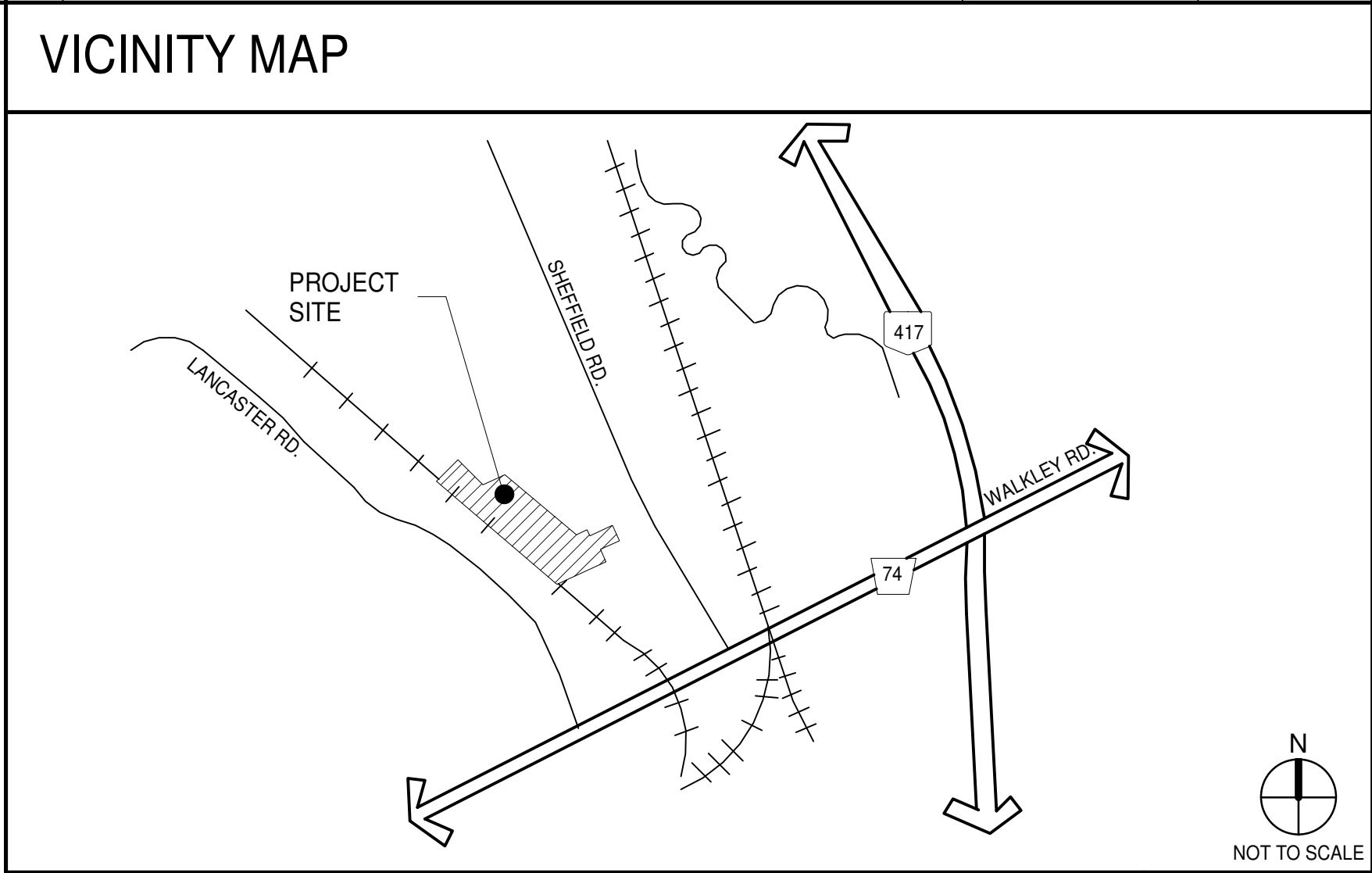


OBC MATRIX

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)
CERTIFICATE OF PRACTICE NUMBER: 3619
NAME OF PROJECT: SHEFFIELD INDUSTRIAL BUILDING
LOCATION: 2760-2770 SHEFFIELD RD. OTTAWA
ON K1B 3V9, CANADA.

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 OR 9				BUILDING CODE REFERENCE: REFERENCES ARE TO DIVISION B UNLESS NOTED. (A)FOR DIVISION A OR (C) FOR DIVISION C.							
1	PROJECT DESCRIPTION: ONE STORY INDUSTRIAL WAREHOUSE		☒ NEW ☐ ADDITION ☐ CHANGE OF USE	☐ PART 11 11.1 TO 11.4 ☐ ALTERATION	☒ PART 3 1.1.2 (A)	☐ PART 9 1.1.2 (A) & 9.10.1.3						
2	MAJOR OCCUPANCY(S) GROUP F, DIVISION 2 3.2.2.67				3.1.2.1.(1)	9.10.2						
3	BUILDING AREA (sq.m.) EXISTING: N/A NEW: 7,805 TOTAL: 7,805				1.4.1.2 (A)	1.4.1.2 (A)						
4	GROSS AREA (sq.m.) EXISTING: N/A NEW: 84,452 TOTAL: 84,452				1.4.1.2 (A)	1.4.1.2 (A)						
5	NUMBER OF STOREYS ABOVE GRADE: ONE BELOW GRADE: 0				1.4.1.2 (A) & 3.2.1.1	1.4.1.2 (A) & 9.10.4						
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS: 1				3.2.2.10 & 3.2.5.5	9.10.20						
7	BUILDING CLASSIFICATION(S) 3.2.2.67. GROUP F, DIVISION 2, ANY HEIGHT, ANY AREA				3.2.2.20- 83	9.10.2						
8	SPRINKLER SYSTEM PROPOSED ☒ ENTIRE BUILDING ☐ SELECTED COMPARTMENTS ☐ SELECTED FLOOR AREAS ☐ BASEMENT ☐ IN LIEU OF ROOF RATING ☐ NOT REQUIRED				3.2.2.20- 83 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX						
9	STANDPIPE REQUIRED ☐ YES ☒ NO				3.2.9	N/A						
10	FIRE ALARM REQUIRED ☐ YES ☒ NO				3.2.4	9.10.18						
11	WATER SERVICE / SUPPLY IS ADEQUATE ☒ YES ☐ NO ☐ N/A				3.2.5.7	N/A						
12	HIGH BUILDING ☐ YES ☒ NO				3.2.6	N/A						
13	CONSTRUCTION RESTRICTIONS ☐ COMBUSTIBLE PERMITTED ☒ NON-COMBUSTIBLE REQUIRED ☐ COMBUSTIBLE ☒ NON-COMBUSTIBLE ☐ BOTH				3.2.2.20- 83	9.10.6						
14	MEZZANINE(S) AREA m2 N/A				3.2.1.1.(3)-(8)	9.10.4.1						
15	OCCUPANT LOAD BASED ON ☐ m2 / PERSON ☒ DESIGN OF BUILDING 1ST FLOOR: OCCUPANCY: D LOAD (PERSONS): TBD 2ND FLOOR: OCCUPANCY: F2 LOAD (PERSONS): TBD TOTAL: OCCUPANCY: D F2 LOAD (PERSONS): <300				3.1.17	9.9.1.3						
16	BARRIER-FREE DESIGN ☒ YES ☐ NO				3.8	9.5.2						
17	HAZARDOUS SUBSTANCES ☐ YES ☒ NO				3.3.1.2 & 3.3.1.19	9.10.1.3 (4)						
18	REQUIRED FIRE RESISTANCE RATING (FRR)		HORIZONTAL ASSEMBLIES FRR (HOURS)		LISTED DESIGN No. OR DESCRIPTION (SG-2)							
FLOORS: 2 HOURS												
ROOF: 0 HOURS												
MEZZANINE: N/A HOURS												
FRR OF SUPPORTING MEMBERS												
LISTED DESIGN No. OR DESCRIPTION (SG-2)												
FLOORS: 2 HOURS												
ROOF: 0 HOURS												
MEZZANINE: N/A HOURS												
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS				3.2.3	9.10.14						
	WALL	AREA OF EBF (sq. m.)	LD. (m)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN No. OR DESCRIP.	COMB. CONSTR.	COMB. CONSTR. NONC. CLADDING	NON-COMB. CONSTRUCTION	
	NORTH	1918.107	>15	-	100%	1.6%	-	-	-	-	-	
			12	-	68%	-	2	-	-	-	-	
	SOUTH	1918.107	>15	-	100%	13%	-	-	-	-	-	
	EAST	573.393	>15	-	100%	3%	-	-	-	-	-	
	WEST	573.393	>15	-	100%	1.8%	-	-	-	-	-	
			12	-	68%	-	2	-	-	-	-	
20	PLUMBING FIXTURE REQUIREMENTS											
	FEMALE/MALE COUNT AT 50 % MALE/ 50 % FEMALE UNLESS NOTED OTHERWISE										PART 3	PART 9
	T.B.D.											
	TOTAL: 2 OCCUPANCY: F2											
20	OTHERS (DESCRIBE)											



SHEFFIELD INDUSTRIAL BUILDING 4

2760-2770 SHEFFIELD RD.
OTTAWA, ONTARIO K1B 3V9.



