

116-118 CARRUTHERS AVENUE						
SITE PLAN OF SURVEY PART OF LOT 15, WEST CARRUTHERS AVENUE REGISTERED PLAN 35, CITY OF OTTAWA PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., COMPLETED MARCH 1, 2024			SURVEY INFO. SURVEY INFO TAKEN FROM TOPOGRAPHIC PLAN OF LOT 15, WEST CARRUTHERS AVENUE REGISTERED PLAN 35, CITY OF OTTAWA PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., MARCH 1, 2024			
R4UD - RESIDENTIAL FOURTH DENSITY ZONE (SEC. 161-162) CITY OF OTTAWA; DWELLING TYPE: 4 STOREY LOW-RISE RESIDENTIAL						
ZONING MECHANISMS		REQUIREMENT	PROVIDED	SECTION		
A) MINIMUM LOT AREA		450 m²	456.07 m²	Section 162, Table 162A		
B) MINIMUM LOT WIDTH		15 m	15.29 m	Section 162, Table 162A		
C) MINIMUM LOT DEPTH		N/A	29.84 m	Section 162, Table 162A		
D) MINIMUM FRONT YARD SET BACK		Lesser of the average of abutting lots' corresponding FYS (~ 1.99 m) or 4.5 m	2.59 m	Section 144(1)(a); Section 162, Table 162A		
E) MINIMUM INTERIOR SIDE YARD SET BACK		1.5 m	1.5 m, 2.44 m	Section 144, Table 144A		
F) MINIMUM REAR YARD SETBACK		%30 of lot depth (8.952m)	9 m	Section 144(3)(a)		
G) MINIMUM REAR YARD AREA		25% of lot area (114.32 m2)	138.5 m2	Section 162, Table 162A		
H) MAXIMUM BUILDING HEIGHT		14.5 m	14.26 m			
I) PERCENTAGE OF LANDSCAPE AREA OF THE LOT AREA		30% of lot area (136.82 m2)	30.04% (136.99 m2)	Section 161(8)		
J) MINIMUM AREA OF SOFTLANDSCAPING IN REAR YARD AREA		On a lot greater than 450 m2 in area: 50% of rear yard Minimum aggregate area of 25 m2, with a longer dimension <= 2 x shorter dimension	73.63 m2 53.15%	Section 161(15)(b)(i) Section 161(15)(b) (iv)		
K) MINIMUM AGGREGATE FRONT YARD SOFTLANDSCAPED AREA		For lot where FYS is 1.5-3m: 20% (7.64 m2)	39.21% (12 m2)	Section 161, Table 161		
L) MINIMUM FENESTRATION REQUIREMENT		Front facade: at least 25% windows	34% windows	Section 161(15)(g)		
M) MINIMUM FRONT FACADE ADDITIONAL RECESS		At least 20% of front facade minimum of 0.6 m from front setback line	23.6%	Section 161(15)(h)		
N) MINIMUM VEHICLE PARKING (RESIDENTS) Area 2 on Schedule 1A		0	0	Section 101(2)		
O) MINIMUM VEHICLE PARKING (VISITOR)		No Visitor parking spaces are required for the first 12 units, 0.1 per unit parking space per unit after 12 units ((17-12)x0.1=0.5 (1) parking space)	1 30.04% (136.99 m2)	Section 102(2)		
P) MINIMUM PARKING SPACE		2.6 m (width) x 5.2 m (length) Maximum width of 3.1 m		Section 106(1)		
R) UNIT BREAKDOWN		25% 2 bedroom units (4)	Total unit number=17 Number of 2 bedroom unit=4	Section 161(16)		
S) MINIMUM BICYCLE PARKING		0.5 per dwelling unit (17x0.5=8.5= 9 parking spaces)	17 parking spaces	Section 111, Table 111A(b)		
T) AMENITY AREA		0	63.9 m² rear yard 9.8 m² balcony 42.1 m² roof top patio			
BUILDING AREAS		UNIT BREAKDOWN				
BASEMENT BUILDING AREA GFA	205.2 m² 145.6 m²		BACHELOR	1 BED	2 BED	TOTAL
		BASEMENT	1	1	1	3
GROUND FLOOR BUILDING AREA GFA	210 m² 151 m²	GROUND FLOOR	1	1	1	3
		SECOND FLOOR	2	1	1	4
SECOND FLOOR BUILDING AREA GFA	210 m² 162.4 m²	THIRD FLOOR	3	1	0	4
		FOURTH FLOOR	1	1	1	3
THIRD FLOOR BUILDING AREA GFA	196 m² 148.5 m²	TOTAL	8	5	4	17
FOURTH FLOOR BUILDING AREA GFA	196 m² 150.5 m²	GARBAGE REQUIREMENT GARBAGE, RECYCLING AND COMPOSTING ARE TO BE STORED IN THE GARBAGE SHED AND REMOVED BY THE CITY DURING COLLECTION		SNOW REMOVAL REQUIREMENT PROPERTY OWNER WILL BE RESPONSIBLE FOR THE REMOVAL AND STORAGE OF SNOW FOR ALL WALKWAYS & WINDOW WELLS THROUGHOUT THE WINTER		
TOTAL BUILDING AREA		1017.2 m²				
TOTAL GFA		758 m²				
AVERAGE GRADE:						
CALCULATED FROM EXISTING ELEVATION POINTS AT A DISTANCE EQUAL TO THE MINIMUM FRONT YARD & REAR YARD SETBACKS, AT THE INTERIOR SIDE PROPERTY LINES						
AVERAGE GRADE : 62.14m (62.09m + 61.86m + 62.27m + 62.35m) /4						

**SITE LEGEND**

NEW TREE

EX. TREE TO BE REMOVED

NEW SHRUB

PROPOSED BUILDING

EXISTING BUILDING TO BE DEMOLISHED

PROPOSED / EXISTING ENTRY / EXIT

PROPERTY LINE

DENOTES HARD LANDSCAPING (PAVER)

DENOTES SOFT LANDSCAPING

EXISTING UTILITY POLE

EXISTING FIRE HAYDRANT

EXISTING PRIVATE RIGHT OF WAY (GRAVEL) CONVERTED TO ASPHALT

SNOW STORAGE AREA

WASTE COLLECTION AREA

BYCYCLE PARKING (SOD)

BYCYCLE PARKING (PAVER)

BIKE RACKS

CAR PARKING SPACE (ASPHALT)

