

SITE SURVEY INFORMATION:
INFORMATION ON THIS PLAN WAS
TAKEN FROM THE SURVEY PLAN
PREPARED BY ANNIS, O'SULLIVAN,
VOLLEBEKK Ltd DATED 2022-11-18

LEGAL DESCRIPTION:
PLAN OF SURVEY OF
PART OF BLOCK A
REGISTERED PLAN 4M-121
AND
PART OF LOTS 24 AND 25
CONCESSION 3 (OTTAWA FRONT)
(GEOGRAPHIC TOWNSHIP OF GLOUCESTER)
CITY OF OTTAWA

OTW21-0002-00

SITE STATISTICS		
ZONING	IH/IL	
GROSS SITE AREA	84,452 SM	
PROJECT LIMIT AREA	37,191 SM	
Zone Permitted Use (OTTAWA ZONING BY-LAW NO. 2008-250)		
Proposed Use	Warehouse	
Regulations (Part 11: Industrial Zones)		
	Proposed	Required IH (IL)
Min. Front Yard Building Setback (m)	18.66 m	7.5 m
Min. Interior Side Yard Building Set back (m)	12.29 m	7.5 m
Min.Rear Yard Building Setback (m)	N/A	7.5 m
Min.Landscape Front Yard Setback (m)	4.72 m	3 m
Min.Landscape Side Yard Setback (m)	3.15 m	3 m
Min.Landscape Rear Yard Setback (m)	N/A	3 m
Max. Floor Space Index	0.12	2
Max. Building Height	12 m	22 m (18m)

BUILDING FLOOR AREA		
Building 2		
Warehouse Area	7,605.00m²	
Office Area	200.00m²	
TOTAL BUILDING GFA	7,805.00m²	

PARKING REQUIREMENT		
Warehouse GFA @ 0.8 Spaces per 100m², first 5000m²	PROPOSED	REQUIRED
Warehouse GFA @ 0.4 Spaces per 100m², above 5000m²	101	51
Total No. of Parking Spaces	101	51
Barrier Free Parking Spaces	10	5
Parking Stall Dimensions	2.6 m X 5.2 m	
Barrier Free Parking Stall Type A	3.4m X 5.2m	
Barrier Free Parking Stall Type B	2.4m X 5.2m	
Bicycle Parking Space Dimensions	1.8m X 0.6m	
No. Of Bicycle Parking (Warehouse: 1 per 2000m², Office: 1 per 250m²)	10	9
Loading Space Dimensions	3.5m X 9.0m	
Oversized Loading Space Dimensions	4.3m X 13.0m	
No. Of Loading Spaces	2	2
No. Of Oversized Loading Spaces	2	2
Trailer Parking	19	N/A
DOCK STATISTICS		
DOCK-HIGH DOORS	Proposed	
OVER-HEAD DOORS	27	4

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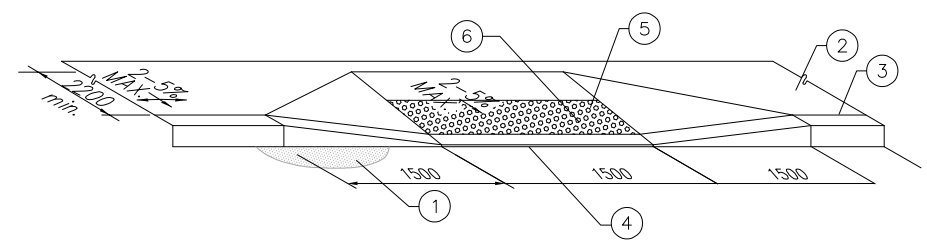
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SHEFFIELD RD.
RICHCRAFT
2760-2770 SHEFFIELD RD.
OTTAWA, ONTARIO

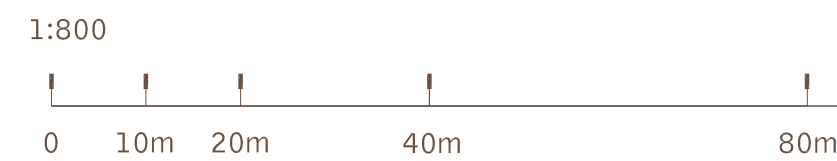


- PAVEMENT
- ACCESSIBLE ROUTE OF PEDESTRIAN TRAVEL 2200mm MIN. (UNLESS OTHERWISE NOTED ON PLANS)
- TOP FACE OF CURB
- DEPRESSED CURB
- TRUNCATED DOMES WITH A HEIGHT OF 4.5-5.5mm, BASE DIAMETER OF 21-25mm, REGULAR SPACING PATTERN AT 55-65mm ON CENTRE
- A MINIMUM 600mm WIDE SECTION DETECTABLE WARNING SURFACE SHALL BE PROVIDED WHEN FLAT TRAVEL SURFACE ADJOINS A VEHICULAR WAY (0mm CURB FACE)

ACCESSIBLE CURB RAMP

SCALE: N.T.S

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SITE PLAN NOTES

- PROPERTY LINE
- PROJECT LIMIT LINE
- PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- 150mm WIDE CURB TYPICAL
- SIDEWALK - SEE LANDSCAPE DWGS FOR CONSTRUCTION DETAILS
- FIRE DEPARTMENT/SIAMESE CONNECTION
- 2600x5200mm PARKING STALL, PAINTED PARKING STRIPING PER CITY OF OTTAWA ZONING BY-LAW NO. 2008-250
- TYPICAL ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER BY-LAW OTTAWA ZONING BY-LAW NO. 2008-250. EACH PAIR OF SHARED STALLS TO HAVE TYPE A: 3.4m X 5.2m AND TYPE B: 2.4m X 5.2m WITH 1.5m WIDE PAINTED BARRIER FREE AISLE AND SIGNAGE REFER TO ONTARIO INTEGRATED ACCESSIBILITY STANDARDS.
- FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS (---)
- LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
- DRIVE-IN RAMP BOUNDED BY RETAINING WALLS WITH GUARDRAILS WHERE GRADE CHANGE IS MORE THAN 600mm - REFER TO CIVIL DWGS
- 12.0mx3.5m TRUCK LOADING SPACE (TYP.)
- PROPOSED LOCATION OF MECHANICAL RM
- PROPOSED LOCATION OF ELECTRICAL RM
- GALVANIZED STEEL GUARDRAIL WITH HANDRAIL
- STEEL BOLLARD
- SHADED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE OR TRACTOR TRUCK ACCESS.
- TRUCK LOADING DOCK (TYP.)
- EXTERIOR GALVANIZED STEEL STAIRS
- GALV. BICYCLE RACKS - SEE LANDSCAPE DRAWINGS
- SNOW STORAGE AREA
- TRUCK TRAILER PARKING
- 13mx4.3m OVERSIZED TRUCK LOADING SPACE
- FUTURE TENANT DEMISING WALL. SUBJECT TO TENANT FIT UP
- EXISTING TRUCK COURT BEHIND BUILDING 4 TO BE REPAVED.
- AMENITY AREA