ARCHITECT

WARE MALCOMB

1420 BLAIR TOWERS PLACE,
SUITE #104, GLOUCESTER,
ONTARIO, CANADA K1J 9L8
P 343.633.2977

PRIMARY CONTACT: JOHN HOLLAND
PH: (343) 291-0596
EMAIL: jholland@waremalcomb.com

OWNER

RICHCRAFT
RICHCRAFT
2280 ST. LAURENT BLVD
SUITE 201
OTTAWA, ON, K1G 4K1
(613) 229-2693

PRIMARY CONTACT: DANI FARAH
PH: (613) 739-7111 x 174
EMAIL: dfarah@richcraft.com
ALTERNATE CONTACT:
PH:
EMAIL:

GENERAL CONTRACTOR

RON EASTERN CONSTRUCTION
RON EASTERN CONSTRUCTION LTD.
1801 WOODWARD DRIVE
ADDRESS LINE 2
OTTAWA ON, K2C 0R3
(613) 371-7520

PRIMARY CONTACT: BJORN FRIES
PH: (613) 727-4035
EMAIL:
ALTERNATE CONTACT:
PH:
EMAIL:

ARCHITECT'S CONSULTANTS

STRUCTURAL ENGINEER
GRAVITY ENGINEERING INC.
JEFFERSON AVE., GROUND FLOOR
TORONTO, ON M6K 3E4

PRIMARY CONTACT: DAVID LASERSON, P. ENG. PMP
PH: (437) 888-3185 X 2100
EMAIL: david.lasereson@gravityenginc.com

MECHANICAL ENGINEER
INVIRO ENGINEERED SYSTEMS LTD.
3530 PHARMACY AVENUE, UNIT #3
TORONTO, ON M1W 2S7

PRIMARY CONTACT: VICTOR YEUNG, BASc, P.ENG, LEED AP
PH: (416) 491-4455 x 239
EMAIL: victor@inviroenergy.com

PLUMBING ENGINEER
INVIRO ENGINEERED SYSTEMS LTD.
3530 PHARMACY AVENUE, UNIT #3
TORONTO, ON M1W 2S7

PRIMARY CONTACT: ANDY LAU, B.ENG., EIT
PH: (613) 467-6112
EMAIL: andy@inviroenergy.com

ELECTRICAL ENGINEER
INVIRO ENGINEERED SYSTEMS LTD.
3530 PHARMACY AVENUE, UNIT #3
TORONTO, ON M1W 2S7

PRIMARY CONTACT: KEVIN SEKHON, P.ENG., PRINCIPAL
PH: (416) 491-4455 X 305
EMAIL: kevin@inviroenergy.com

SHEET INDEX

TOTAL
SHEETS
25

ARCHITECTURAL

G010	TITLE SHEET
A010	GENERAL NOTES
A020	ASSEMBLY TYPES
A100	SITE PLAN
A110	EGRESS PLAN
A120	OVERALL FLOOR PLAN
A121	PARTIAL FLOOR PLAN
A122	PARTIAL FLOOR PLAN
A190	ROOF PLAN
A210	EXTERIOR ELEVATIONS
A211	EXTERIOR ELEVATIONS
A310	EXTERIOR ELEVATION AND BUILDING SECTIONS
A410	ENLARGED ELEVATION AND PLAN
A411	ENLARGED ELEVATION, PLAN AND WALL SECTIONS
A412	WALL SECTIONS
A413	WALL SECTIONS
A420	MECHANICAL AND ELECTRICAL ROOMS FLOOR PLAN & SECTIONS
A510	DETAILS
A511	DETAILS
A520	DETAILS
A530	DETAILS
A540	DETAILS
A610	DOOR SCHEDULE
A710	ISOMETRICS
A711	ISOMETRICS

ARCHITECTURAL SHEET COUNT: 25

WARE MALCOMB

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Gloucester, Ontario, Canada K1J 9L8
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ARCHITECTURE
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SHEFFIELD INDUSTRIAL
BUILDING 4

2760-2770 SHEFFIELD RD.
OTTAWA, ONTARIO K1B 3V9.

TITLE SHEET

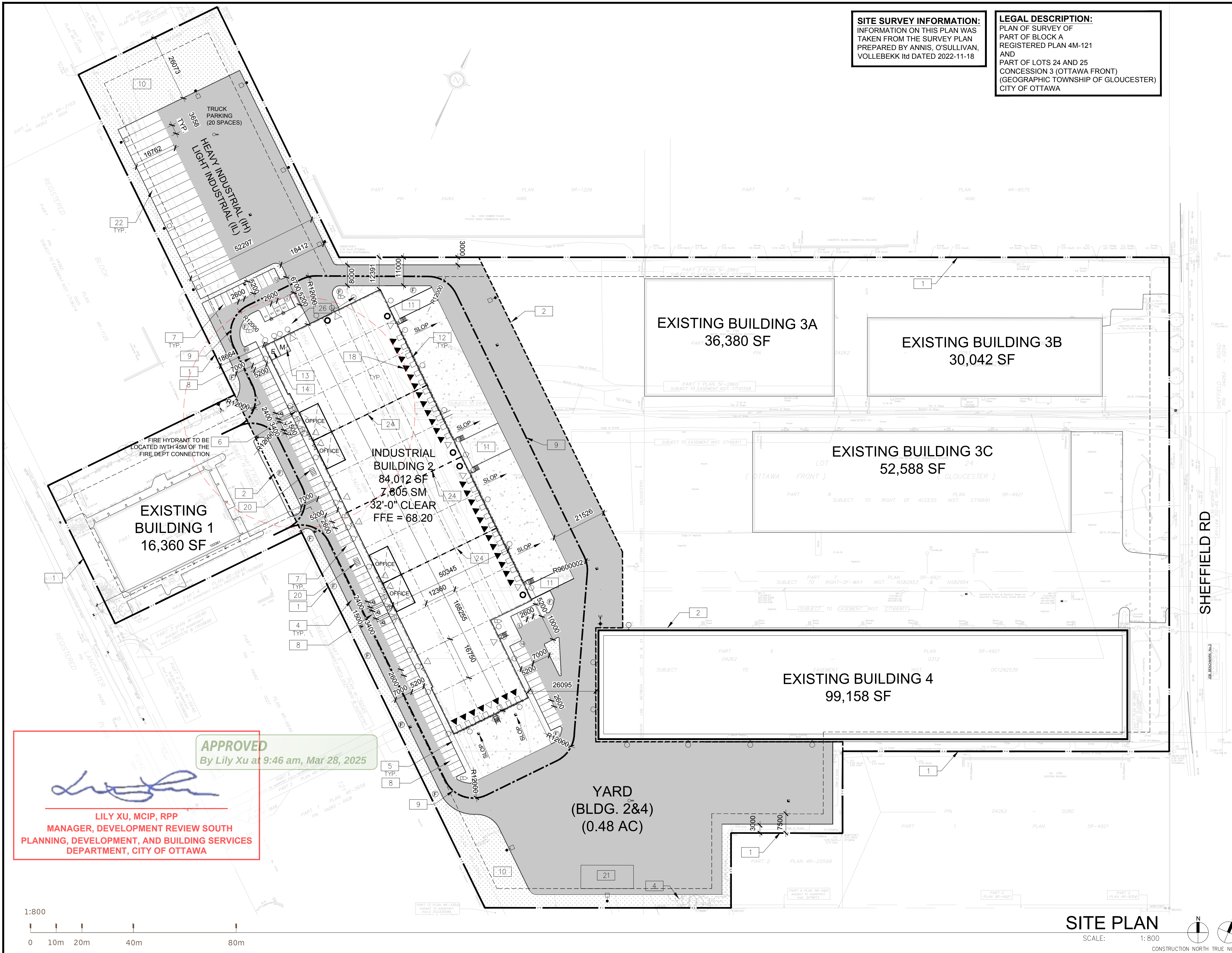
DATE	REMARKS
12/09/2024	ISSUE FOR PERMIT