EX. CHAINED LINK/BOARD FENCE

EXTERIOR LIGHT

**WASTE COLLECTION LEGEND**

4YD GARBAGE CONTAINER

3-360L BLUE BIN

3-360L BLACK BIN

240L ORGANICS

**SITE NOTES**

NEW ROOF DOWN SPOUTS SHALL NOT BE DIRECTED TOWARDS THE ADJACENT PROPERTIES

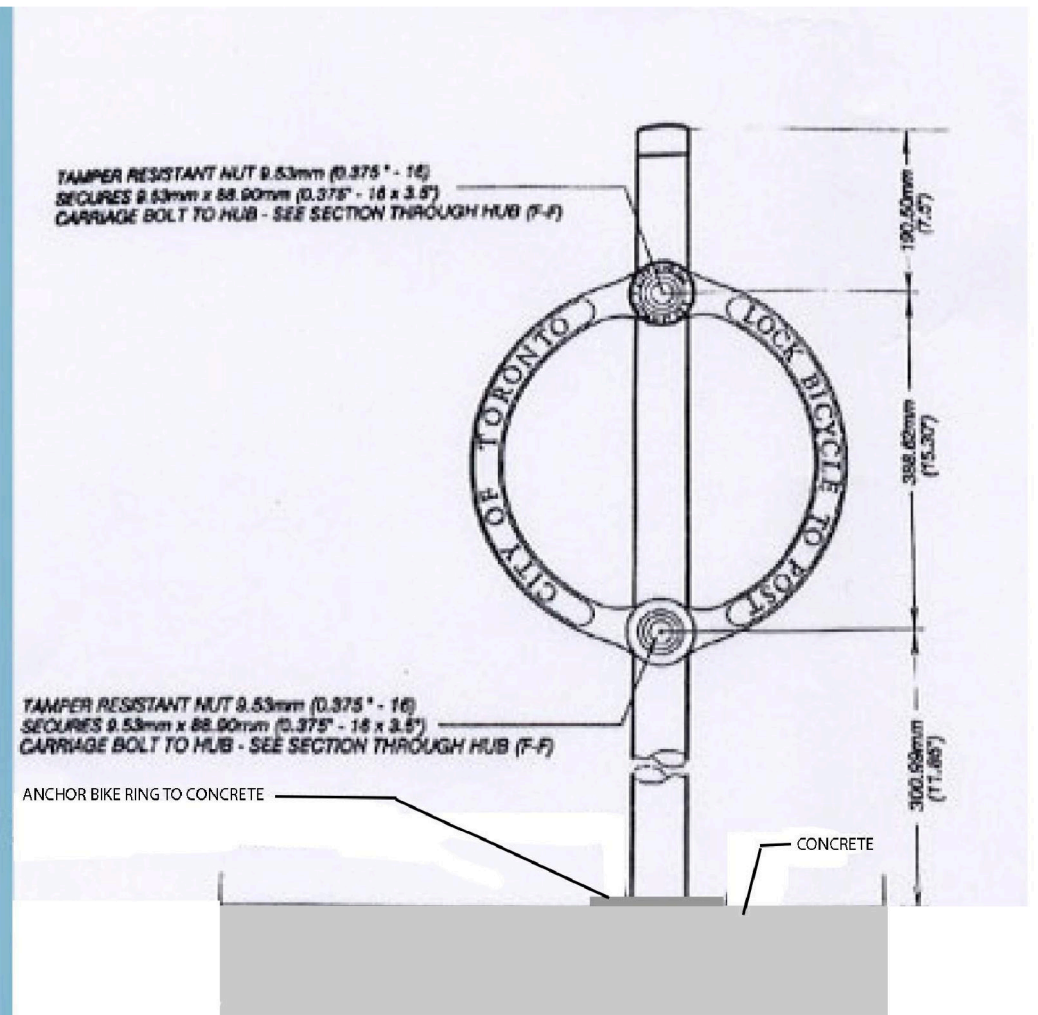
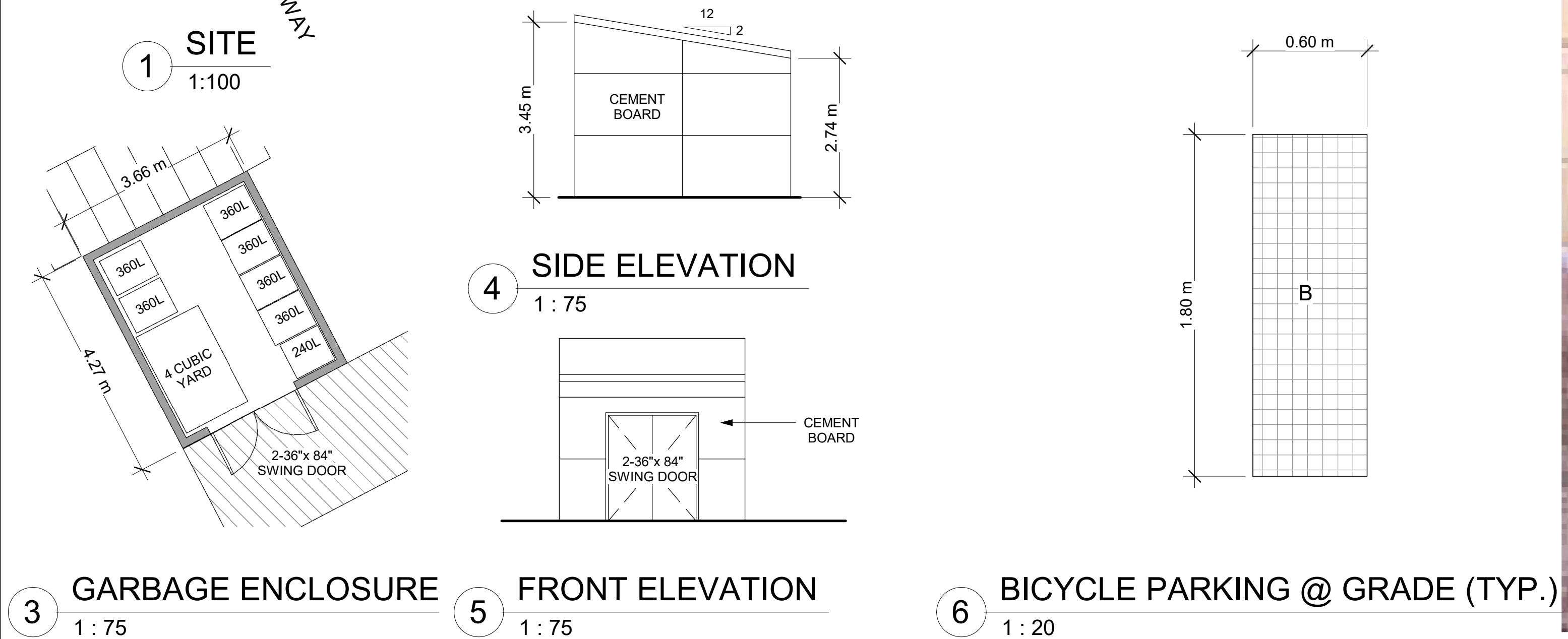
EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY

ALL GRADE TO SLOPE 2% AWAY FROM FOUNDATION WALL

ALL MEASUREMENTS ARE METRIC (ACCOMPANYING IMPERIAL MEAS. MAY APPEAR)

EXISTING GRADING AND DRAINAGE PATTERNS NOT TO BE ALTERED UNLESS OTHERWISE NOTED BY THE CIVIL ENGINEER

SNOW ACCUMULATION TO BE REMOVED OFF SITE IMMEDIATELY AS NEEDED



**REDLINE ARCHITECTURE INC.**

Tel: 613-612-2232  
info@redlinearchitecture.ca  
www.redlinearchitecture.ca

**RESPONSIBILITIES:**

DO NOT SCALE DRAWINGS

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ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAND REGULATIONS AND BYLAWS HAVING JURISDICTION

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**GENERAL NOTES:**

ONTARIO ASSOCIATION OF ARCHITECTS  
LEVENT TATAR  
LICENSE  
1942

**OWNER/DEVELOPER:**  
MA PRECIOUS HOLDING INC.

**ARCHITECT:**  
REDLINE ARCHITECTURE INC.

**APPLICANT:**  
OR PLANNING + DESIGN,  
DANIEL EDWARDS  
24 KIRKSTALL AVENUE, OTTAWA,  
ON K3H 3M5

**CIVIL ENGINEER:**  
EIP SERVICES INC.  
100-2602 QUEENSWAY DRIVE  
OTTAWA, ONTARIO K2B 5H6

**LANDSCAPING:**  
JAMES B. LENOX & ASSOCIATES INC.  
332 CARLING AVE OTTAWA ON K2H 5A8  
CANADA

**SURVEYOR:**  
ADVLTD  
14 CONCOURSE GATE, SUITE 500  
OTTAWA ON K2E 7G6

**CONSULTANTS:**  
STRUCTURAL - TBD  
MECHANICAL - TBD  
ELECTRICAL - TBD

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4	ISSUED FOR SPA REV. 05/16/25
3	ISSUED FOR SPA REV. 04/28/25
2	ISSUED FOR SPA REV. 01/02/25
1	ISSUED FOR SPA 11/12/24
NO.	REVISION/ISSUE DATE

PROJECT:

**116-118 CARRUTHERS AVE.**  
116-118 CARRUTHERS AVE.  
OTTAWA, ON K1Y 1N6

**SITE PLAN**

DRAWN BY: SHEET:  
DATE: MAY 3, 2024  
SCALE: AS NOTED

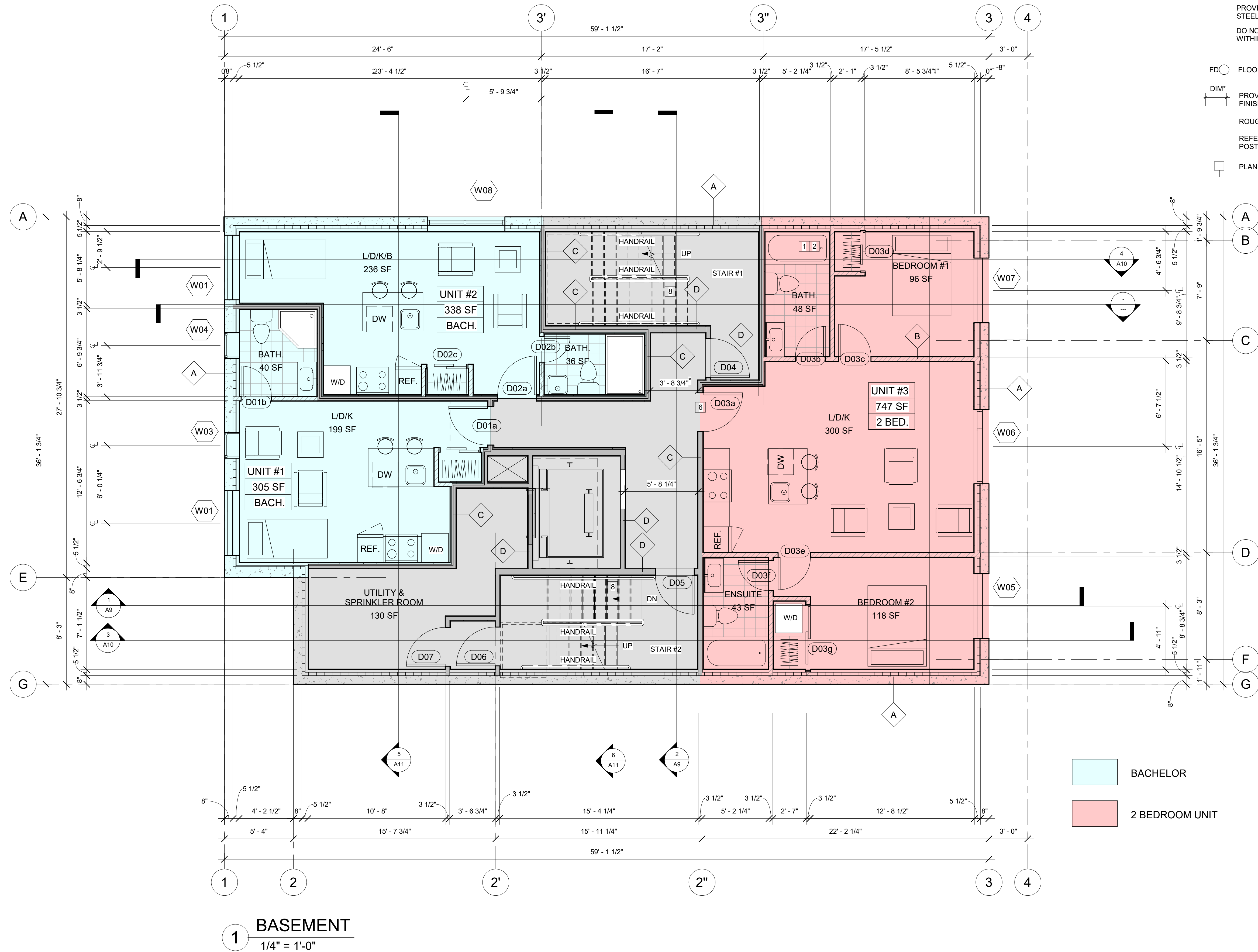
**A0**

**116-118 CARRUTHERS AVE.**  
FOUR STOREY LOW RISE  
APARTMENT DWELLING

**D07-12-24-0153**

# 19212





1 BASEMENT  
1/4" = 1'-0"

ALL BEAMS ARE FLUSH TO THE FLOOR JOIST UNLESS NOTED AS "DROPPED"  
IF STEEL / WOOD POSTS AND BEAMS ARE UNPROTECTED, WRAP WITH 2 LAYERS OF 5/8" TYPE "X" GYPSUM BOARD.

- 1HR FRR WALL
- NON FIRE RATED WALL
- SP2 1 HR FRR HSS COLUMN WITH GYPSUM BOARD. DETAIL, SEE A10
- SP4 1 HR FRR HSS COLUMN WITH INTUMESCENT COATING
- PROVIDE INTUMESCENT COATING FOR 1 HR AND 2HR FIRE RATED DROPPED STEEL BEAM AND STEEL BEAM INSIDE THE WALL
- DO NOT PROVIDE INTUMESCENT COATING FOR THE BEAMS WITHIN CEILING ASSEMBLY CAVITY
- FLOOR DRAIN, SEE MECHANICAL DRAWINGS
- PROVIDE MIN. 1100mm CLEAR WIDTH BETWEEN FINISHED WALL SURFACES (PUBLIC CORRIDORS & PUBLIC STAIRS)
- ROUGH OPENINGS FOR WINDOWS, SEE WINDOW SHOP DRAWINGS
- REFER TO STRUCTURAL DRAWINGS FOR ALL BEAMS, LINTELS, POSTS, FLOOR AND ROOF FRAMING
- PLAN NOTES, SEE PLAN CONST. LEGEND /A1

# 116-118 CARRUTHERS AVE.

## FOUR STOREY LOW RISE APARTMENT DWELLING

OWNER/DEVELOPER: MA PRECIOUS HOLDING INC.		
ARCHITECT: REDLINE ARCHITECTURE INC.		
APPLICANT: OR PLANNING + DESIGN, DAVID EDWARDS 24 KIRKSTALL AVENUE, OTTAWA, ON K1G 3M5		
CIVIL ENGINEER: EPI SERVICES INC. 100-2602 QUEENSWAY DRIVE OTTAWA, ONTARIO K2B 5H6		
LANDSCAPING: JAMES B. LENOX & ASSOCIATES INC. 332 CARLING AVE. OTTAWA, ON K2B 5A8 CANADA		
SURVEYOR: ADULTO, 14 CONTOUR GATE, SUITE 500 OTTAWA, ON K2E 7G6		
CONSULTANTS: STRUCTURAL - TBD MECHANICAL - TBD ELECTRICAL - TBD		
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1	ISSUED FOR BPA	11/12/24
NO.	REVISION/ISSUE	DATE
PROJECT:		