SITE LEGEND

- NEW HEAVY DUTY PAVEMENT (HATCHED)
- NEW LANDSCAPED AREA (HATCHED)
- PAINTED DIAGONAL LINES WHERE INDICATED
- FUTURE EV PARKING STALLS
- PROPERTY LINE
- SITE BOUNDARY LINE
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT (FIRE HYDRANT TO BE LOCATED WITH 45M OF THE FIRE DEPT CONNECTION)
- LIGHT POLE
- WALL MOUNTED LIGHT
- MH DENOTES MANHOLE
- PROPOSED CATCHBASIN
- TACTILE INDICATORS AT DEPRESSED CURB
- BICYCLE RACK (1800 x 600 PER BIKE)
- MAN DOOR
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE ROUTE SIGNS
- CONCRETE SIDEWALK
- ELECTRIC VEHICLE CHARGING STATION
- FUTURE ELECTRIC VEHICLE CHARGING STATION

KEY PLAN

SCALE: N.T.S



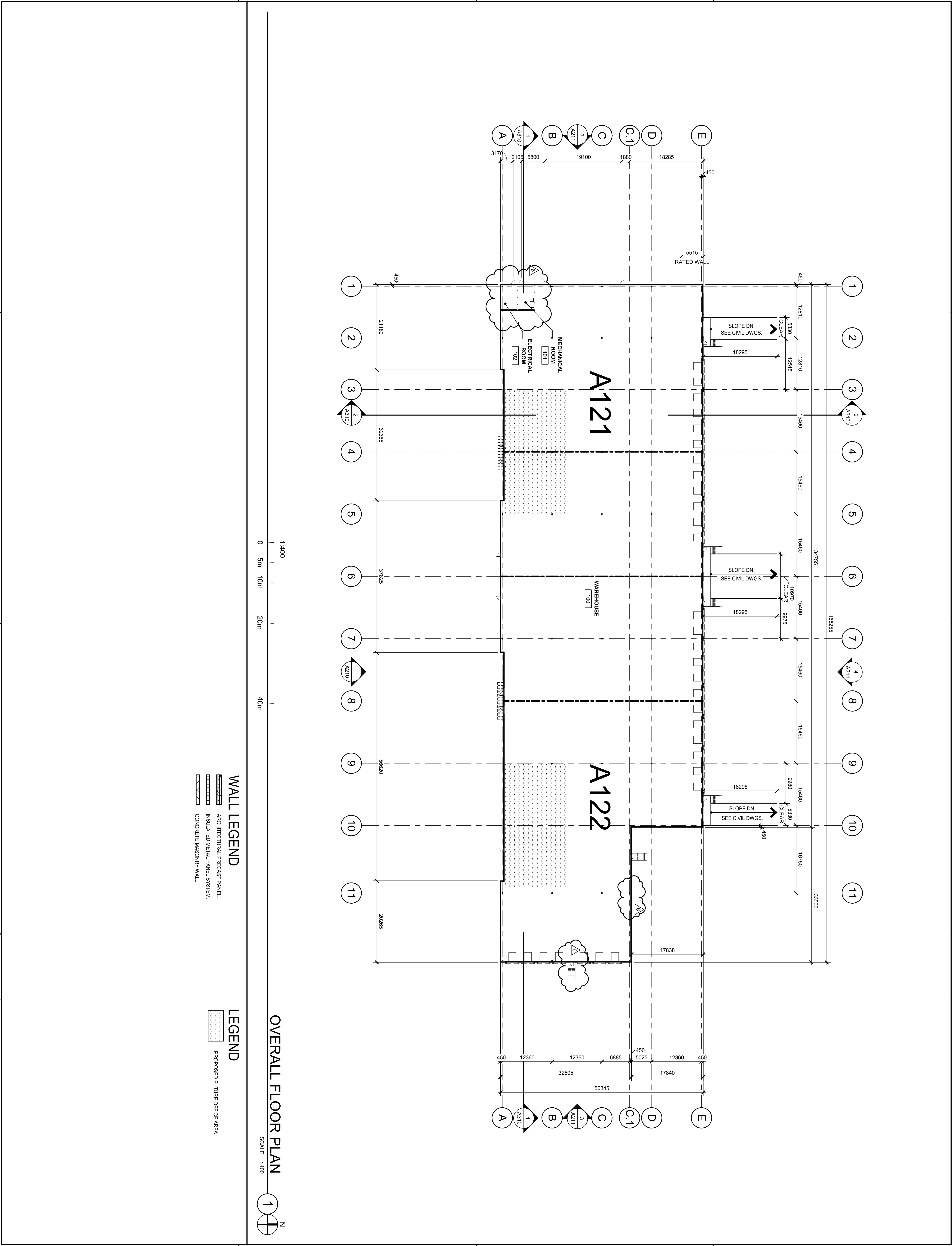
OVERALL SITE PLAN

DATE	ISSUED FOR SPA	REMARKS
1. 2023-05-16	GENERAL	
2. 2024-07-17	GENERAL	
3. 2024-08-12	ISSUED FOR SPA	
4. 2024-08-27	ISSUED FOR EV PARKING	
5. 2024-09-03	ISSUE FOR FOOTPRINT UPDATING	
6. 2024-09-20	SPA COMMENTS REVISION	

PA / PM:	HW/JH
DRAWN BY:	HW
JOB NO.:	OTW21-0002-00

SHEET

A1.0



- WALL LEGEND**
- ARCHITECTURAL PRECAST PANEL
 - INSULATED METAL PANEL SYSTEM
 - CONCRETE MASONRY WALL

- LEGEND**
- PROPOSED FUTURE OFFICE AREA

OVERALL FLOOR PLAN

SCALE: 1:400

OVERALL FLOOR PLAN

	DATE	REMARKS
1	31/05/2024	ISSUED FOR SPA
3	04/16/2024	85% CD PROGRESS SET
4	06/14/2024	50% CD SET
5	06/28/2024	85% CD SET
6	09/08/2024	REVISION, ROOF, ME ROOMS, DR LOC.
7	12/08/2024	ISSUED FOR SPA

SHEFFIELD INDUSTRIAL BUILDING 4

2760-2770 SHEFFIELD RD.
OTTAWA, ONTARIO K1B 3V9.