PA/PM:	J. HOLLAND
DRAWN BY.:	A.M.
JOB NO.:	OTW21-0002-01

SHEET
G010

SITE SURVEY INFORMATION:
INFORMATION ON THIS PLAN WAS
TAKEN FROM THE SURVEY PLAN
PREPARED BY ANNIS, O'SULLIVAN,
VOLLEBEKK Ltd DATED 2022-11-18

LEGAL DESCRIPTION:
PLAN OF SURVEY OF
PART OF BLOCK A
REGISTERED PLAN 4M-121
AND
PART OF LOTS 24 AND 25
CONCESSION 3 (OTTAWA FRONT)
(GEOGRAPHIC TOWNSHIP OF GLOUCESTER)
CITY OF OTTAWA



SITE PLAN NOTES

- PROPERTY LINE
- PROJECT LIMIT LINE
- PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- 150mm WIDE CURB TYPICAL
- SIDEWALK - SEE LANDSCAPE DWGS FOR CONSTRUCTION DETAILS
- FIRE DEPARTMENT/SIAMESE CONNECTION
- 2600x5200mm PARKING STALL, PAINTED PARKING STRIPING PER CITY OF OTTAWA ZONING BY-LAW NO. 2008-250
- TYPICAL ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER BY-LAW OTTAWA ZONING BY-LAW NO. 2008-250. EACH PAIR OF SHARED STALLS TO HAVE TYPE A: 3.4m X 5.2m AND TYPE B: 2.4m X 5.2m WITH 1.5m WIDE PAINTED BARRIER FREE AISLE AND SIGNAGE REFER TO ONTARIO INTEGRATED ACCESSIBILITY STANDARDS.
- FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS ()
- LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
- DRIVE-IN RAMP BOUNDED BY RETAINING WALLS WITH GUARDRAILS WHERE GRADE CHANGE IS MORE THAN 600mm - REFER TO CIVIL DWGS
- 12.0mX3.5m TRUCK LOADING SPACE (TYP.)
- PROPOSED LOCATION OF MECHANICAL RM

- PROPOSED LOCATION OF ELECTRICAL RM
- GALVANIZED STEEL GUARDRAIL WITH HANDRAIL
- STEEL BOLLARD
- SHADED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE OR TRACTOR TRUCK ACCESS.
- TRUCK LOADING DOCK (TYP.)
- EXTERIOR GALVANIZED STEEL STAIRS
- GALV. BICYCLE RACKS - SEE LANDSCAPE DRAWINGS
- SNOW STORAGE AREA
- TRUCK TRAILER PARKING
- 13mx4.3m OVERSIZED TRUCK LOADING SPACE
- FUTURE TENANT DEMISING WALL. SUBJECT TO TENANT FIT UP
- EXISTING TRUCK COURT BEHIND BUILDING 4 TO BE REPAVED.
- AMENITY AREA

SITE LEGEND

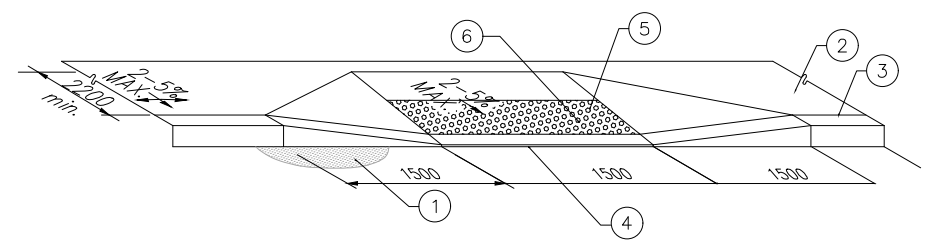
- NEW HEAVY DUTY PAVEMENT (HATCHED)
- NEW LANDSCAPED AREA (HATCHED)
- PAINTED DIAGONAL LINES WHERE INDICATED
- FUTURE EV PARKING STALLS
- PROPERTY LINE
- SITE BOUNDARY LINE
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- FIRE HYDRANT TO BE LOCATED WITH 45M OF THE FIRE DEPT CONNECTION
- LIGHT POLE
- WALL MOUNTED LIGHT
- MH DENOTES MANHOLE
- PROPOSED CATCHBASIN
- TACTILE INDICATORS AT DEPRESSED CURB
- BICYCLE RACK (1800 x 600 PER BIKE)
- MAN DOOR
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE ROUTE SIGNS
- CONCRETE SIDEWALK
- ELECTRIC VEHICLE CHARGING STATION
- FUTURE ELECTRIC VEHICLE CHARGING STATION

OTW21-0002-00

SITE STATISTICS		
ZONING	IH/IL	
GROSS SITE AREA	84,452 SM	
PROJECT LIMIT AREA	37,191 SM	
Zone Permitted Use (OTTAWA ZONING BY-LAW NO. 2008-250)		
Proposed Use	Warehouse	
Regulations (Part 11: Industrial Zones)		
	Proposed	Required IH (IL)
Min. Front Yard Building Setback (m)	18.66 m	7.5 m
Min. Interior Side Yard Building Set back (m)	12.29 m	7.5 m
Min.Rear Yard Building Setback (m)	N/A	7.5 m
Min.Landscape Front Yard Setback (m)	4.72 m	3 m
Min.Landscape Side Yard Setback (m)	3.15 m	3 m
Min.Landscape Rear Yard Setback (m)	N/A	3 m
Max. Floor Space Index	0.12	2
Max. Building Height	12 m	22 m (18m)

BUILDING FLOOR AREA		
Building 2		
Warehouse Area	7,605.00m²	
Office Area	200.00m²	
TOTAL BUILDING GFA	7,805.00m²	

PARKING REQUIREMENT		
	PROPOSED	REQUIRED
Warehouse GFA @ 0.8 Spaces per 100m²; first 5000m²	101	51
Warehouse GFA @ 0.4 Spaces per 100m²; above 5000m²		
Total No. of Parking Spaces	101	51
Barrier Free Parking Spaces	10	5
Parking Stall Dimensions	2.6 m X 5.2 m	
Barrier Free Parking Stall Type A	3.4m X 5.2m	
Barrier Free Parking Stall Type B	2.4m X 5.2m	
Bicycle Parking Space Dimensions	1.8m X 0.6m	
No. Of Bicycle Parking (Warehouse: 1 per 2000m², Office: 1 per 250m²)	10	9
Loading Space Dimensions	3.5m X 9.0m	
Oversized Loading Space Dimensions	4.3m X 13.0m	
No. Of Loading Spaces	2	2
No. Of Oversized Loading Spaces	2	2
Trailer Parking	19	N/A
DOCK STATISTICS	Proposed	
DOCK-HIGH DOORS	27	
OVER-HEAD DOORS	4	



- PAVEMENT
- ACCESSIBLE ROUTE OF PEDESTRIAN TRAVEL 2200mm MIN. (UNLESS OTHERWISE NOTED ON PLANS)
- TOP FACE OF CURB.
- DEPRESSED CURB
- TRUNCATED DOMES WITH A HEIGHT OF 4.5-5.5mm, BASE DIAMETER OF 21-25mm. REGULAR SPACING PATTERN AT 55-65mm ON CENTRE
- A MINIMUM 600mm WIDE SECTION DETECTABLE WARNING SURFACE SHALL BE PROVIDED WHEN FLAT TRAVEL SURFACE ADJOINS A VEHICULAR WAY (0mm CURB FACE)

ACCESSIBLE CURB RAMP

SCALE: N.T.S

1

WARE MALCOMB

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civil engineering

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vaughan, ontario, L4K 5W9
p 905.760.1221
f 905.248.3344
a business name of WMA Inc.