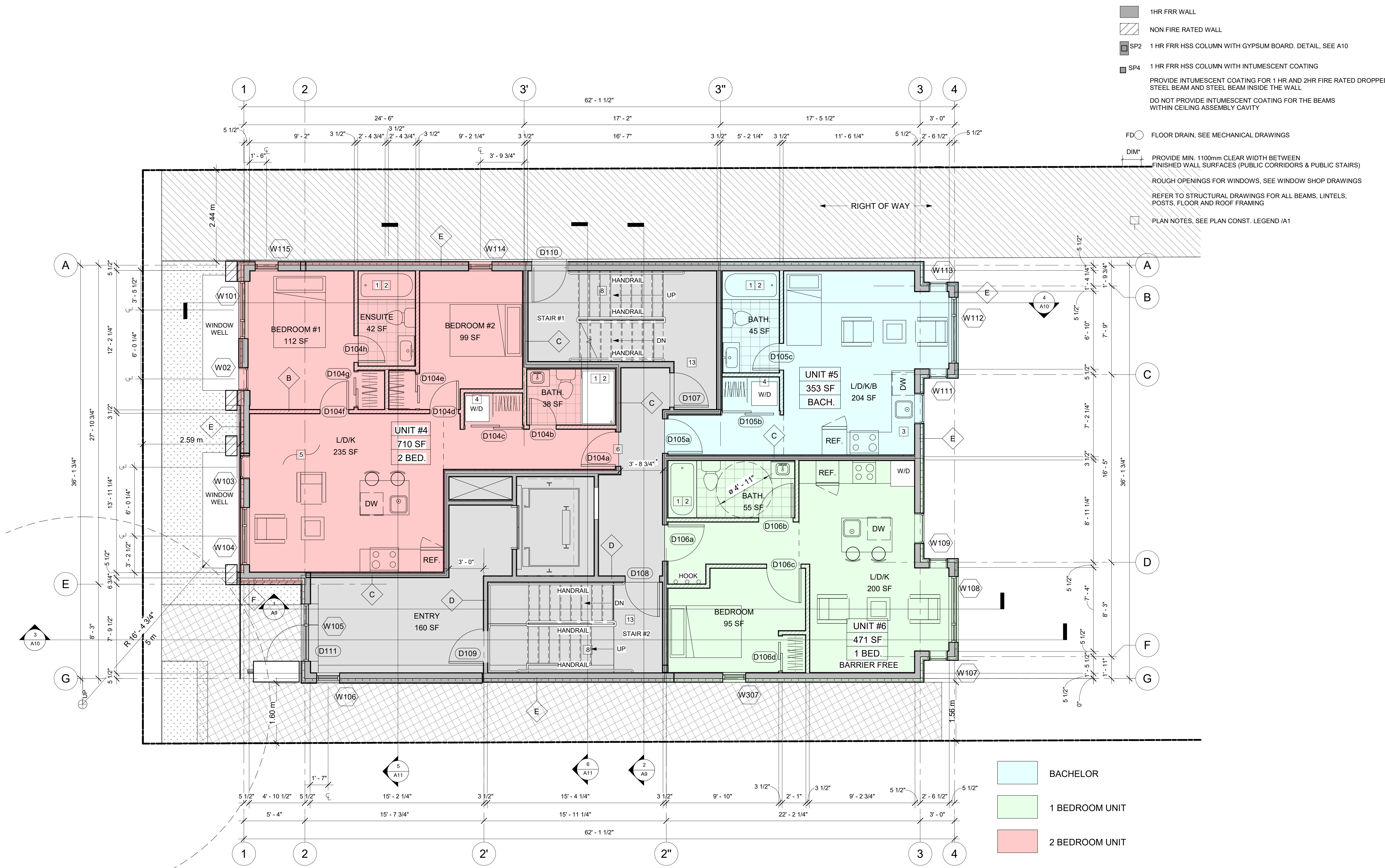
116-118 CARRUTHERS AVE.  
OTTAWA, ON K1Y 1N5

FLOOR PLANS

DRAWN BY: SHEET:  
DATE: MAY 3, 2024  
SCALE: AS NOTED

A1





- 1HR FRR WALL
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1 GROUND FLOOR  
1/4" = 1'-0"

ALL BEAMS ARE FLUSH TO THE FLOOR JOIST UNLESS NOTED AS "DROPPED"  
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RA REDLINE ARCHITECTURE

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GENERAL NOTES:

ONTARIO ASSOCIATION OF ARCHITECTS  
LEVENT TATAR  
LICENSE  
15542

**116-118 CARRUTHERS AVE.**  
FOUR STOREY LOW RISE  
APARTMENT DWELLING

**OWNER/DEVELOPER:**  
MA PRECIOUS HOLDING INC.

**ARCHITECT:**  
REDLINE ARCHITECTURE INC.

**APPLICANT:**  
OR PLANNING + DESIGN,  
DANIEL EDWARDS  
24 KIRKSTALL AVENUE, OTTAWA,  
ON K2B 3M5

**CIVIL ENGINEER:**  
E2P SERVICES INC.  
100-2602 QUEENSWAY DRIVE  
OTTAWA, ONTARIO K2B 9H6

**LANDSCAPING:**  
JAMES B. LENOX & ASSOCIATES INC.  
332 CARLING AVE OTTAWA ON K2B 5A8  
CANADA

**SURVEYOR:**  
ADVLTD,  
14 CONTOURSE GATE, SUITE 500  
OTTAWA ON K2E 7G6

**CONSULTANTS:**  
STRUCTURAL - TBD  
MECHANICAL - TBD  
ELECTRICAL - TBD

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1	ISSUED FOR BPA	11/12/24
NO.	REVISION/ISSUE	DATE

PROJECT:

**116-118 CARRUTHERS AVE.**  
116-118 CARRUTHERS AVE.  
OTTAWA, ON K1Y 1N5

FLOOR PLANS

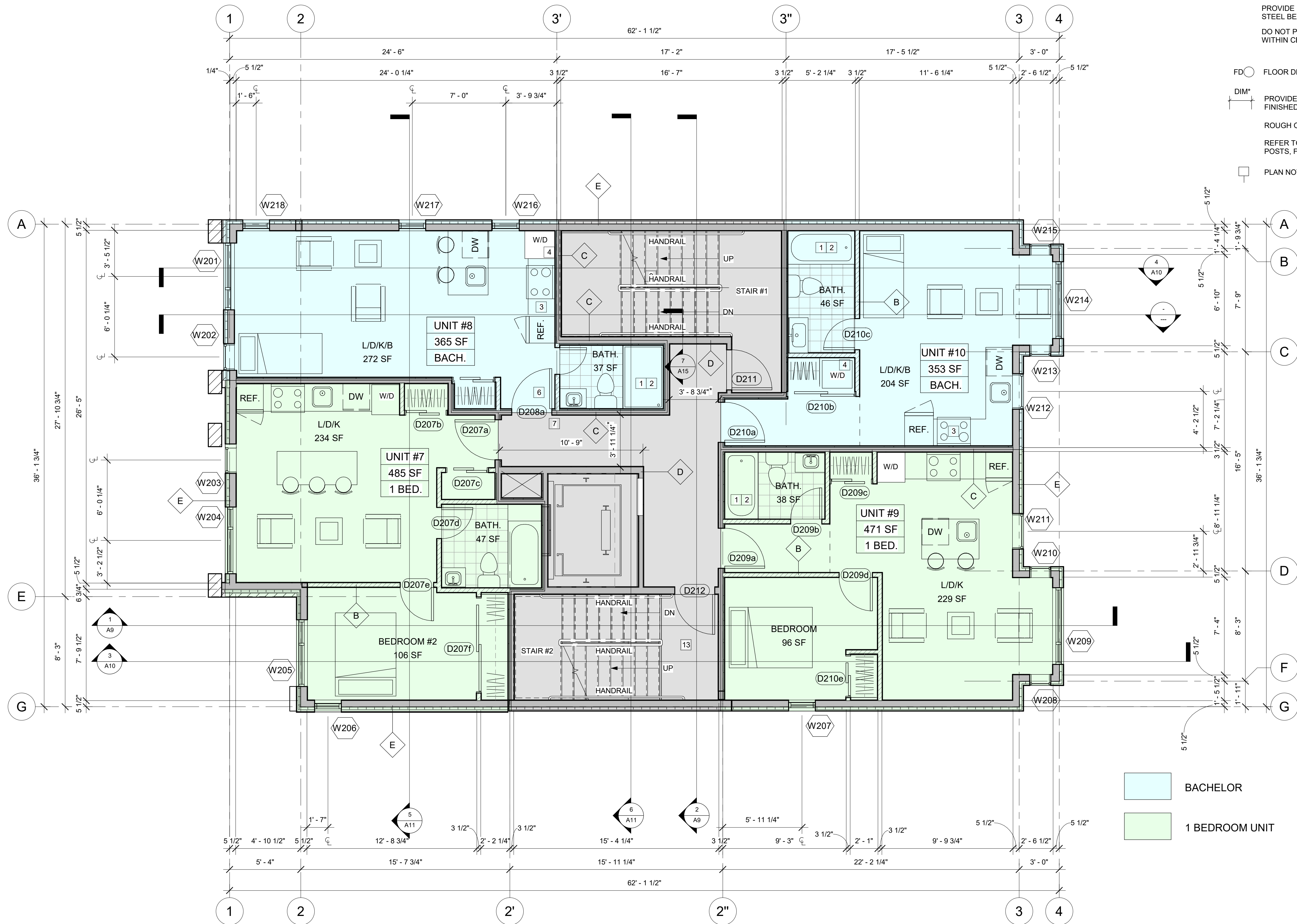
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**A2**

D07-12-24-0153

# 19212





1 SECOND FLOOR  
1/4" = 1'-0"

ALL BEAMS ARE FLUSH TO THE FLOOR JOIST UNLESS NOTED AS "DROPPED"  
IF STEEL / WOOD POSTS AND BEAMS ARE UNPROTECTED, WRAP WITH 2 LAYERS OF 5/8" TYPE "X" GYPSUM BOARD.

