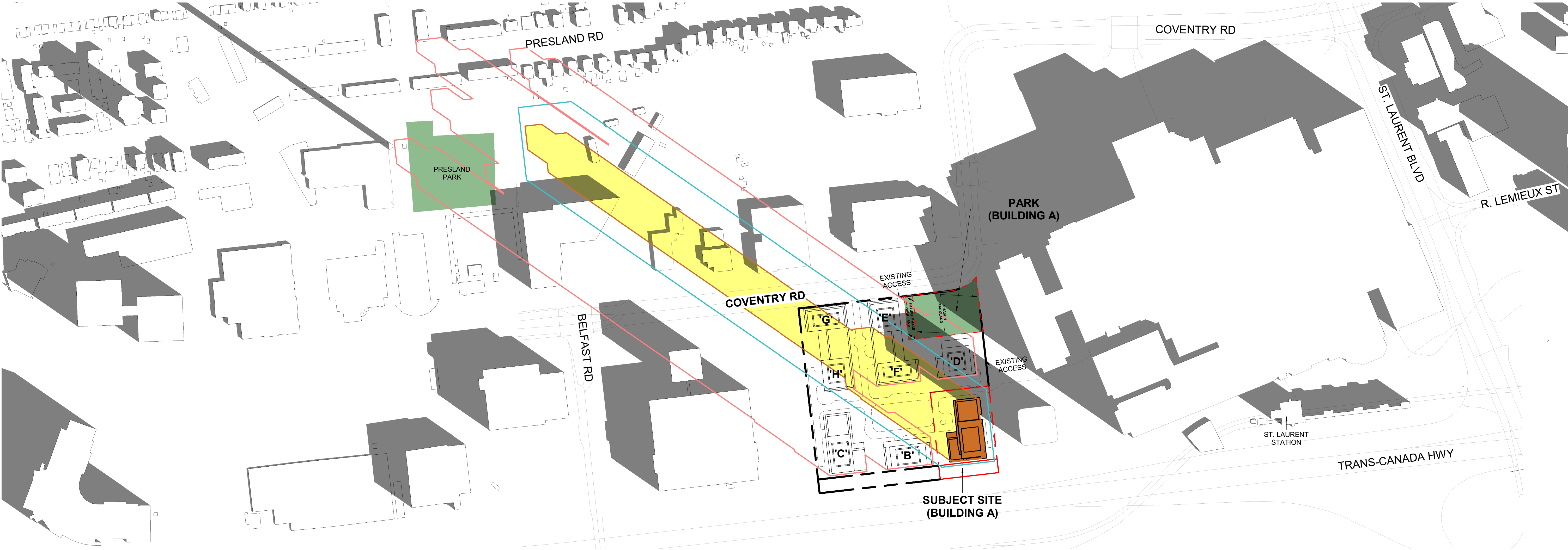
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DRAWING NO.
SPA823

REV.
2



1 DECEMBER 21 SHADOW STUDIES 09:00AM
1 : 2000



2 DECEMBER 21 SHADOW STUDIES 10:00AM
1 : 2000

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SHADOW STUDY LEGEND

- EXISTING SHADOWS
- PROPOSED BUILDING 28 STOREYS
- PUBLIC SPACES
- NET NEW SHADOWS BY PROPOSED DEVELOPMENT
- PROPOSED SHADOW OUTLINE
- AS-OF-RIGHT SHADOW OUTLINE
- PROPOSED MASTER PLAN SHADOW OUTLINE

Assuming Site is Flat

SCALE BAR

0m 20m 50m 100m 150m

| | | | |
|---|------------|-------------------------------|-----|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |

PROJECT

500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

DECEMBER SHADOW STUDIES

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|----------------------------|--|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU | |
| SCALE 1:2000 | |

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|------------------------------|------------------|
| DRAWING NO. SPA824 | REV. 2 |
|------------------------------|------------------|



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SHADOW STUDY LEGEND

- EXISTING SHADOWS
- PROPOSED BUILDING 28 STOREYS
- PUBLIC SPACES
- NET NEW SHADOWS BY PROPOSED DEVELOPMENT
- PROPOSED SHADOW OUTLINE
- AS-OF-RIGHT SHADOW OUTLINE
- PROPOSED MASTER PLAN SHADOW OUTLINE