SHEFFIELD RD.
RICHCRAFT
2760-2770 SHEFFIELD RD.
OTTAWA, ONTARIO

OVERALL SITE PLAN

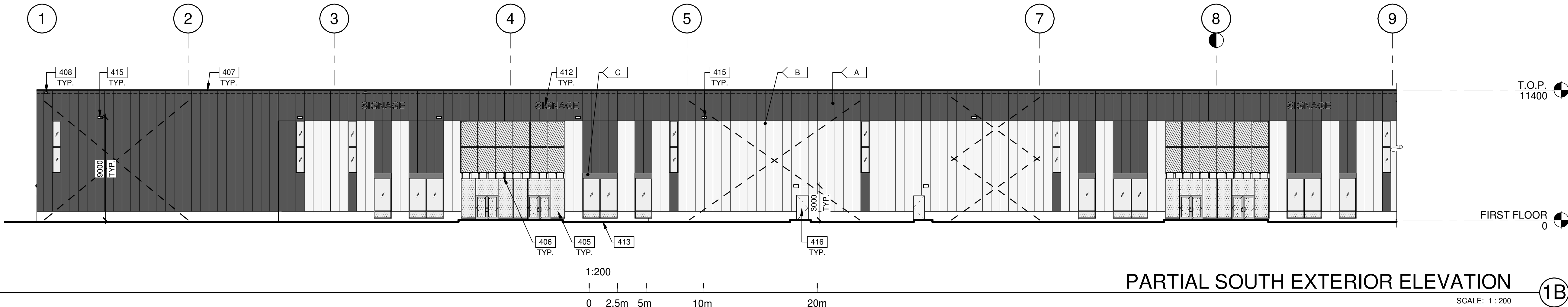
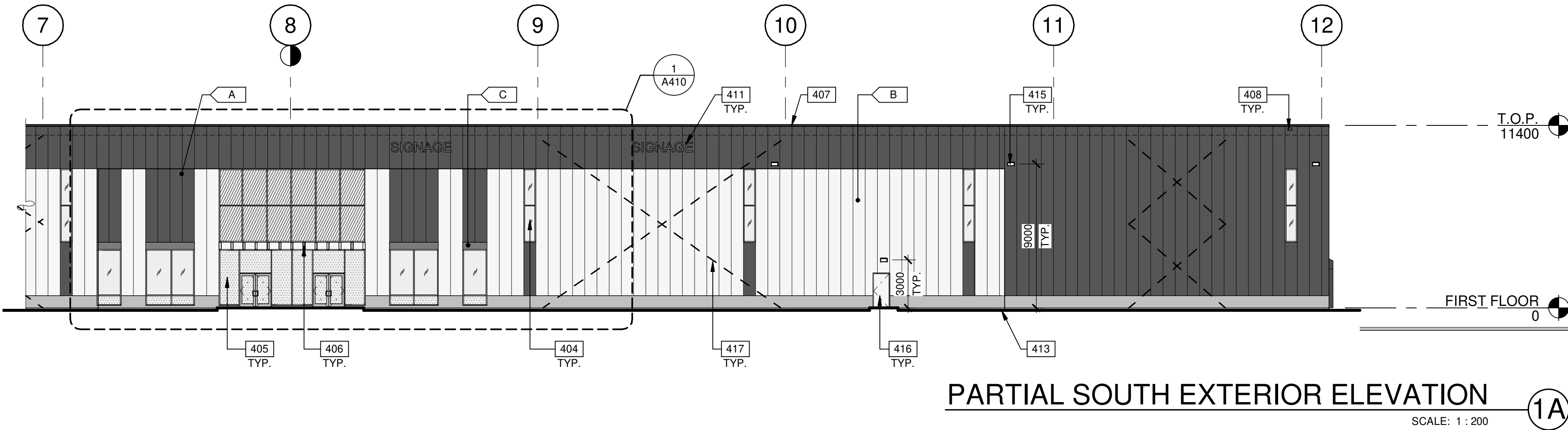
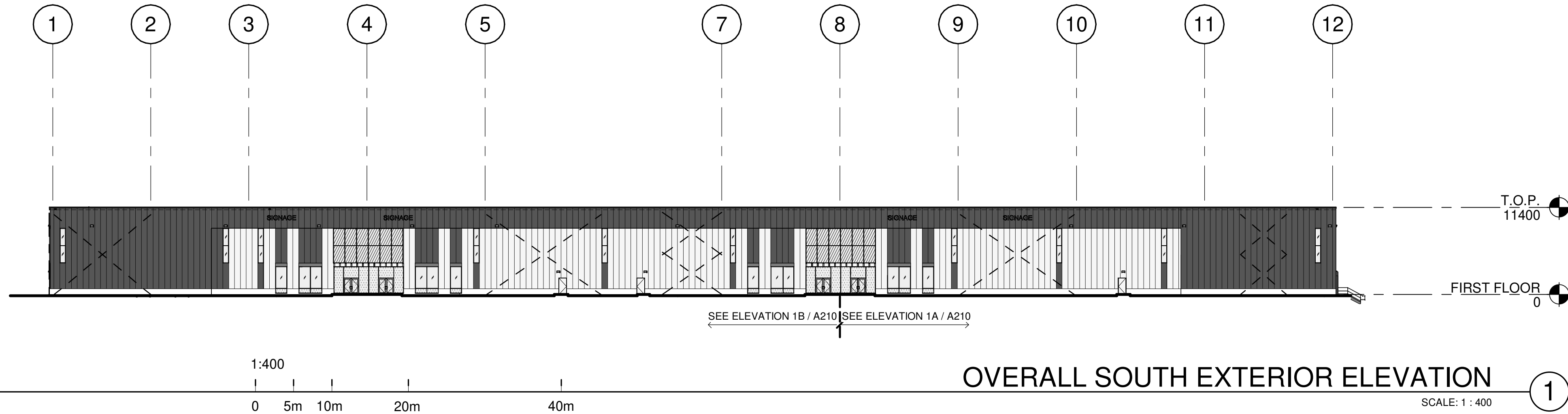
DATE	ISSUED FOR SPA	REMARKS
1	2023-05-16	GENERAL VERSION
2	2024-07-17	GENERAL VERSION
3	2024-08-12	ISSUED FOR SPA
4	2024-08-27	REVISION FOR EV PARKING
5	2024-09-03	ISSUE FOR FOOTPRINT UPDATING
6	2024-09-20	SPA COMMENTS REVISION
7	2024-12-09	ISSUE FOR PERMIT

PA / PM:	HW/JH
DRAWN BY:	HW
JOB NO.:	OTW21-0002-00

SHEET

A1.0

007-12-24-0156 PLAN #19210



LEGEND

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

COLOURS:

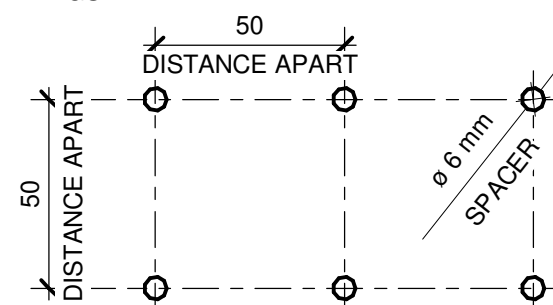
PROVIDE 1,828mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- BASE COLOUR: BLACK
- SECONDARY COLOUR: WHITE
- ACCENT COLOUR: BRONZE