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DIM\* PROVIDE MIN. 1100mm CLEAR WIDTH BETWEEN FINISHED WALL SURFACES (PUBLIC CORRIDORS & PUBLIC STAIRS)  
ROUGH OPENINGS FOR WINDOWS, SEE WINDOW SHOP DRAWINGS  
REFER TO STRUCTURAL DRAWINGS FOR ALL BEAMS, LINTELS, POSTS, FLOOR AND ROOF FRAMING  
PLAN NOTES, SEE PLAN CONST. LEGEND /A1

- BACHELOR  
1 BEDROOM UNIT

116-118 CARRUTHERS AVE.  
FOUR STOREY LOW RISE  
APARTMENT DWELLING

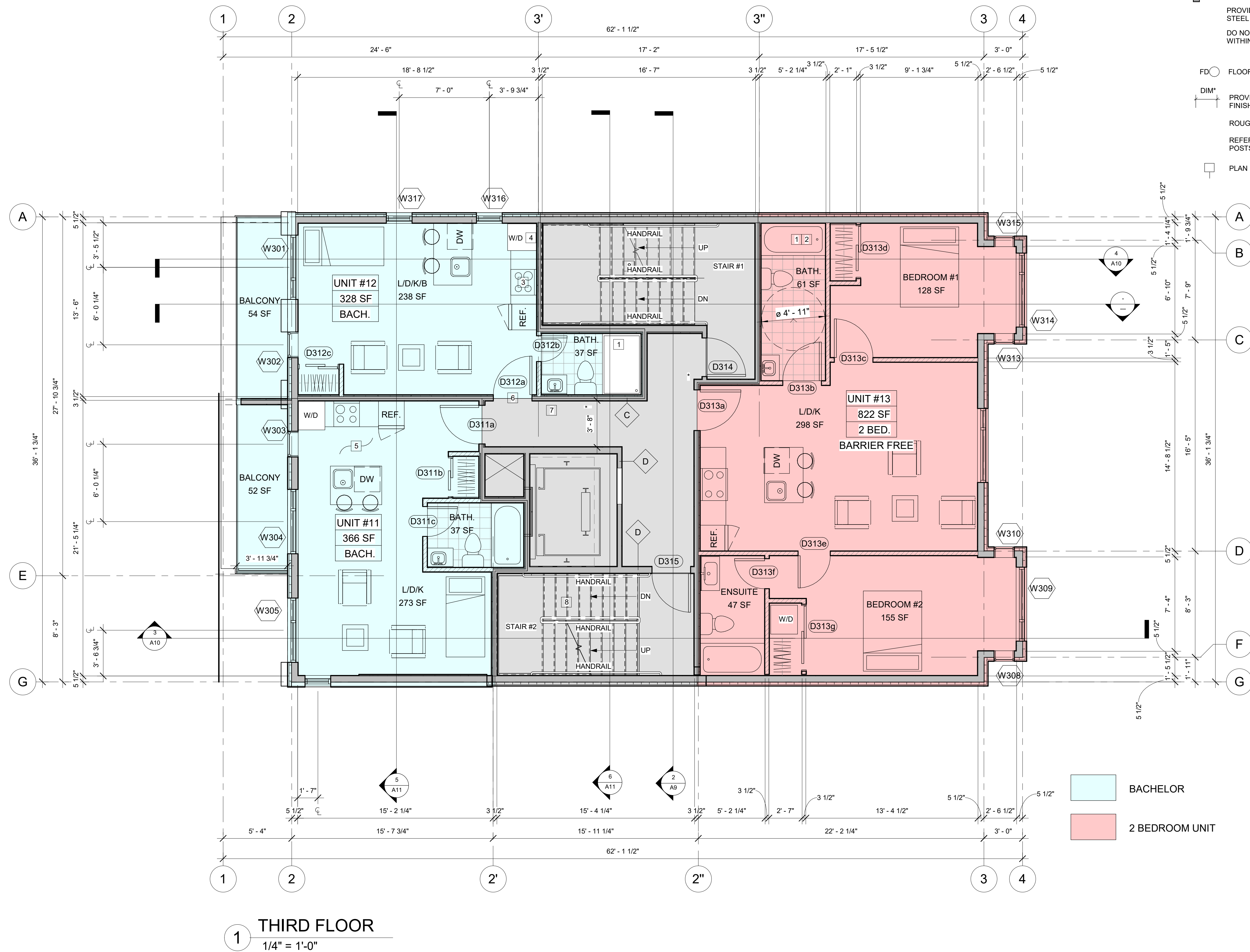
OWNER/DEVELOPER:  
MA PRECIOUS HOLDING INC.  
ARCHITECT:  
REDLINE ARCHITECTURE INC.  
APPLICANT:  
QR PLANNING + DESIGN,  
DANIEL EDWARDS  
24 KIRKSTALL AVENUE, OTTAWA,  
ON K1G 3M5  
CIVIL ENGINEER:  
EPI SERVICES INC.  
100-2602 QUEENSWAY DRIVE  
OTTAWA, ONTARIO K2B 8H6  
LANDSCAPING:  
JAMES B. LENOX & ASSOCIATES INC.  
3332 CARLING AVE OTTAWA ON K2H 5A8  
CANADA  
SURVEYOR:  
ADULT TO:  
14 CONTOUR GATE, SUITE 500  
OTTAWA ON K2E 7G6  
CONSULTANTS:  
STRUCTURAL - TBD  
MECHANICAL - TBD  
ELECTRICAL - TBD

NO.	REVISION/ISSUE	DATE	MDY
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2	ISSUED FOR SPA REV.	01/02/25	
1	ISSUED FOR BPA	11/12/24	

PROJECT:  
116-118 CARRUTHERS AVE.  
116-118 CARRUTHERS AVE.  
OTTAWA, ON K1Y 1N5

FLOOR PLANS

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A3



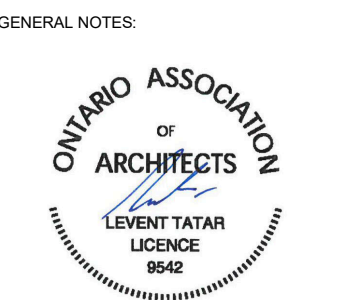
1 THIRD FLOOR  
1/4" = 1'-0"

ALL BEAMS ARE FLUSH TO THE FLOOR JOIST UNLESS NOTED AS "DROPPED"  
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- PLAN NOTES, SEE PLAN CONST. LEGEND /A1

BACHELOR  
2 BEDROOM UNIT

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# 116-118 CARRUTHERS AVE.

## FOUR STOREY LOW RISE APARTMENT DWELLING

OWNER/DEVELOPER:  
MA PRECIOUS HOLDING INC.

ARCHITECT:  
REDLINE ARCHITECTURE INC.