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A120

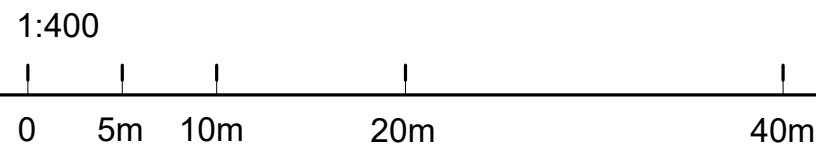
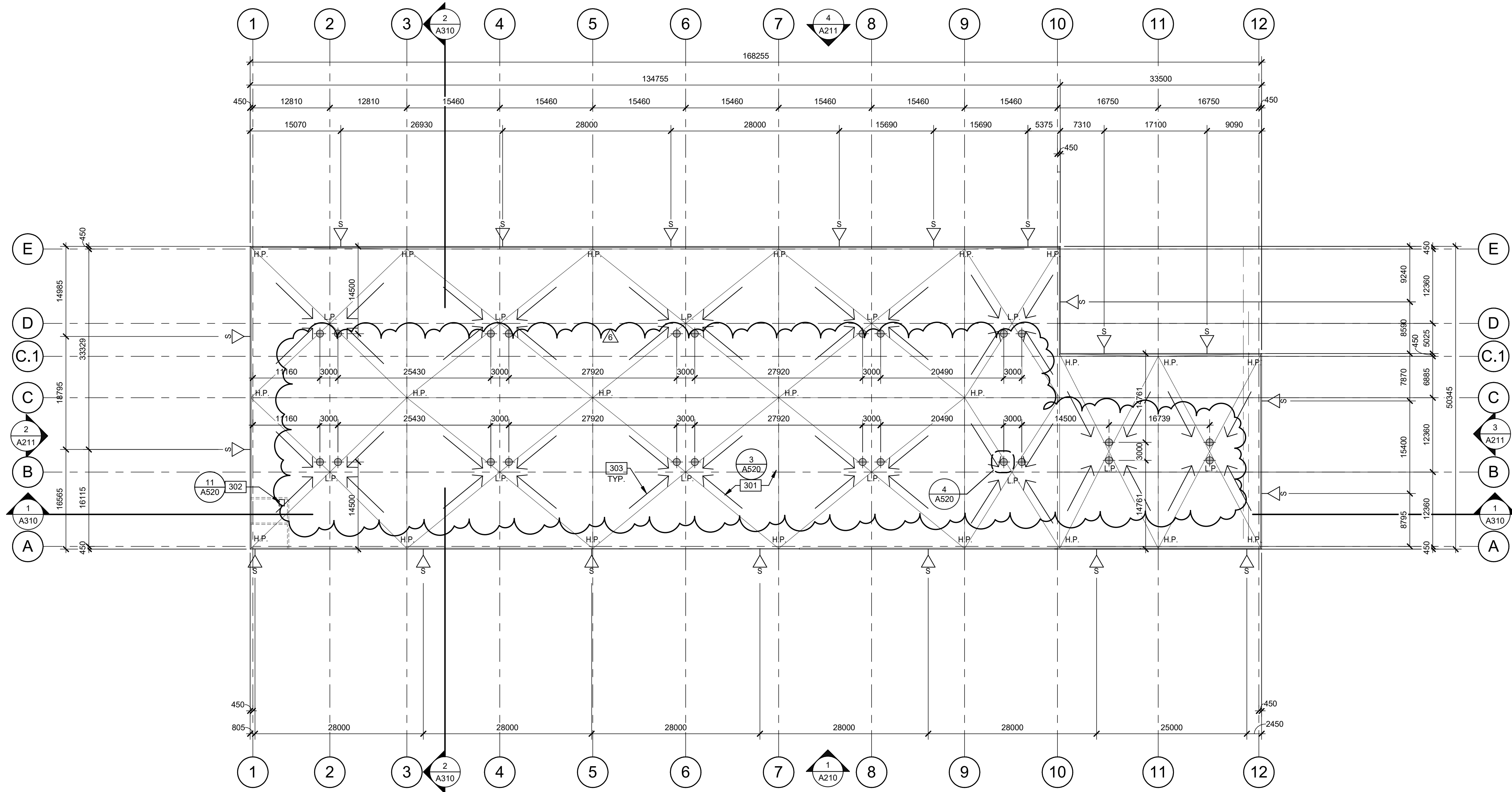
SHEET

PAPM: J. HOLLAND

DRAWN BY: A.M.

JOB NO.: OTW/21-0002-01

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ROOF PLAN
SCALE: 1 : 400

LEGEND

- > FLOW LINE TO DRAIN.
- ⊕ S ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- ▽ ROOF SCUPPER LOCATION - SEE ELEVATIONS.
- - - ROOF EXPANSION JOINT.
- OUTLINE OF WALL BELOW.

KEYNOTES

- SEE SHEET A010 FOR GENERAL NOTES
- 301 HOT APPLIED RUBBERIZED ASPHALT ROOFING. REFER TO ROOF ASSEMBLY.
 - 302 ROOF HATCH. VERIFY ROOF JOIST LOCATIONS WITH STRUCTURAL DRAWINGS.
 - 303 FLOW LINE TO DRAIN.

ROOF PLAN

DATE	REMARKS
1 31/05/2024	ISSUED FOR SPA
3 04/16/2024	85% CD PROGRESS SET
4 06/14/2024	90% CD SET
5 06/28/2024	85% CD SET
6 09/08/2024	REVISION, ROOF, ME ROOMS, DR LOC.
7 12/08/2024	ISSUED FOR SPA