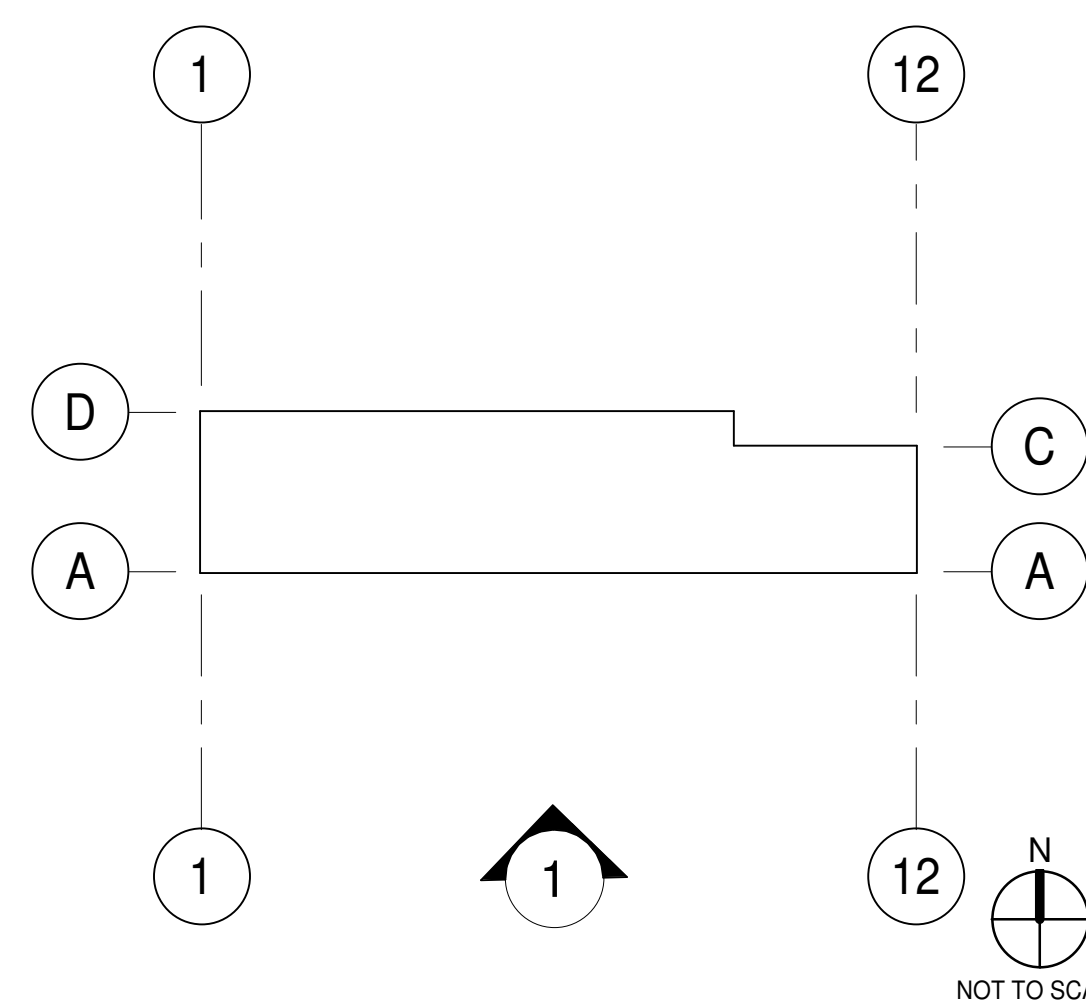
KEYNOTES

SEE SHEET A010 FOR GENERAL NOTES

- 404 CLERESTORY WINDOW.
- 405 CURTAIN WALL GLAZING SYSTEM.
- 406 CANOPY WITH HSS PROFILE.
- 407 CONTINUOUS METAL CAP FLASHING, PREFINISHED TO MATCH ADJACENT WALL.
- 408 OVERFLOW SCUPPER.
- 411 DOCK SHELTER.
- 412 FUTURE TENANT SIGNAGE, UNDER SEPARATE PERMIT.
- 413 FINISH GRADE VARIES. REFER TO CIVIL DRAWINGS.
- 415 WALL PACK MOUNTED. REFER TO ELECTRICAL DRAWINGS.
- 416 HOLLOW METAL MAN DOOR, PAINTED AT ALL WAREHOUSE EXITS.
- 417 STRUCTURAL STEEL CROSS BRACING BEHIND-REFER TO STRUCTURAL DRAWINGS.



KEY PLAN



APPROVED

By Lily Xu at 9:46 am, Mar 28, 2025

LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

WARE MALCOMB

CIVIL ENGINEERING
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P 343.633.2977



SHEFFIELD INDUSTRIAL
BUILDING 4
2760-2770 SHEFFIELD RD.
OTTAWA, ONTARIO K1B 3V9.