APPLICANT:  
OR PLANNING + DESIGN,  
DANIEL EDWARDS  
24 KIRKSTALL AVENUE, OTTAWA,  
ON K3B 3M5

CIVIL ENGINEER:  
EPI SERVICES INC.  
100-2602 QUEENSWAY DRIVE  
OTTAWA, ONTARIO K2B 9H6

LANDSCAPING:  
JAMES B. LENOX & ASSOCIATES INC.  
3332 CARLING AVE OTTAWA ON K2B 5A8  
CANADA

SURVEYOR:  
ADRI L.T.D.  
14 CONTOUR GATE, SUITE 500  
OTTAWA, ON K2E 7G6

CONSULTANTS:  
STRUCTURAL - TBD  
MECHANICAL - TBD  
ELECTRICAL - TBD

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1	ISSUED FOR BPA	11/12/24

PROJECT:  
116-118 CARRUTHERS AVE.  
116-118 CARRUTHERS AVE.  
OTTAWA, ON K1Y 1N5

FLOOR PLANS

DRAWN BY:  
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SCALE: AS NOTED

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A4



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## GENERAL NOTES:

**116-118 CARRUTHERS AVE.**  
FOUR STOREY LOW RISE  
APARTMENT DWELLING

## OWNER/DEVELOPER:

MA PRECIOUS HOLDING INC.

## ARCHITECT:

REDLINE ARCHITECTURE INC.

## APPLICANT:

OR PLANNING + DESIGN,  
DANIEL EDWARDS  
24 KIRKSTALL AVENUE, OTTAWA,  
ON K1G 3M5

## CIVIL ENGINEER:

EPI SERVICES INC.  
100-2602 QUEENSWAY DRIVE  
OTTAWA, ONTARIO K2B 8H6LANDSCAPING:  
JAMES B. LENOX & ASSOCIATES INC.  
3332 CARLING AVE OTTAWA ON K2H 5A8  
CANADA

## SURVEYOR:

ADVLTD,  
14 CONCOURSE GATE, SUITE 500  
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## CONSULTANTS:

STRUCTURAL - TBD  
MECHANICAL - TBD  
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**116-118 CARRUTHERS AVE.**  
116-118 CARRUTHERS AVE.  
OTTAWA, ON K1Y 1N5

## FLOOR PLANS

DRAWN BY:

DATE: MAY 3, 2024

SCALE: AS NOTED

SHEET:

A5

- 1HR FRR WALL
- NON FIRE RATED WALL
- SP2 1 HR FRR HSS COLUMN WITH GYPSUM BOARD. DETAIL, SEE A10
- SP4 1 HR FRR HSS COLUMN WITH INTUMESCENT COATING

PROVIDE INTUMESCENT COATING FOR 1 HR AND 2HR FIRE RATED DROPPED  
STEEL BEAM AND STEEL BEAM INSIDE THE WALLDO NOT PROVIDE INTUMESCENT COATING FOR THE BEAMS  
WITHIN CEILING ASSEMBLY CAVITY

FD FLOOR DRAIN, SEE MECHANICAL DRAWINGS

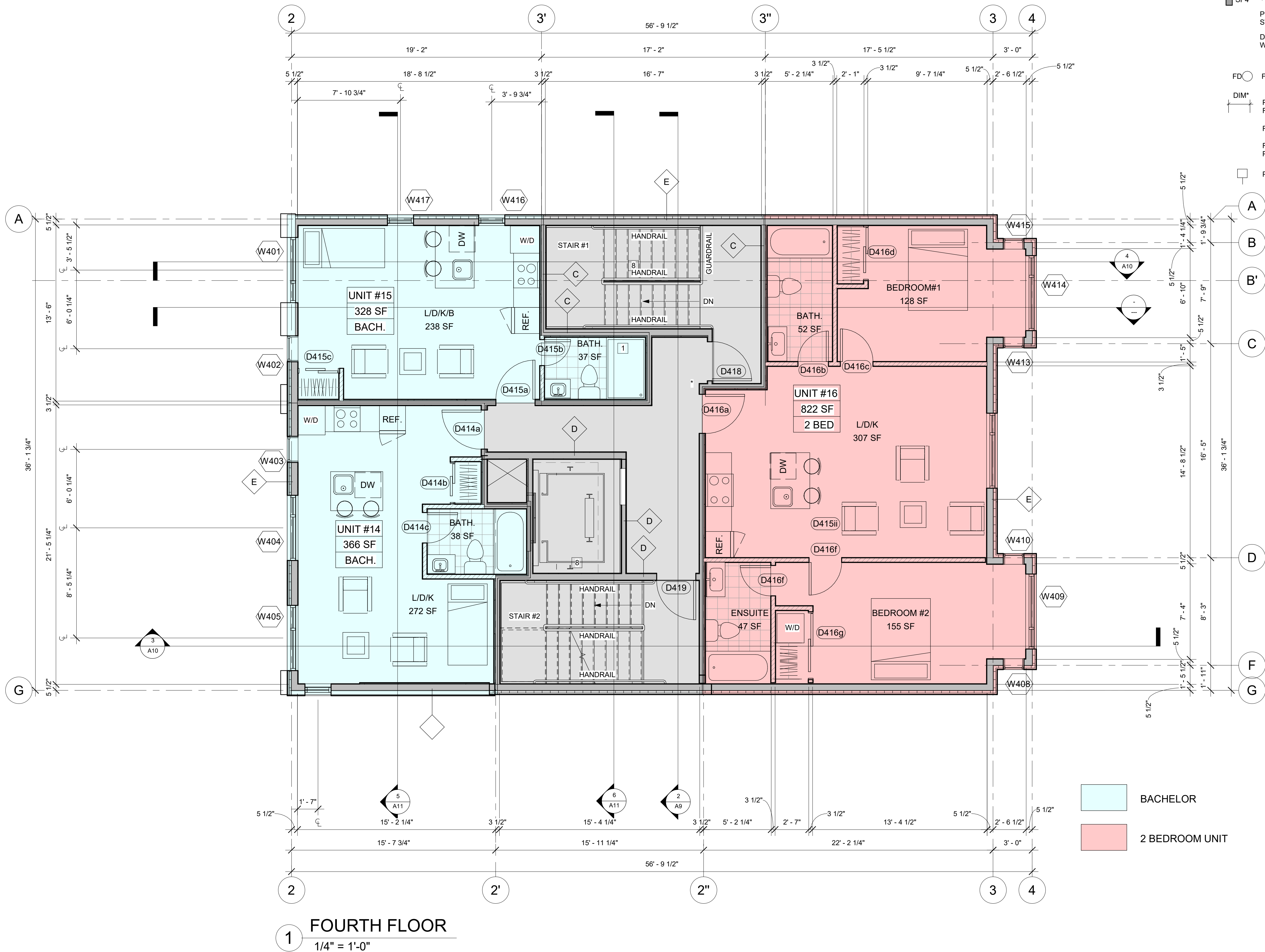
DIM\*

PROVIDE MIN. 1100mm CLEAR WIDTH BETWEEN  
FINISHED WALL SURFACES (PUBLIC CORRIDORS & PUBLIC STAIRS)