PA/PM:	J. HOLLAND
DRAWN BY.:	A.M.
JOB NO.:	OTW21-0002-01

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A190

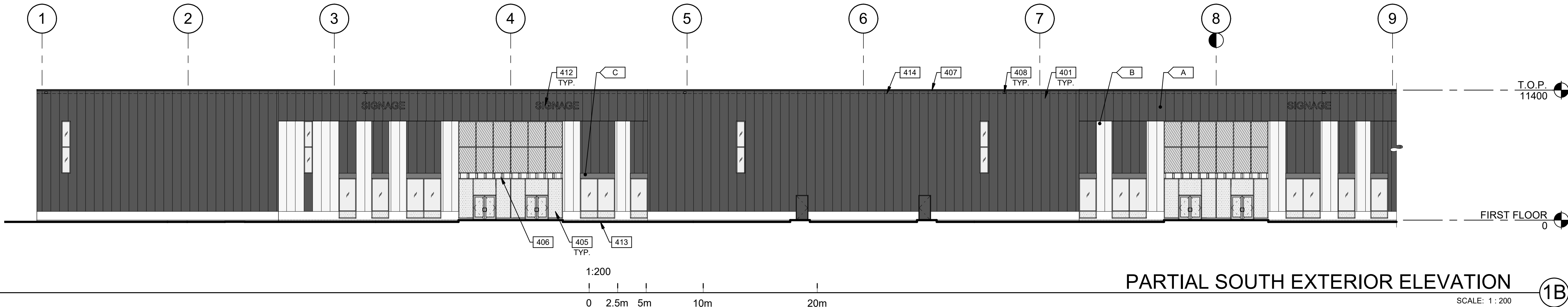
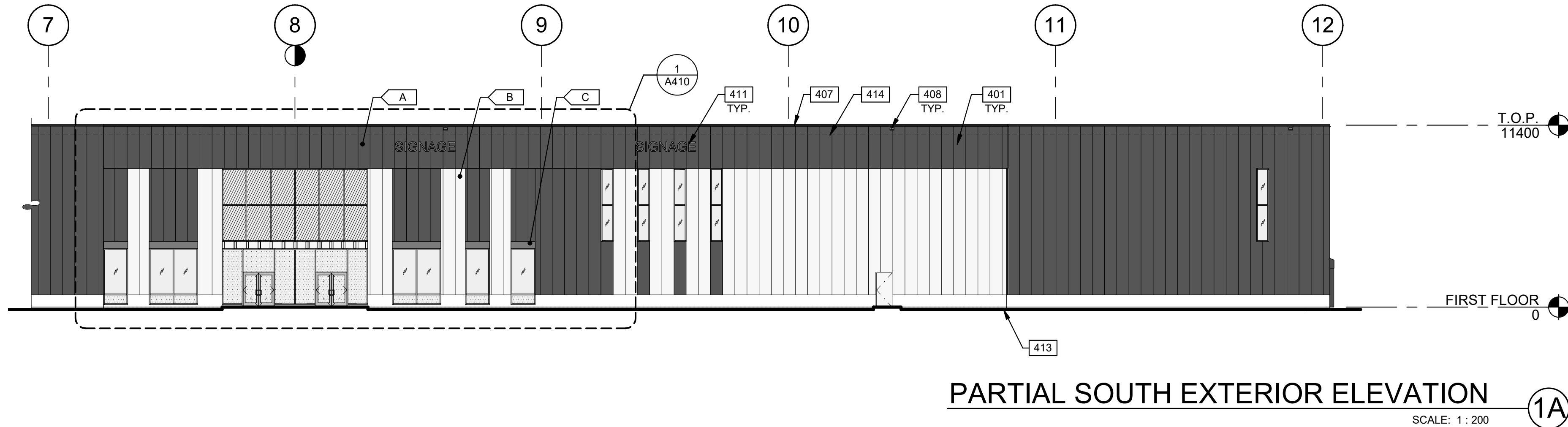
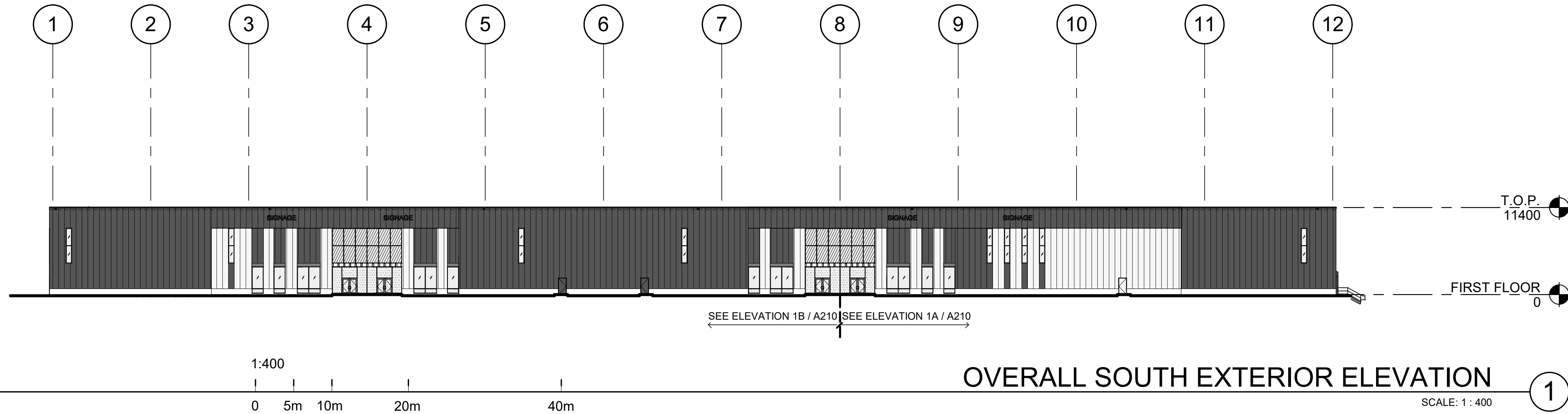


SHEFFIELD INDUSTRIAL
BUILDING 4
2760-2770 SHEFFIELD RD.
OTTAWA, ONTARIO K1B 3V9.



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LEGEND

GLASS:

	VISION GLASS
	SPANDREL GLASS
	TEMPERED GLASS

COLOURS:

PROVIDE 1,828mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

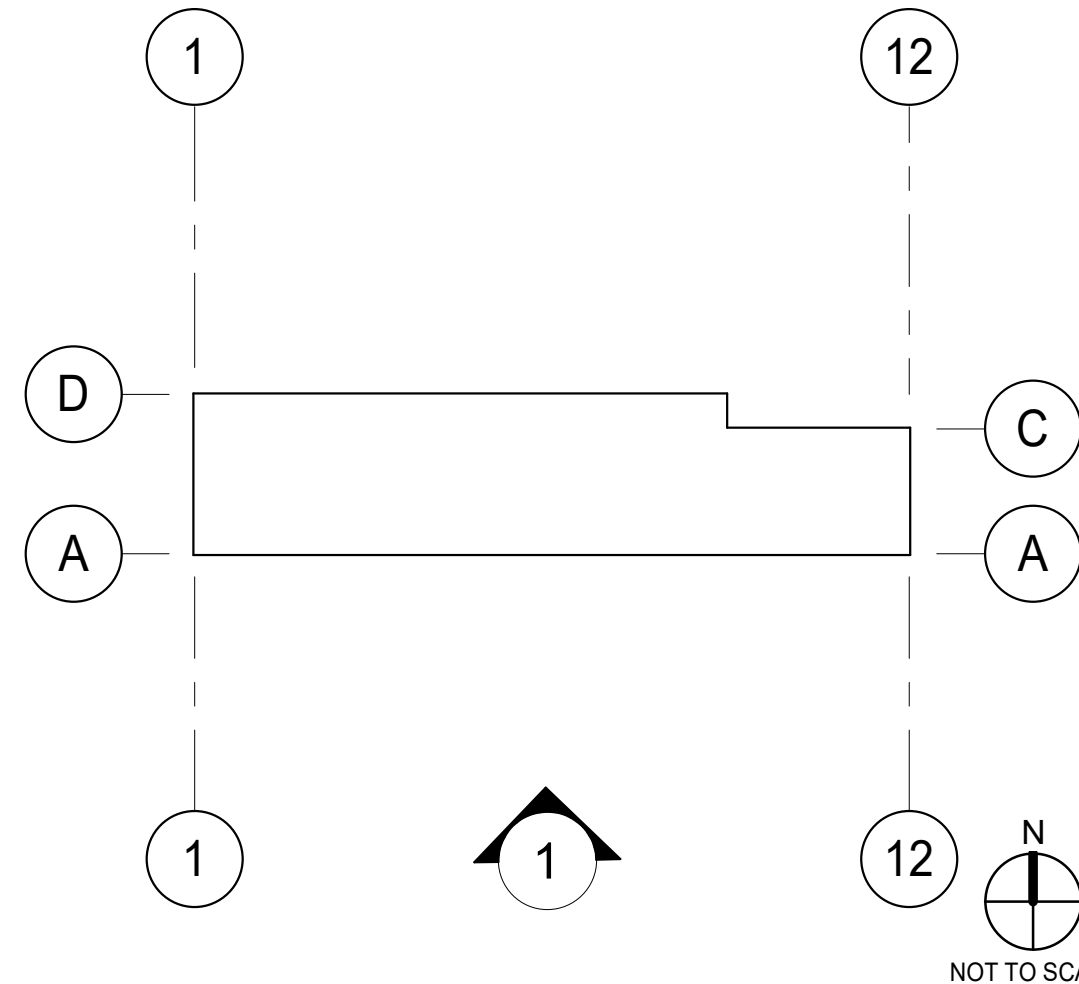
	BASE COLOUR: BLACK
	SECONDARY COLOUR: WHITE
	ACCENT COLOUR: BRONZE

KEYNOTES

SEE SHEET A010 FOR GENERAL NOTES

401	PRECAST INSULATED CONCRETE PANEL.
405	CURTAIN WALL GLAZING SYSTEM.
406	CANOPY WITH HSS PROFILE.
407	CONTINUOUS METAL CAP FLASHING, PREFINISHED TO MATCH ADJACENT WALL.
408	OVERFLOW SCUPPER.
411	DOCK SHELTER.
412	FUTURE TENANT SIGNAGE, UNDER SEPARATE PERMIT.
413	FINISH GRADE VARIES. REFER TO CIVIL DRAWINGS.
414	LINE OF ROOF BEYOND.

KEY PLAN



EXTERIOR ELEVATIONS

DATE	REMARKS
1	31/05/2024