EXTERIOR ELEVATIONS

DATE	REMARKS
12/09/2024	ISSUE FOR PERMIT
9	

PA/PM:	J. HOLLAND
DRAWN BY.:	A.M.
JOB NO.:	OTW21-0002-01

SHEET

A210

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**SHEFFIELD INDUSTRIAL
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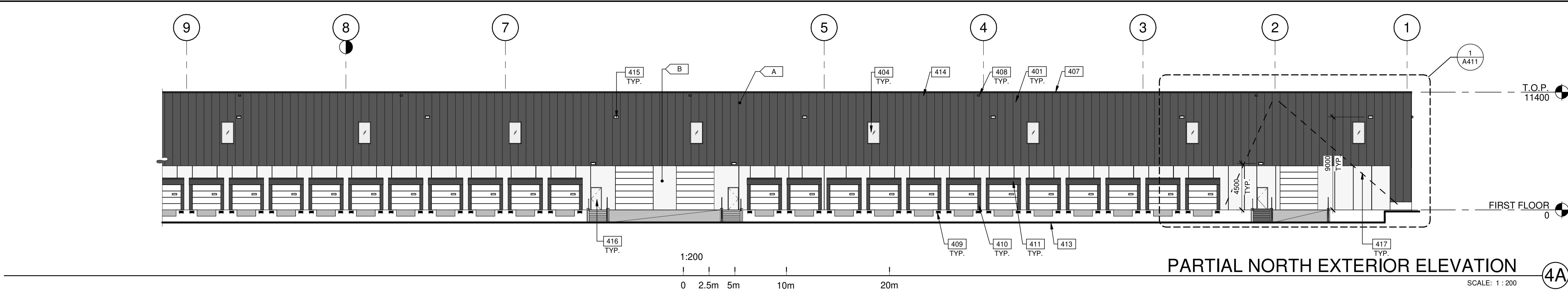
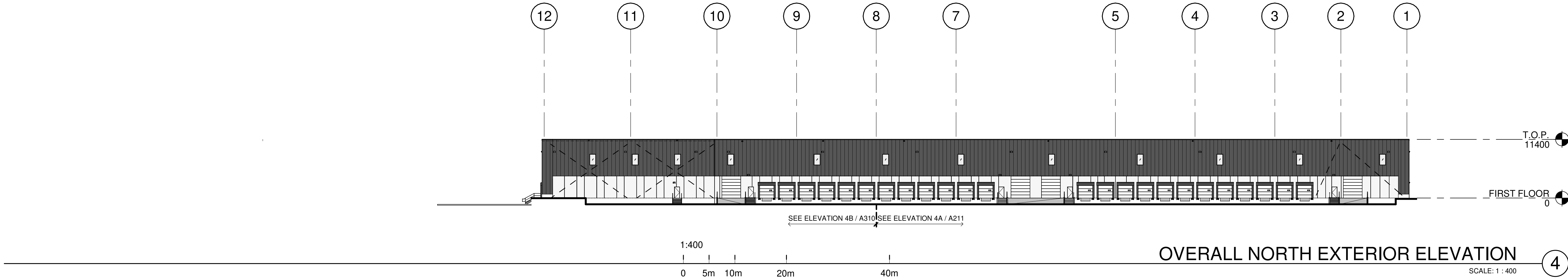
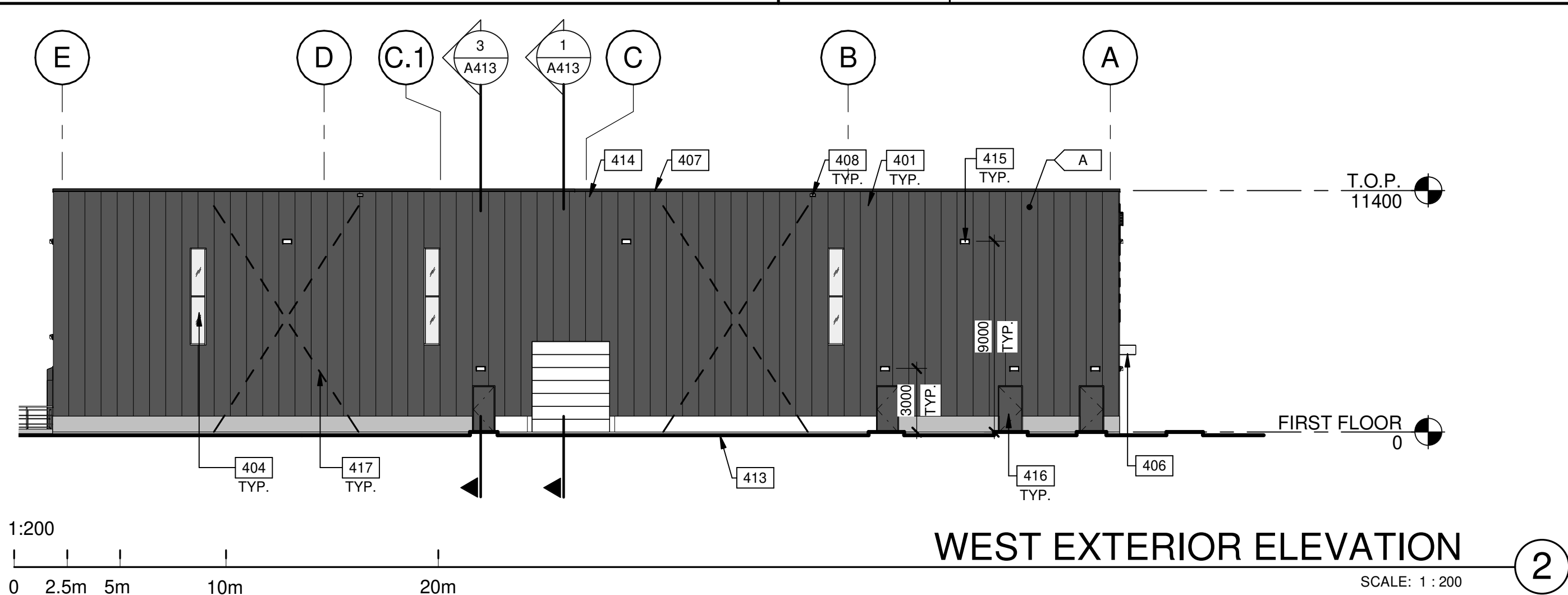
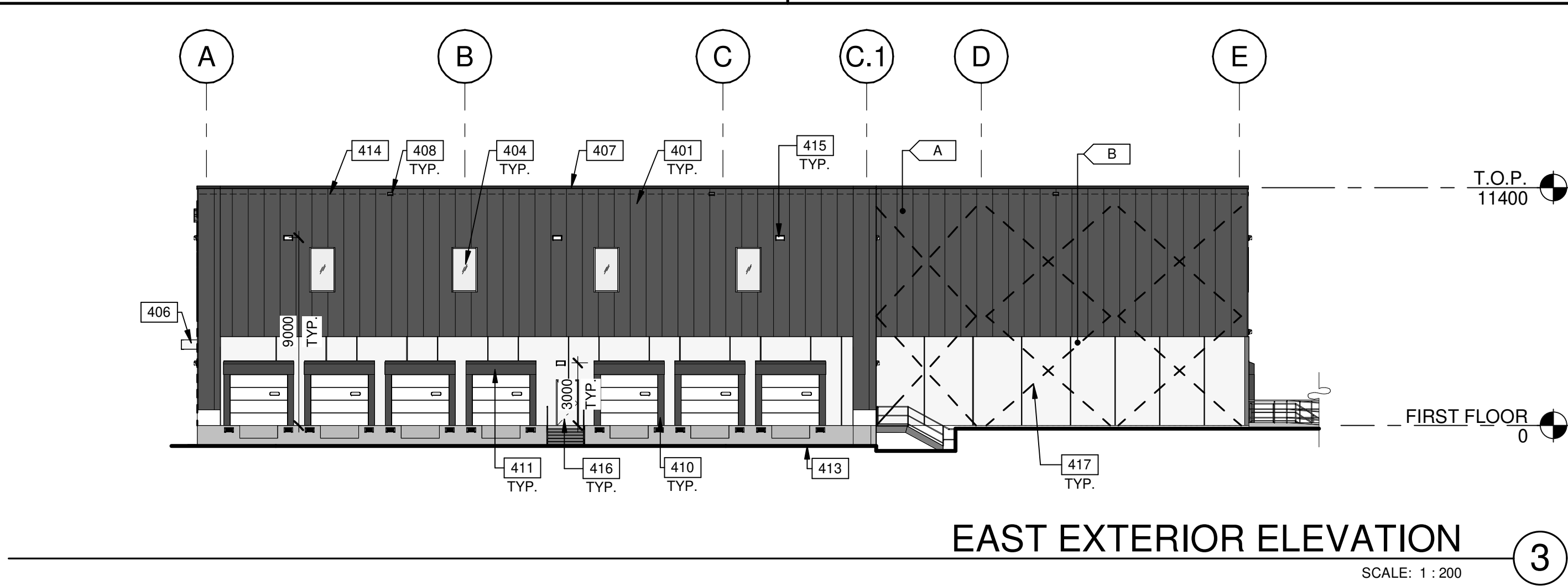
EXTERIOR ELEVATIONS

DATE	REMARKS
12/09/2024	ISSUE FOR PERMIT
9	

PA/PM:	J. HOLLAND
DRAWN BY.:	A.M.
JOB NO.:	OTW21-0002-01

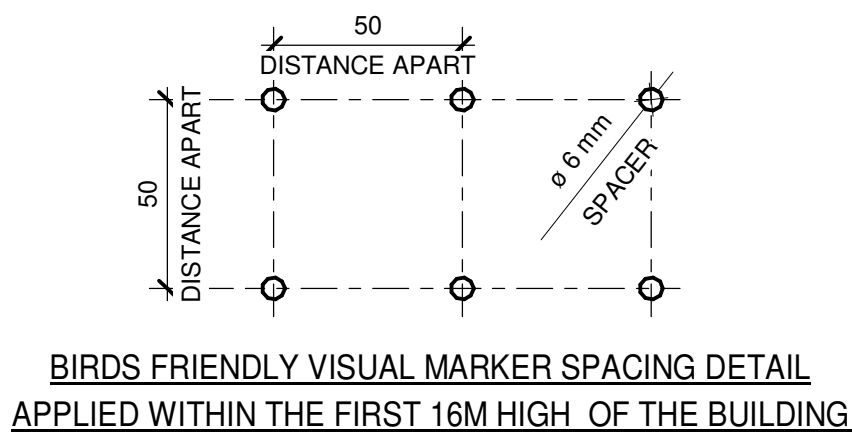
SHEET

A211



APPROVED
By Lily Xu at 9:46 am, Mar 28, 2025

LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA



LEGEND

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

COLOURS:

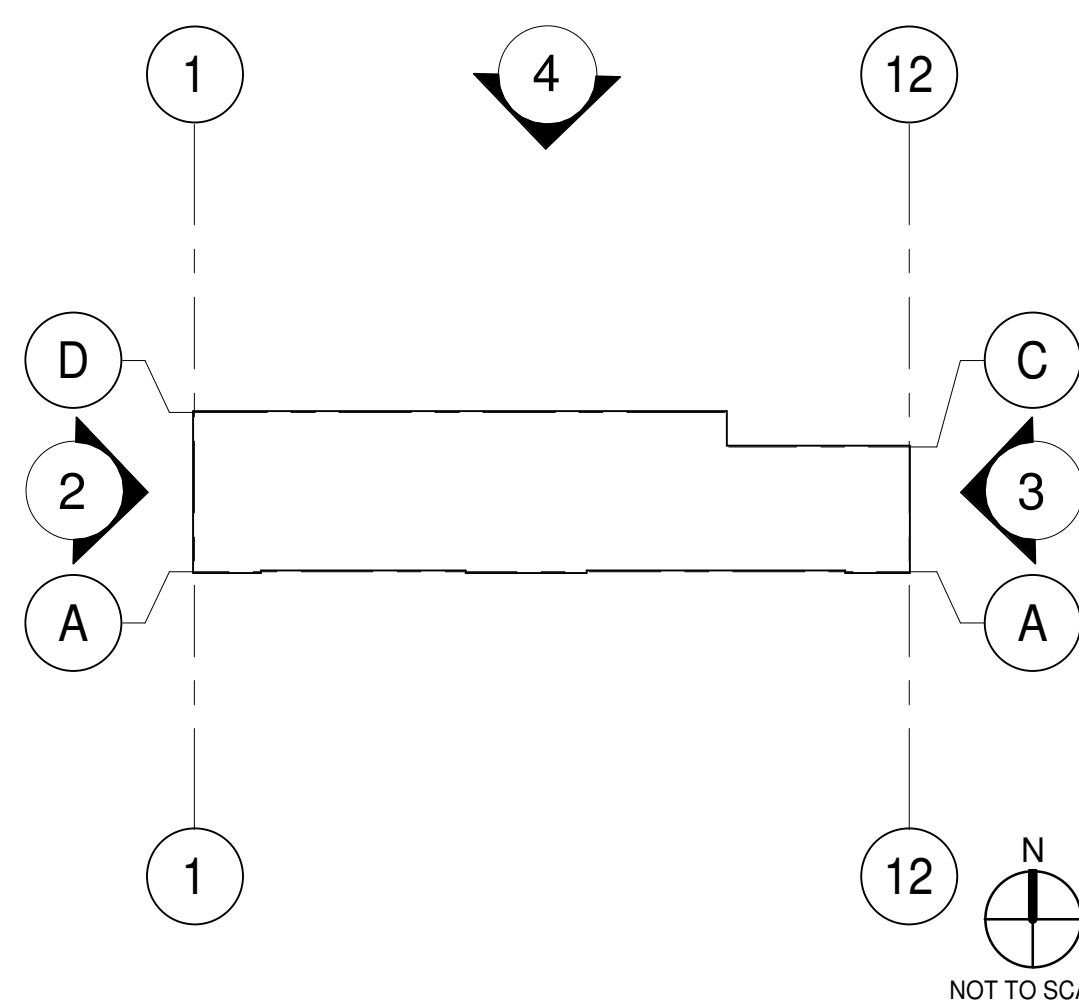
- PROVIDE 1,828mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- BASE COLOUR: BLACK
- SECONDARY COLOUR: WHITE
- ACCENT COLOUR: BRONZE

KEYNOTES

SEE SHEET A010 FOR GENERAL NOTES

- 401 PRECAST INSULATED CONCRETE PANEL.
- 404 CLERESTORY WINDOW.
- 406 CANOPY WITH HSS PROFILE.
- 407 CONTINUOUS METAL CAP FLASHING, PREFINISHED TO MATCH ADJACENT WALL.
- 408 OVERFLOW SCUPPER.
- 409 DOCK BUMPER.
- 410 DOCK SEAL.
- 411 DOCK SHELTER.
- 413 FINISH GRADE VARIES. REFER TO CIVIL DRAWINGS.
- 414 LINE OF ROOF BEYOND.
- 415 WALL PACK MOUNTED. REFER TO ELECTRICAL DRAWINGS.
- 416 HOLLOW METAL MAN DOOR, PAINTED AT ALL WAREHOUSE EXITS.
- 417 STRUCTURAL STEEL CROSS BRACING BEHIND-REFER TO STRUCTURAL DRAWINGS.

KEY PLAN



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**SHEFFIELD INDUSTRIAL
BUILDING 4**
2760-2770 SHEFFIELD RD.
OTTAWA, ONTARIO K1B 3V9.

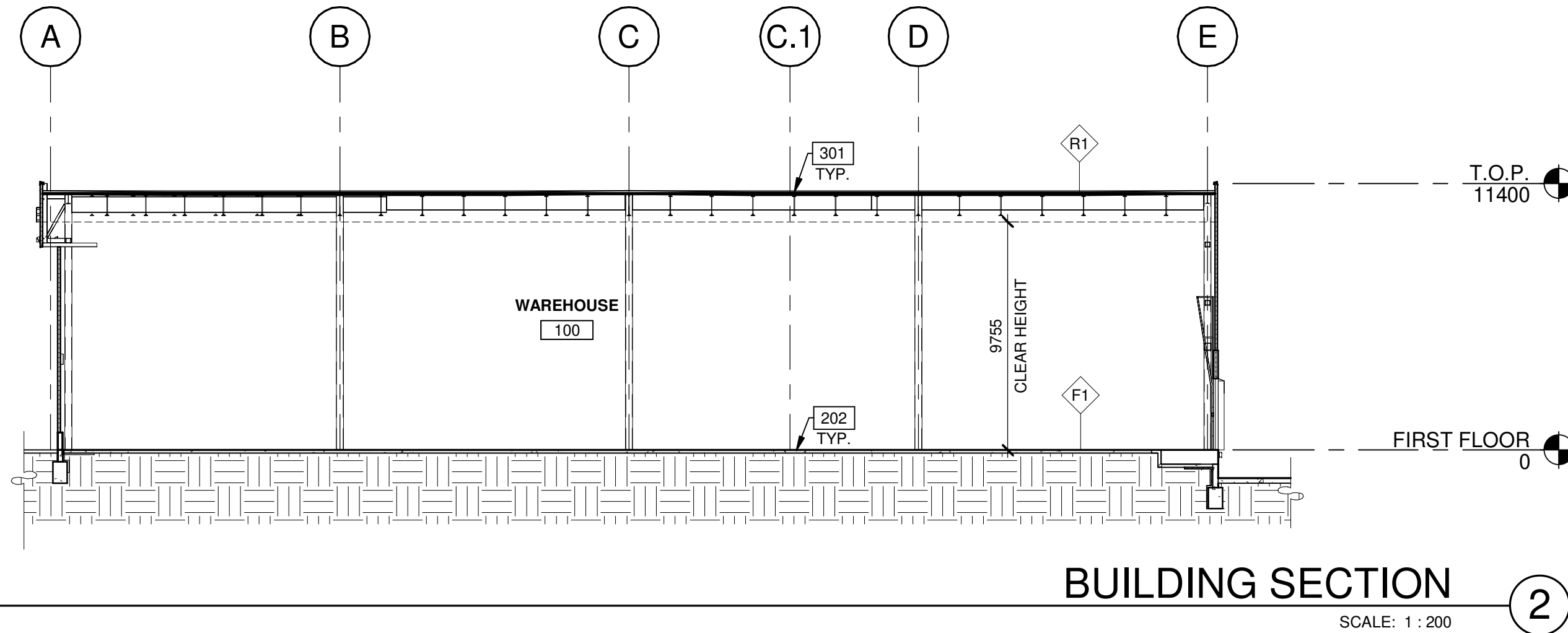
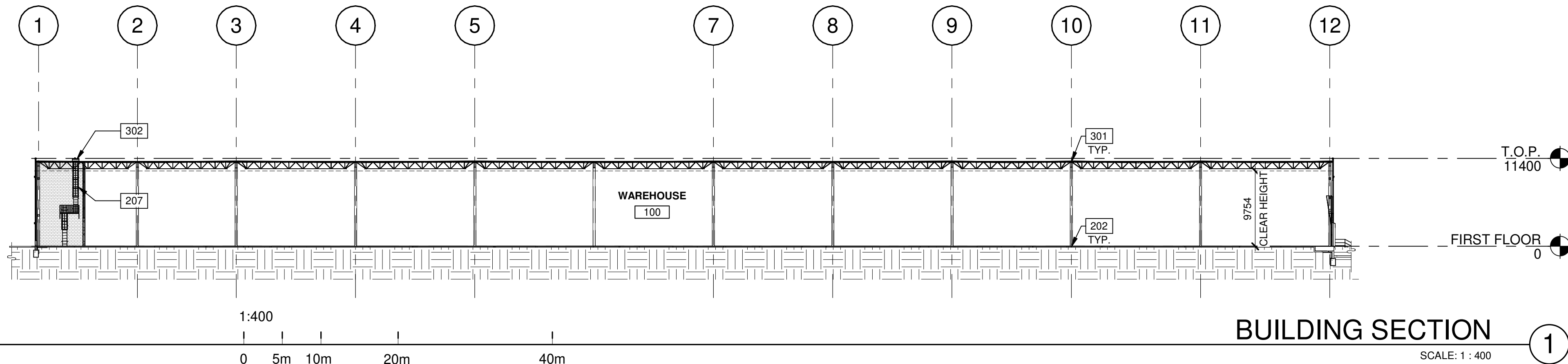
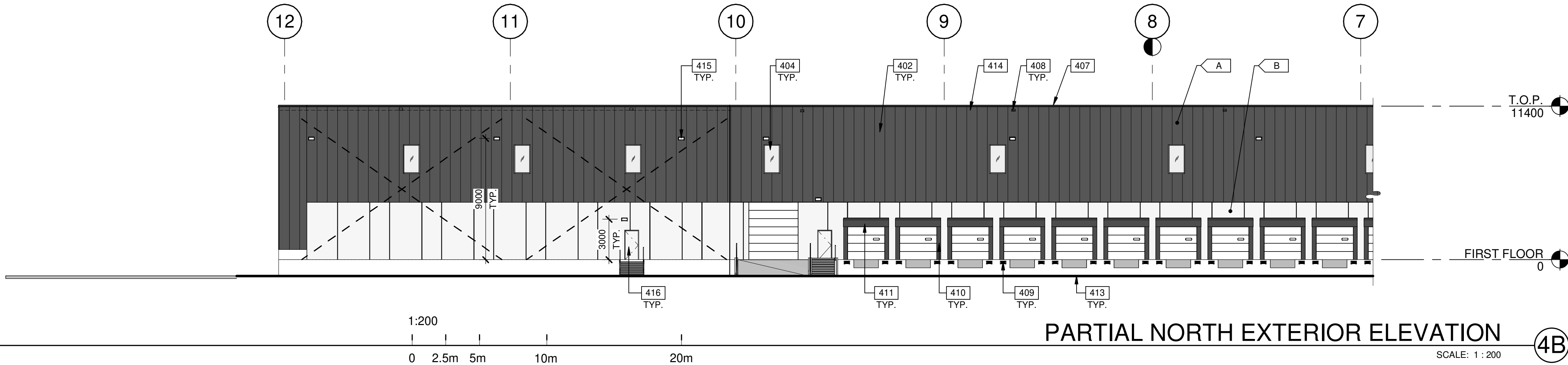
EXTERIOR ELEVATION
AND BUILDING SECTIONS