Assuming Site is Flat

SCALE BAR

0m 10m 20m 35m 50m 75m 100m 150m


| | | | |
|---|------------|-------------------------------|-----|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |

Morguard

PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS
DECEMBER SHADOW STUDIES

| | |
|----------------------------|---|
| PROJECT NO. 18.050 P01 |  |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU | |
| SCALE 1:2000 | |

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|------------------------------|------------------|
| DRAWING NO. SPA825 | REV. 2 |
|------------------------------|------------------|



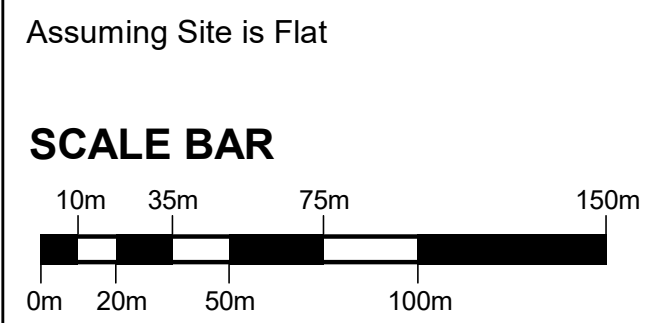
1 DECEMBER 21 SHADOW STUDIES 01:00PM
1 : 2000



2 DECEMBER 21 SHADOW STUDIES 02:00PM
1 : 2000

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- SHADOW STUDY LEGEND**
- EXISTING SHADOWS
 - PROPOSED BUILDING 28 STOREYS
 - PUBLIC SPACES
 - NET NEW SHADOWS BY PROPOSED DEVELOPMENT
 - PROPOSED SHADOW OUTLINE
 - AS-OF-RIGHT SHADOW OUTLINE
 - PROPOSED MASTER PLAN SHADOW OUTLINE



| | | | |
|---|------------|-------------------------------|-----|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT
500 COVENTRY ROAD
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS
DECEMBER SHADOW STUDIES

| | |
|------------------------------|------------------|
| PROJECT NO. 18.050 P01 | |
| PROJECT DATE 2024-09-13 | |
| DRAWN BY RYT / DRO | |
| CHECKED BY AYU | |
| SCALE 1:2000 | |
| DRAWING NO. SPA826 | REV. 2 |



1 DECEMBER 21 SHADOW STUDIES 03:00PM
SPA827 1 : 2000

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SHADOW STUDY LEGEND

EXISTING SHADOWS

PROPOSED BUILDING
28 STOREYS

PUBLIC SPACES

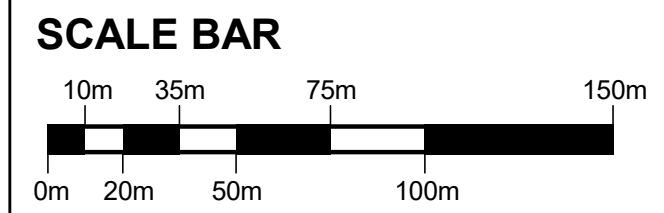
NET NEW SHADOWS BY
PROPOSED DEVELOPMENT

PROPOSED SHADOW
OUTLINE

AS-OF-RIGHT SHADOW
OUTLINE

PROPOSED MASTER PLAN
SHADOW OUTLINE

Assuming Site is Flat



| | | | |
|---|------------|-------------------------------|-----|
| 2 | 2024-11-01 | ISSUED FOR SITE PLAN APPROVAL | AYU |
| 1 | 2024-01-30 | ISSUED FOR PRE-CONSTRUCTION | AYU |
| # | DATE | DESCRIPTION | BY |



PROJECT

500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

DECEMBER SHADOW STUDIES

PROJECT NO.
18.050 P01

PROJECT DATE
2024-09-13

DRAWN BY
RYT / DRO

CHECKED BY
AYU

SCALE
1:2000

ONTARIO ASSOCIATION
OF
ARCHITECTS

RUSSELL L. FLEISCHER
LICENCE
5004

DRAWING NO.
SPA827

REV.
2