ROUGH OPENINGS FOR WINDOWS, SEE WINDOW SHOP DRAWINGS

REFER TO STRUCTURAL DRAWINGS FOR ALL BEAMS, LINTELS,  
POSTS, FLOOR AND ROOF FRAMING

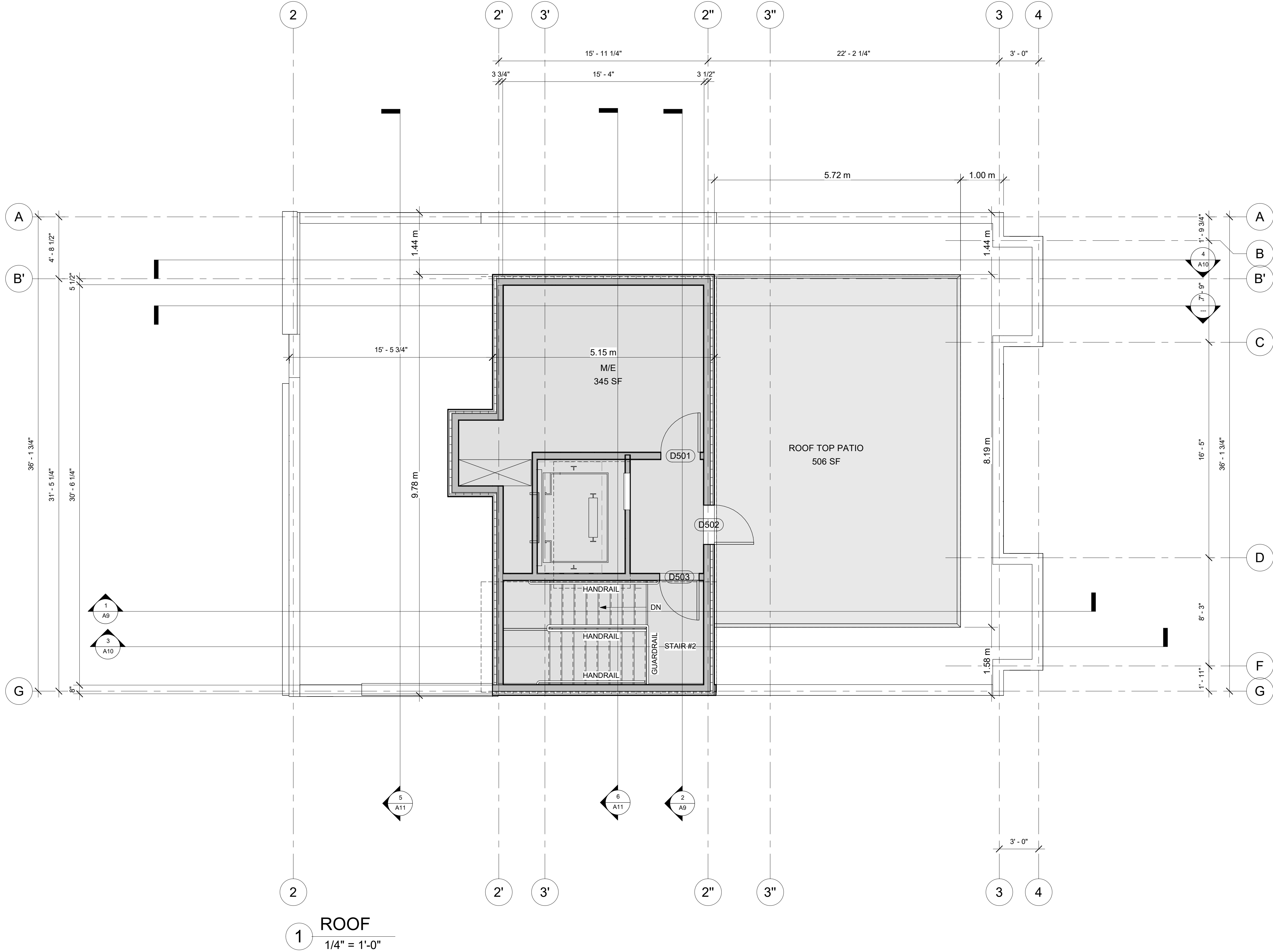
PLAN NOTES, SEE PLAN CONST. LEGEND /A1

**FOURTH FLOOR**

1/4" = 1'-0"

ALL BEAMS ARE FLUSH TO THE FLOOR JOIST UNLESS NOTED AS "DROPPED"

IF STEEL / WOOD POSTS AND BEAMS ARE UNPROTECTED, WRAP WITH 2 LAYERS OF 5/8" TYPE "X" GYPSUM BOARD.



**RESPONSIBILITIES:**  
DO NOT SCALE DRAWINGS  
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012  
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION  
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER  
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT  
COPYRIGHT RESERVED



**116-118 CARRUTHERS AVE.**  
FOUR STOREY LOW RISE  
APARTMENT DWELLING

**OWNER/DEVELOPER:**  
MA PRECIOUS HOLDING INC.  
**ARCHITECT:**  
REDLINE ARCHITECTURE INC.  
**APPLICANT:**  
OR PLANNING + DESIGN,  
DAVINA EDWARDS  
24 KIRKSTALL AVENUE, OTTAWA,  
ON K3B 3M5  
**CIVIL ENGINEER:**  
E2P SERVICES INC.  
100-2602 QUEENSWAY DRIVE  
OTTAWA, ONTARIO K2B 8H6  
**LANDSCAPING:**  
JAMES B. LENVOX & ASSOCIATES INC.  
3332 CARLING AVE. OTTAWA ON K2H 5A8  
CANADA  
**SURVEYOR:**  
ADVLTD,  
14 CONNORSE GATE, SUITE 500  
OTTAWA, ON K2E 7G6  
**CONSULTANTS:**  
STRUCTURAL - TBD  
MECHANICAL - TBD  
ELECTRICAL - TBD

**116-118 CARRUTHERS AVE.**  
116-118 CARRUTHERS AVE.  
OTTAWA, ON K1Y 1N5

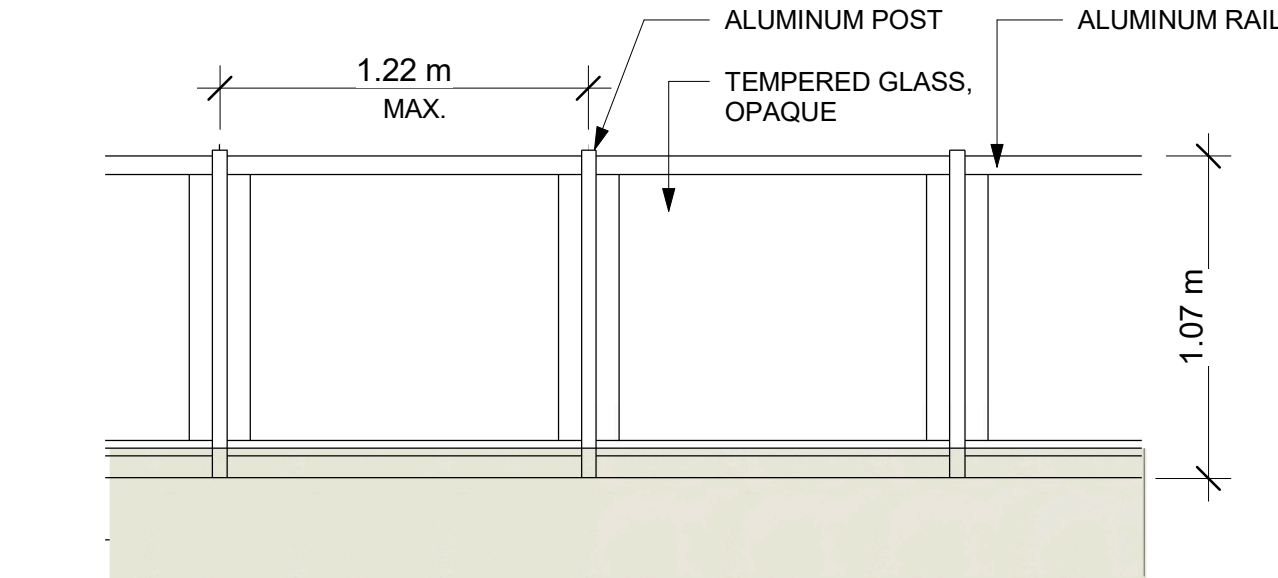
FLOOR PLANS	
DRAWN BY:	SHEET:
DATE: MAY 3, 2024	A6
SCALE: AS NOTED	





1 Front (East) Elevation  
3/16" = 1'-0"

2 Side (North) Elevation  
3/16" = 1'-0"



5 ROOFTOP GUARDRAIL  
1 : 25

- MATERIAL LEGEND & NOTES**
- 1 STONE VENEER
  - 2 METAL PANEL or CEMENT BOARD, LIGHT GREY
  - 3 METAL PANEL or CEMENT BOARD, BROWN
  - 4 METAL PANEL or CEMENT BOARD, DARK GREY
  - 5 VERTICAL METAL PANEL or CEMENT BOARD, LIGHT GREY
  - 6 PRECAST PARAPET CAP
  - 7 OPAQUE GLASS RAILING
  - 8 OPAQUE FENCE
  - 9 BIRD-SAFE GLASS

**116-118 CARRUTHERS AVE.**  
FOUR STOREY LOW RISE  
APARTMENT DWELLING

OWNER/DEVELOPER:  
MA PRECIOUS HOLDING INC.

ARCHITECT:  
REDLINE ARCHITECTURE INC.

APPLICANT:  
OR PLANNING + DESIGN,  
DANIEL EDWARDS  
24 KIRKSTALL AVENUE, OTTAWA,  
ON K3B 3M5

CIVIL ENGINEER:  
EIP SERVICES INC.  
100-2602 QUEENSWAY DRIVE  
OTTAWA, ONTARIO K2B 9H6

LANDSCAPING:  
JAMES B. LENOX & ASSOCIATES INC.  
332 CARLING AVE OTTAWA ON K2H 5A8  
CANADA

SURVEYOR:  
ADVLTD  
14 CONCOURSE GATE, SUITE 500  
OTTAWA, ON K2E 7G6

CONSULTANTS:  
STRUCTURAL - TBD  
MECHANICAL - TBD  
ELECTRICAL - TBD

	MDY
9	
8	
7	
6	
5	
4	
3	ISSUED FOR SPA REV. 05/02/25
2	ISSUED FOR SPA REV. 01/02/25
1	ISSUED FOR SPA 11/12/24
NO.	REVISION/ISSUE DATE

PROJECT:  
116-118 CARRUTHERS AVE.  
116-118 CARRUTHERS AVE.  
OTTAWA, ON K1Y 1N6

EAST AND NORTH  
ELEVATIONS

DRAWN BY:	SHEET:
DATE: MAY 3, 2024	A7
SCALE: AS NOTED	



# 116-118 CARRUTHERS AVE.

## FOUR STOREY LOW RISE APARTMENT DWELLING

OWNER/DEVELOPER:  
MA PRECIOUS HOLDING INC.ARCHITECT:  
REDLINE ARCHITECTURE INC.APPLICANT:  
OR PLANNING + DESIGN,  
DANIEL EDWARDS  
24 KIRKSTALL AVENUE, OTTAWA,  
ON K3B 3M5CIVIL ENGINEER:  
EOP SERVICES INC.  
100-2602 QUEENSWAY DRIVE  
OTTAWA, ONTARIO K2B 9H6LANDSCAPING:  
JAMES B. LENOX & ASSOCIATES INC.  
332 CARLING AVE OTTAWA ON K2H 5A8  
CANADASURVEYOR:  
ADVLTD,  
14 CONCOURSE GATE, SUITE 500  
OTTAWA, ON K2E 7G6CONSULTANTS:  
STRUCTURAL - TBD  
MECHANICAL - TBD  
ELECTRICAL - TBD

NO.	REVISION/ISSUE	DATE	MDY
9			
8			
7			
6			
5			
4			
3	ISSUED FOR SPA REV.	05/02/25	
2	ISSUED FOR SPA REV.	01/02/25	
1	ISSUED FOR SPA	11/12/24	

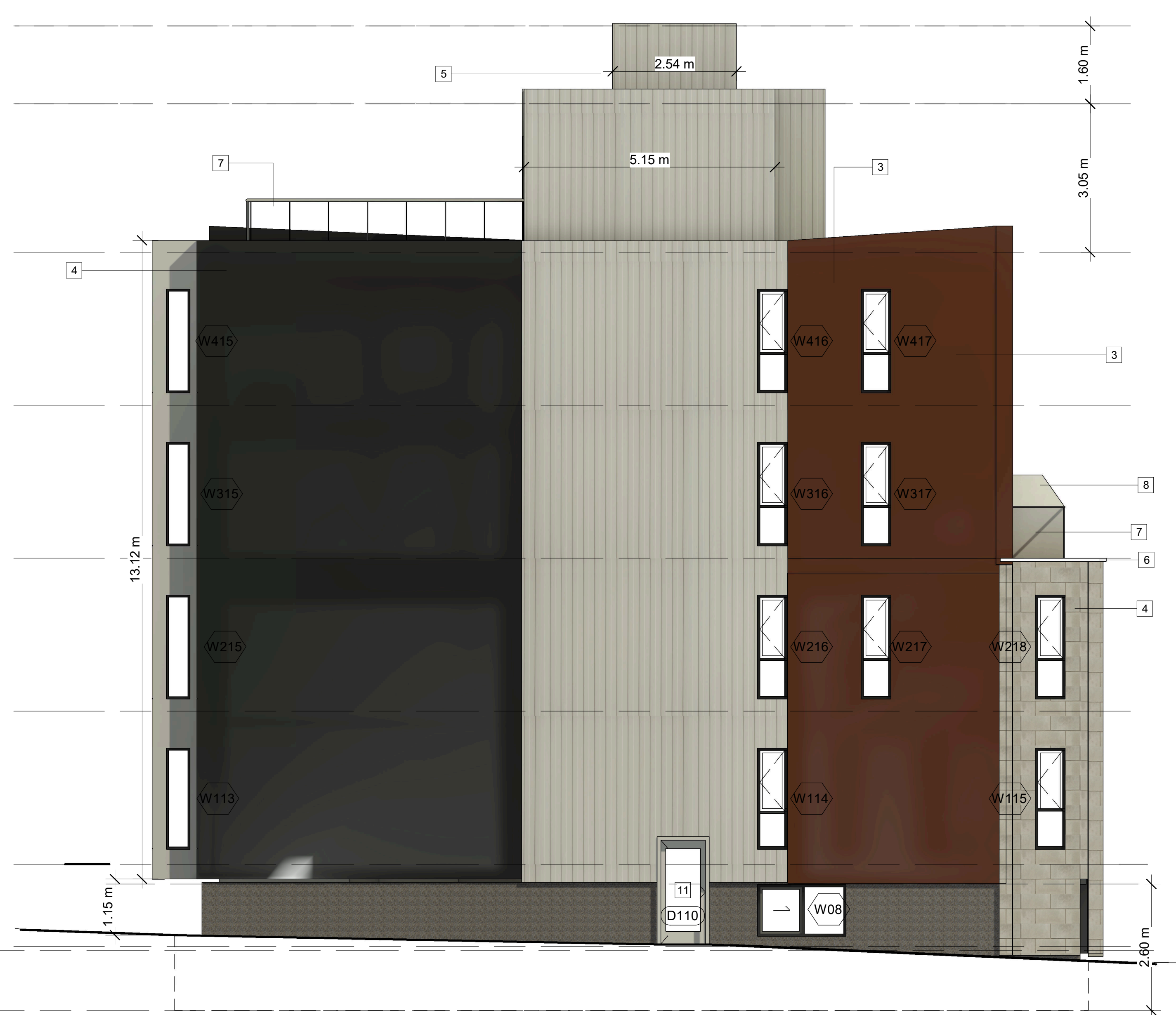
PROJECT:

116-118 CARRUTHERS AVE.  
OTTAWA, ON K1Y 1N6WEST AND SOUTH  
ELEVATIONSDRAWN BY:  
DATE: MAY 3, 2024  
SCALE: AS NOTEDSHEET:  
A8

# 19212

**MATERIAL LEGEND & NOTES**

- 1 STONE VENEER
- 2 METAL PANEL or CEMENT BOARD, LIGHT GREY
- 3 METAL PANEL or CEMENT BOARD, BROWN
- 4 METAL PANEL or CEMENT BOARD, DARK GREY
- 5 VERTICAL METAL PANEL or CEMENT BOARD, LIGHT GREY
- 6 PRECAST PARAPET CAP
- 7 OPAQUE GLASS RAILING
- 8 OPAQUE FENCE
- 9 BIRD-SAFE GLASS



1 Rear ( West) Elevation  
3/16" = 1'-0"

2 Side ( South) Elevation  
3/16" = 1'-0"