2	04/10/2024
3	04/10/2024
4	06/14/2024
5	06/28/2024
6	09/08/2024
7	12/08/2024

PA/PM:	J. HOLLAND
DRAWN BY.:	A.M.
JOB NO.:	OTW21-0002-01

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A210

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EXTERIOR ELEVATIONS

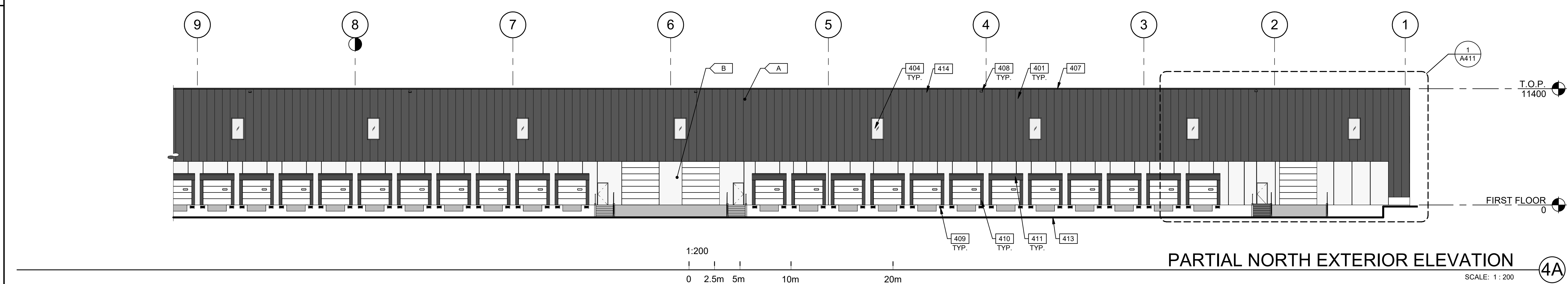
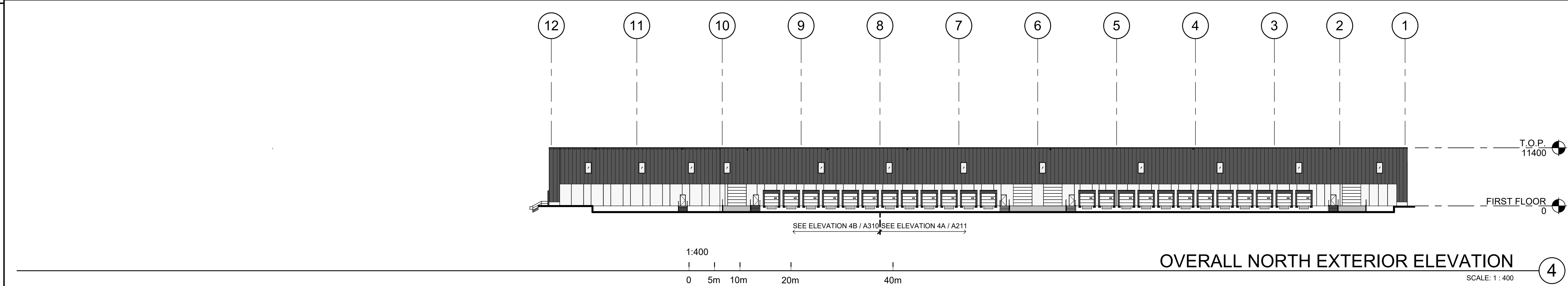
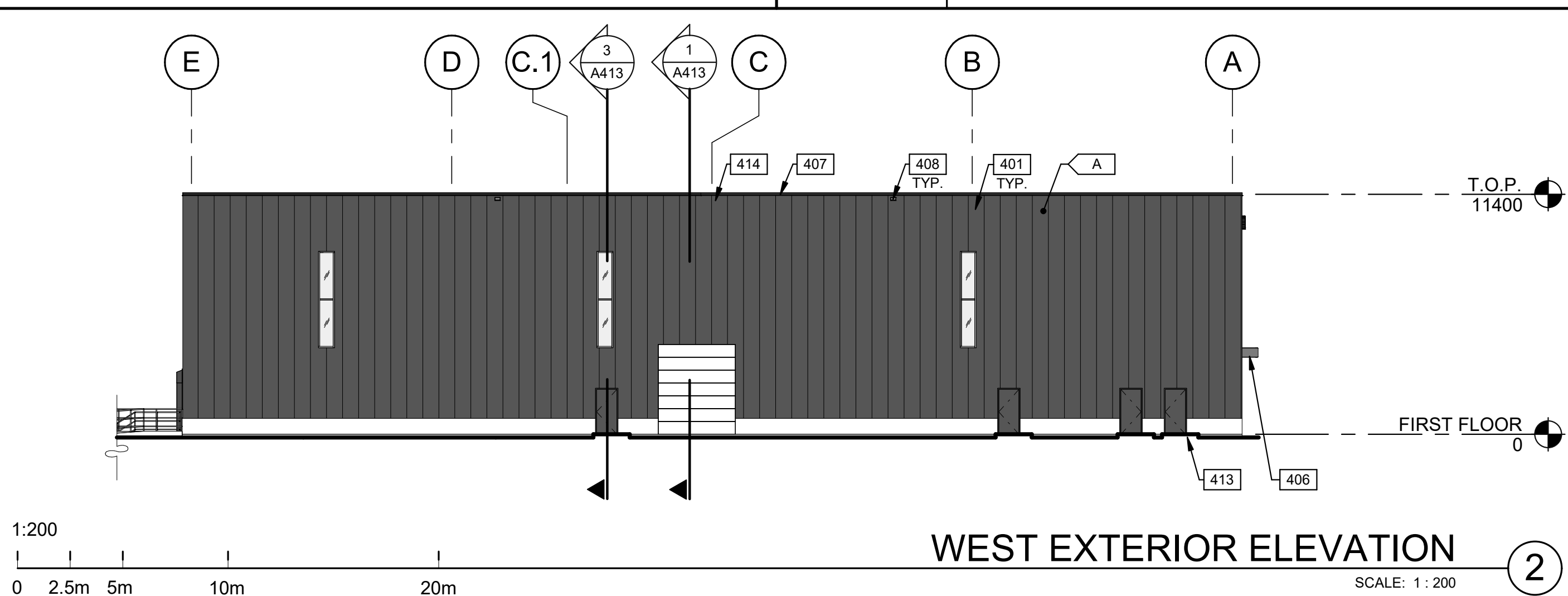
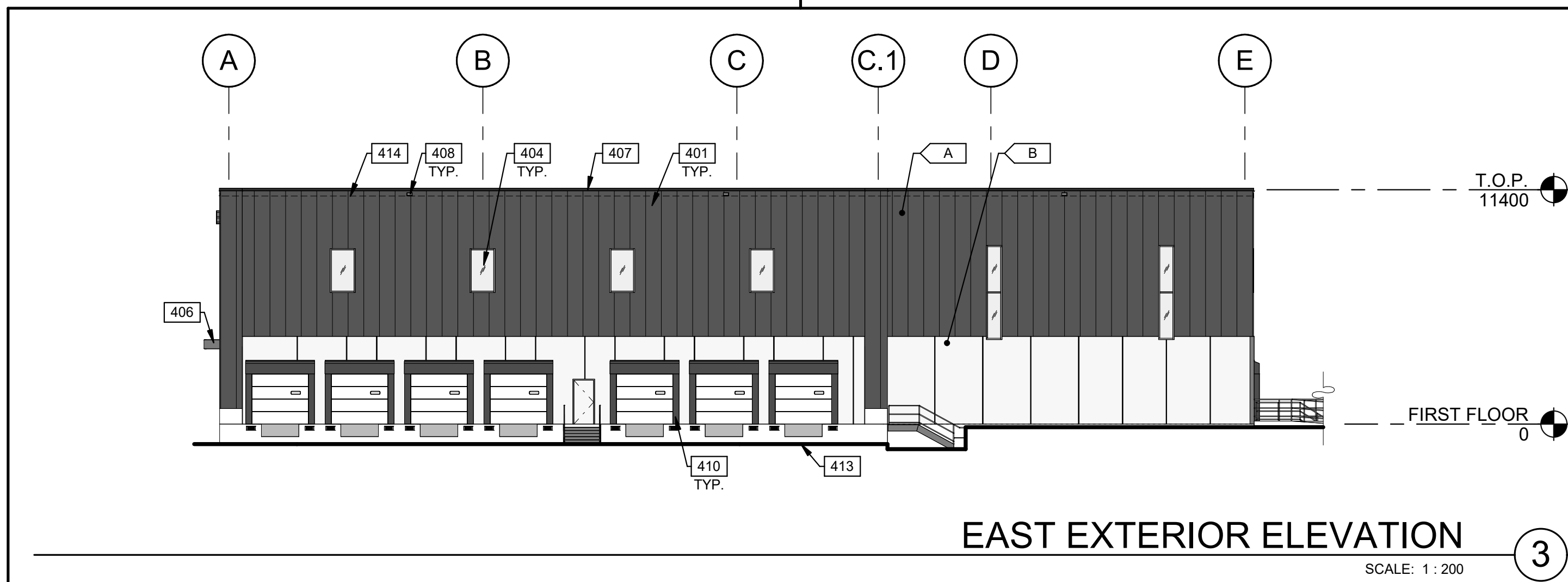
DATE	REMARKS
1 31/05/2024	ISSUED FOR SPA
3 04/16/2024	85% CD PROGRESS SET
4 06/14/2024	90% CD SET
5 06/28/2024	85% CD SET
6 09/08/2024	REVISION: ROOF, ME ROOMS, DR LOC.
7 12/08/2024	ISSUED FOR SPA

PA/PM:	J. HOLLAND
DRAWN BY:	A.M.
JOB NO.:	OTW21-0002-01

SHEET

A211

06/28/2024 - 85% CD SET



LEGEND

GLASS:

	VISION GLASS
	SPANDREL GLASS
	TEMPERED GLASS

COLOURS:

PROVIDE 1,828mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

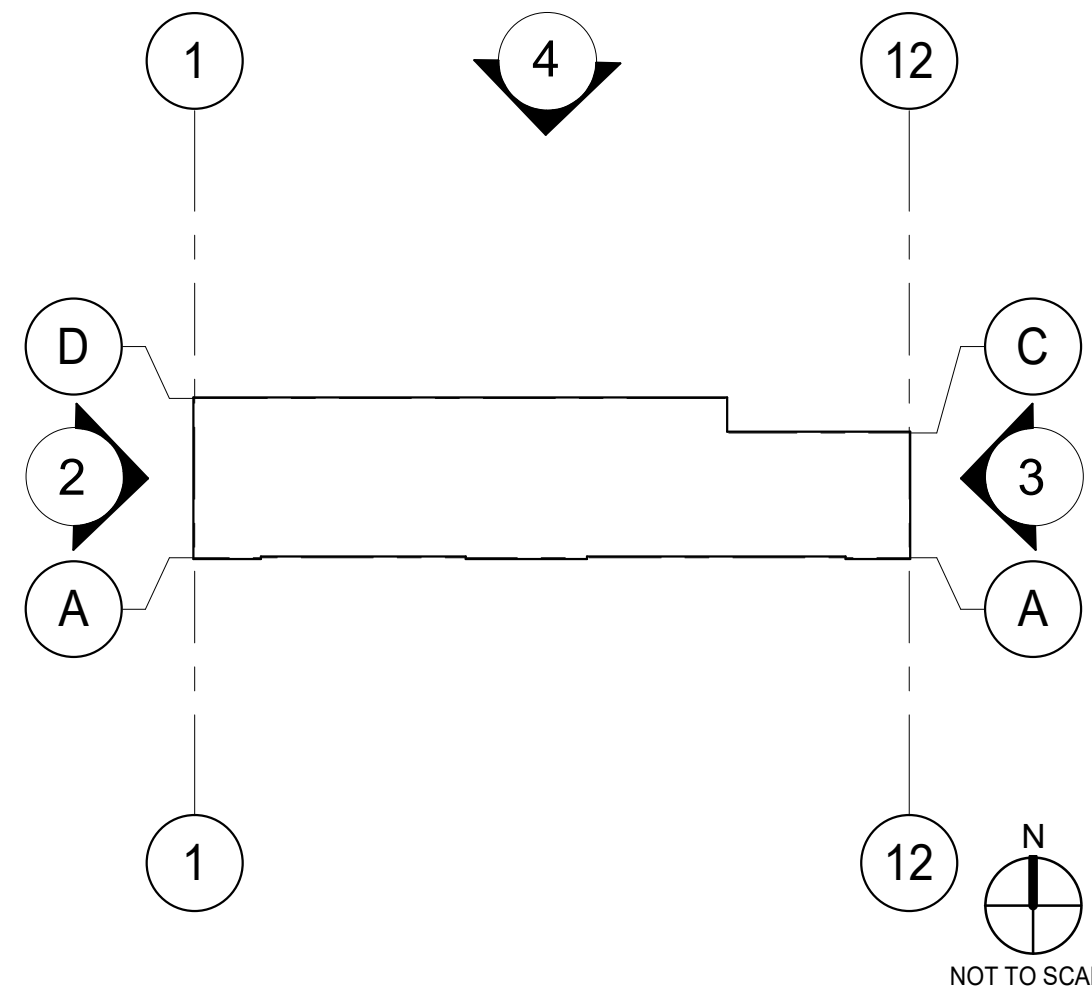
	BASE COLOUR: BLACK
	SECONDARY COLOUR: WHITE
	ACCENT COLOUR: BRONZE

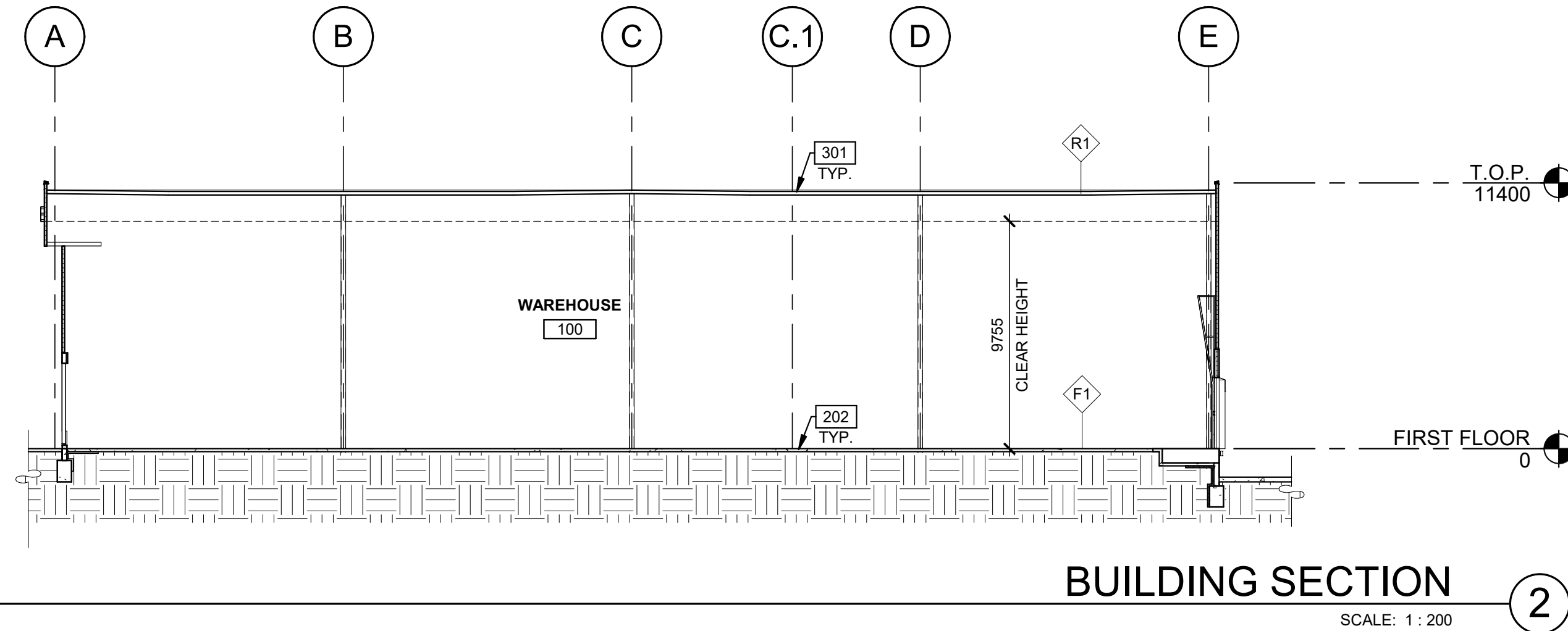
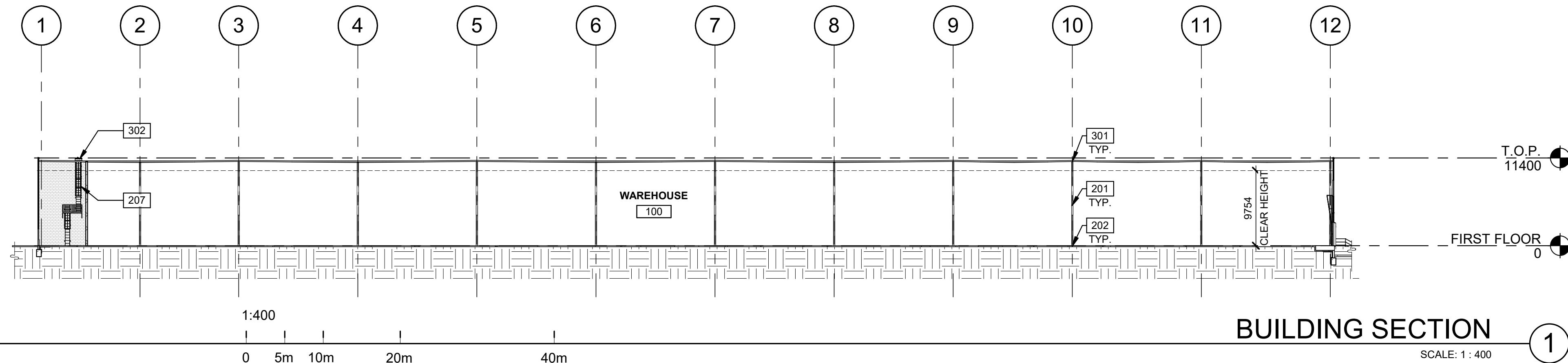
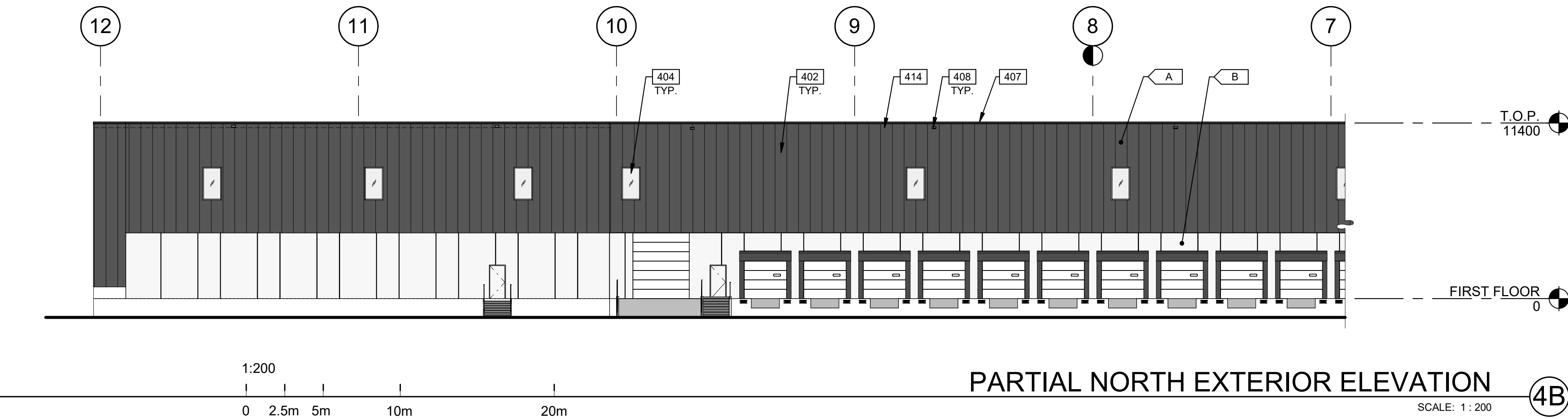
KEYNOTES

SEE SHEET A010 FOR GENERAL NOTES

- 401 PRECAST INSULATED CONCRETE PANEL.
- 404 CLERESTORY WINDOW.
- 406 CANOPY WITH HSS PROFILE.
- 407 CONTINUOUS METAL CAP FLASHING, PREFINISHED TO MATCH ADJACENT WALL.
- 408 OVERFLOW SCUPPER.
- 409 DOCK BUMPER.
- 410 DOCK SEAL.
- 411 DOCK SHELTER.
- 413 FINISH GRADE VARIES. REFER TO CIVIL DRAWINGS.
- 414 LINE OF ROOF BEYOND.

KEY PLAN





LEGEND

GLASS:

	VISION GLASS
	SPANDREL GLASS
	TEMPERED GLASS

COLOURS:

PROVIDE 1,828mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

	BASE COLOUR: BLACK
	SECONDARY COLOUR: WHITE
	ACCENT COLOUR: BRONZE

WALL LEGEND

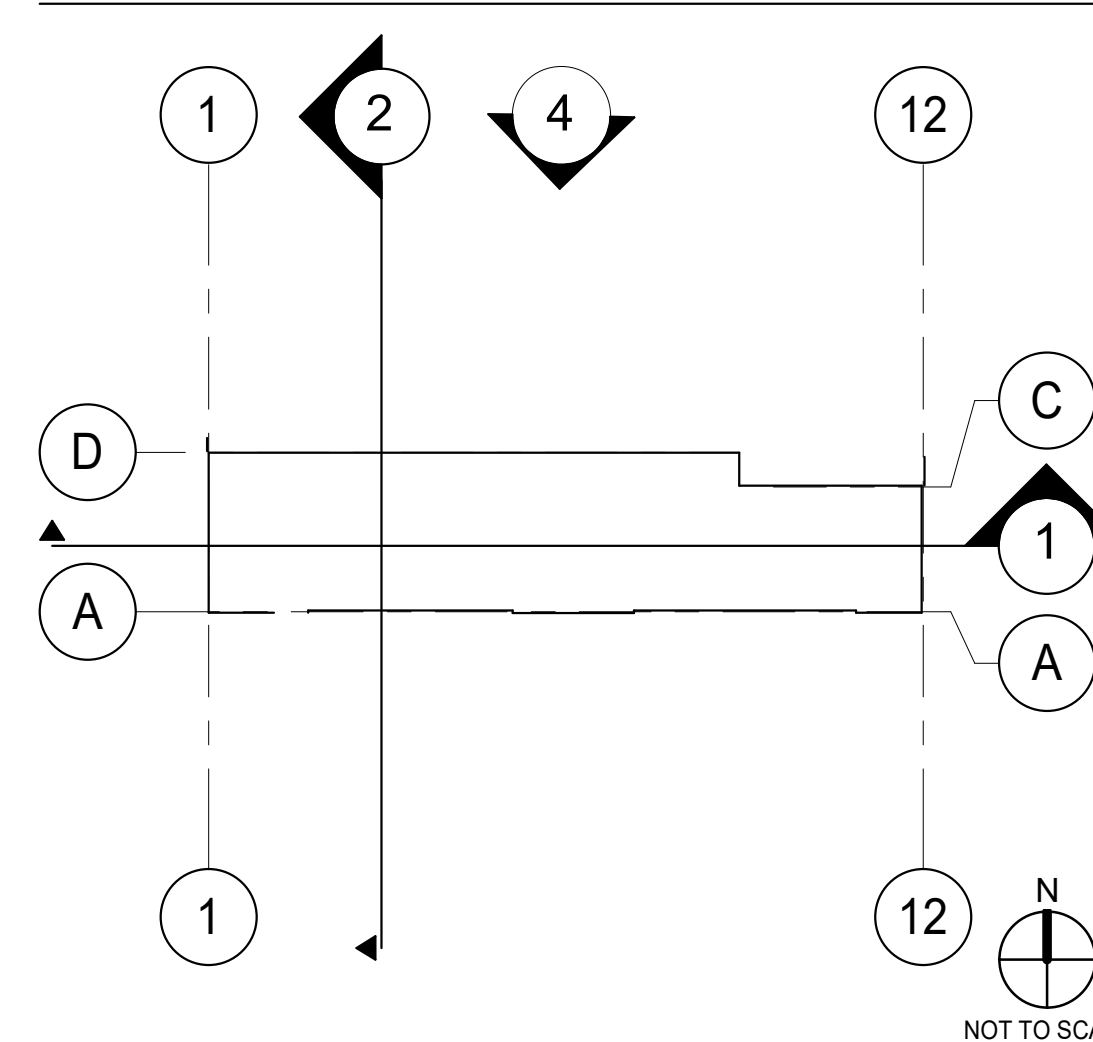
	ARCHITECTURAL PRECAST PANEL.
	INSULATED METAL PANEL SYSTEM.

KEYNOTES

SEE SHEET A010 FOR GENERAL NOTES

- 201 STRUCTURAL STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS.
- 202 CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS.
- 207 ROOF ACCESS LADDER.
- 301 HOT APPLIED RUBBERIZED ASPHALT ROOFING. REFER TO ROOF ASSEMBLY.
- 302 ROOF HATCH. VERIFY ROOF JOIST LOCATIONS WITH STRUCTURAL DRAWINGS.
- 402 INSULATED METAL PANEL.
- 404 CLERESTORY WINDOW.
- 407 CONTINUOUS METAL CAP FLASHING, PREFINISHED TO MATCH ADJACENT WALL.
- 408 OVERFLOW SCUPPER.
- 414 LINE OF ROOF BEYOND.

KEY PLAN



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2760-2770 SHEFFIELD RD.
OTTAWA, ONTARIO K1B 3V9.

DATE	REMARKS
31/05/2024	ISSUED FOR SPA
04/16/2024	85% CD PROGRESS SET
06/14/2024	50% CD SET
06/28/2024	85% CD SET
09/08/2024	REVISION ROOF, ME ROOMS, DR LOC.
12/08/2024	ISSUED FOR SPA

PA/PM:	J. HOLLAND
DRAWN BY:	A.M.
JOB NO.:	OTW21-0002-01

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A310