DATE	ISSUE FOR PERMIT	REMARKS
9	12/09/2024	

PA/PM:	J. HOLLAND
DRAWN BY:	A.M.
JOB NO.:	OTW21-0002-01

SHEET

A310



LEGEND

GLASS:

	VISION GLASS
	SPANDREL GLASS
	TEMPERED GLASS

COLOURS:

PROVIDE 1,828mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

	BASE COLOUR: BLACK
	SECONDARY COLOUR: WHITE
	ACCENT COLOUR: BRONZE

WALL LEGEND

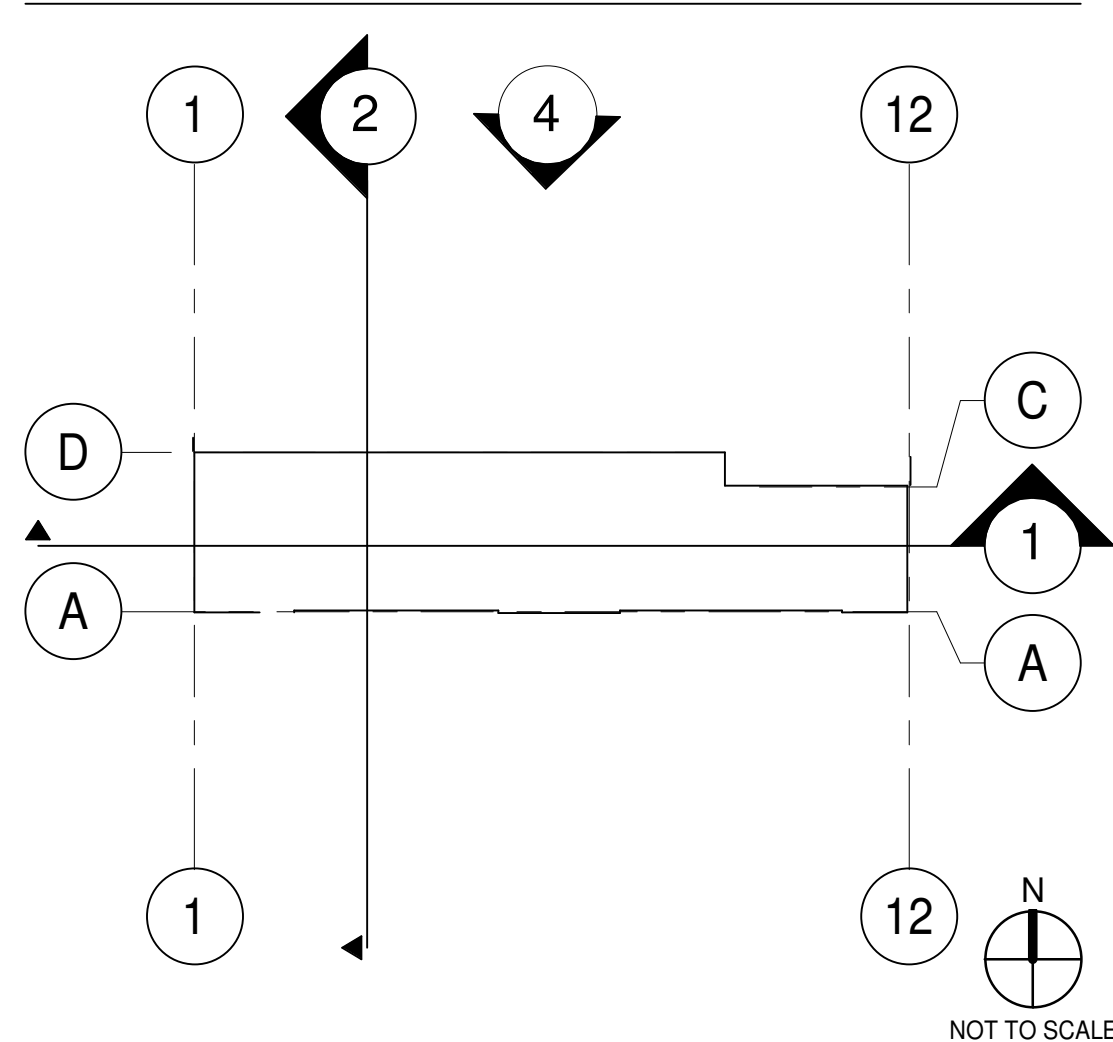
	ARCHITECTURAL PRECAST PANEL.
	INSULATED METAL PANEL SYSTEM.

KEYNOTES

SEE SHEET A010 FOR GENERAL NOTES

- 202 CONCRETE SLAB, REFER TO STRUCTURAL DRAWINGS.
- 207 ROOF ACCESS LADDER.
- 301 HOT APPLIED RUBBERIZED ASPHALT ROOFING. REFER TO ROOF ASSEMBLY.
- 302 ROOF HATCH. VERIFY ROOF JOIST LOCATIONS WITH STRUCTURAL DRAWINGS.
- 402 INSULATED METAL PANEL.
- 404 CLERESTORY WINDOW.
- 407 CONTINUOUS METAL CAP FLASHING, PREFINISHED TO MATCH ADJACENT WALL.
- 408 OVERFLOW SCUPPER.
- 409 DOCK BUMPER.
- 410 DOCK SEAL.
- 411 DOCK SHELTER.
- 413 FINISH GRADE VARIES. REFER TO CIVIL DRAWINGS.
- 414 LINE OF ROOF BEYOND.
- 415 WALL PACK MOUNTED. REFER TO ELECTRICAL DRAWINGS.
- 416 HOLLOW METAL MAN DOOR, PAINTED AT ALL WAREHOUSE EXITS.

KEY PLAN



APPROVED
By Lily Xu at 9:46 am, Mar 28, 2025

LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA