

OTTAWA PARKWAY  
WINDMILL DEVELOPMENT GROUP

Issued for SPC Resubmission  
25/02/10

ARCHITECTURAL

SHEET NUMBER	SHEET NAME	LAST ISSUANCE DATE
A001	CONTEXT PLAN & STATISTICS	25-02-12
A002	PERSPECTIVE VIEWS	25-02-12
A010	SITE PLAN	25-02-12
A011	SITE PLAN PHASE I	25-02-12
A015	SITE SURVEY	25-02-12
A098	LEVEL P2 FLOOR PLAN	25-02-12
A099	LEVEL P1 FLOOR PLAN	25-02-12
A101	LEVEL 1 FLOOR PLAN	25-02-12
A102	LEVEL 2 FLOOR PLAN	25-02-12
A103	LEVEL 3 FLOOR PLAN	25-02-12
A104	LEVEL 4 FLOOR PLAN	25-02-12
A105	LEVEL 5 FLOOR PLAN	25-02-12
A106	LEVEL 6 FLOOR PLAN	25-02-12
A107	LEVEL 7 FLOOR PLAN	25-02-12
A108	LEVEL 8/ A1 MPH FLOOR PLAN	25-02-12
A111	LEVEL 17/ T1 MPH FLOOR PLAN	25-02-12
A114	ROOF PLAN	25-02-12
A301-A1	ELEVATIONS	25-02-12
A302-T1	ELEVATIONS	25-02-12
A311-A1	ELEVATIONS 1	25-02-12
A312-A1	ELEVATIONS 2	25-02-12
A321-T1	ELEVATIONS 1	25-02-12
A322-T1	ELEVATIONS 2	25-02-12



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**diamond  
schmitt**



# PARKWAY HOUSE DEVELOPMENT

PROPERTY IDENTIFICATION NUMBER: 04282-0573(LT)

SITE INFORMATION		PROPOSED PROJECT INFORMATION		PROPOSED GFA	
SITE ADDRESS	2475 REGINA ST. OTTAWA, ON K2B 6X3	AVERAGE GRADE	65.5m	RESIDENTIAL GFA**	34,080
DEVELOPER	WINN-DIXIE DEVELOPMENT	PERMITTED HEIGHTS	7.16 & 28 STOREYS*	NON-RESIDENTIAL GFA**	930
SITE AREA (m²)	10390 M2	PSI	3.38	TOTAL GFA	35,010

\* Not including Mechanical Penthouses

## GROSS FLOOR AREA

GFA definition per City of Ottawa Zoning By-law 2008-250 Consolidation, Part 1, Section 54

### PROPOSED GFA INFORMATION

	Sq M	Sq Ft	
RESIDENTIAL GFA**	34,080	366,833	97%
NON-RESIDENTIAL GFA**	930	10,015	3%
TOTAL GFA	35,010	376,848	100%

\*\*GFA exemption as per Ottawa By-Law 2008-250  
\*\*\*Deduction includes floor area occupied by exterior walls and (a) floor area occupied by shared mechanical, service and electrical equipment (b) common hallways, corridors, stairwells, elevator shafts and other voids, steps and landings (c) bicycle parking, motor vehicle parking or loading facilities (d) common storage (e) common amenity areas

### BELOW GRADE PARKING

Level	Floor-to-Floor (m)	GCA		Res GFA**		Deductions***	
		Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft
P2	-3.0	4,781	51,466	154	1,653	4,628	49,813
P1	-4.0	4,570	49,190	173	1,864	4,397	47,325
Sub-Total	-7.0	9,351	100,656	327	3,516	9,025	97,139

### A1 (PARKWAY HOUSE FOUNDATION)

Level	Floor-to-Floor (m)	GCA		Res GFA**		Deductions***		Non-Res GFA**		Total GFA	
		Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft
G	3.5	1,155	12,434	89	963	136	1,467	930	10,015	1,019	10,988
2	3.2	905	9,663	674	7,259	251	2,704			674	7,263
3	3.2	926	9,963	764	8,223	162	1,740			764	8,227
4	3.2	819	8,816	666	7,167	153	1,648			666	7,173
5	3.2	819	8,816	666	7,167	153	1,648			666	7,173
6	3.2	764	8,223	613	6,603	151	1,623			613	6,603
7	3.6	764	8,223	613	6,603	151	1,623			613	6,603
MPH	4.9	137	1,475	6	65	131	1,410			6	65
Sub-Total	28.0	6,370	67,555	4,091	44,038	1,288	13,862	930	10,015	5,022	54,053

	Sq M	Sq Ft	
Total Res GFA	4,091	44,038	81%
Total Non-Res GFA	930	10,015	19%
Total GFA	5,022	54,053	100%

### T1 (WEST TOWER)

Level	Floor-to-Floor (m)	GCA		Res GFA**		Deductions***	
		Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft
G	4.5	779	8,385	133	1,434	646	6,952
2	3.5	731	7,855	59	6,409	135	1,457
3	3.0	800	8,611	658	7,087	142	1,524
4	3.0	800	8,611	658	7,087	142	1,524
5	3.0	800	8,611	658	7,087	142	1,524
6	3.0	800	8,611	658	7,087	142	1,524
7	3.0	800	8,611	658	7,087	142	1,524
8	3.0	800	8,611	658	7,087	142	1,524
9	3.3	800	8,611	658	7,087	142	1,524
10	3.0	800	8,611	658	7,087	142	1,524
11	3.0	800	8,611	658	7,087	142	1,524
12	3.0	800	8,611	658	7,087	142	1,524
13	3.0	800	8,611	658	7,087	142	1,524
14	3.0	800	8,611	658	7,087	142	1,524
15	3.0	800	8,611	658	7,087	142	1,524
16	3.5	800	8,611	658	7,087	142	1,524
MPH	6.0	162	1,748	9	96	153	1,650
Sub-Total	56.8	12,871	138,546	9,955	107,156	2,918	31,390

### EAST TOWER (T2)

Level	Floor-to-Floor (m)	GCA		Res GFA**		Deductions***	
		Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft
G	4.5	1,160	12,703	145	1,591	386	4,155
2	3.5	1,132	12,183	934	10,048	198	2,135
3	3.0	1,180	12,703	979	10,541	201	2,162
4	3.0	1,180	12,703	979	10,541	201	2,162
5	3.0	1,180	12,703	979	10,541	201	2,162
6	3.0	1,180	12,703	979	10,541	201	2,162
7	3.5	1,180	12,703	979	10,541	201	2,162
8	3.5	1,048	11,286	854	9,188	195	2,098
9	3.5	918	9,878	762	8,199	156	1,673
10	3.0	788	8,477	637	6,856	151	1,620
11	3.0	788	8,477	637	6,856	151	1,620
12	3.0	788	8,477	637	6,856	151	1,620
13	3.0	788	8,477	637	6,856	151	1,620
14	3.0	788	8,477	637	6,856	151	1,620
15	3.0	788	8,477	637	6,856	151	1,620
16	3.0	788	8,477	637	6,856	151	1,620
17	3.0	788	8,477	637	6,856	151	1,620
18	3.0	788	8,477	637	6,856	151	1,620
19	3.3	788	8,477	637	6,856	151	1,620
20	3.0	788	8,477	637	6,856	151	1,620
21	3.0	788	8,477	637	6,856	151	1,620
22	3.0	788	8,477	637	6,856	151	1,620
23	3.0	788	8,477	637	6,856	151	1,620
24	3.0	788	8,477	637	6,856	151	1,620
25	3.0	788	8,477	637	6,856	151	1,620
26	3.0	788	8,477	637	6,856	151	1,620
27	3.0	788	8,477	637	6,856	151	1,620
28	3.5	788	8,477	637	6,856	151	1,620
MPH	6.0	248	2,674	14	153	234	2,522
Sub-Total	94.3	25,390	273,296	19,707	212,122	5,034	54,186

## AMENITY AREA

Amenity Area definition per City of Ottawa Zoning By-law 2008-250 Consolidation, Part 1, Section 54. Amenity requirements per Part 5, section 137

OVERALL		Sq M	Sq Ft	
Communal Amenity	Interior	1,151	12,400	1.97 m² per unit
	Exterior	787	8,474	1.39 m² per unit
	Sub-Total	1,938	20,874	3.37 m² per unit
Personal Amenity		2,428	26,109	4.29 m² per unit
Total Amenity		4,328	46,583	7.66 m² per unit

### A1 (PARKWAY HOUSE)

Level	Shared Amenity (Int)		Shared Amenity (Ext)		Personal Amenity	
	Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft
P1						
G						
2	136	1,459	125	1,347	107	1,157
3					55	597
4					145	1,559
5					52	556
6					91	982
7					44	469
MPH						
Sub-Total	136	1,459	125	1,347	494	5,320

Communal Amenity	Interior	1.81 m² per unit
	Exterior	1.67 m² per unit
	Sub-Total	3.48 m² per unit
Personal Amenity		6.59 m² per unit
Total Amenity		10.1 m² per unit

### T1 (WEST TOWER)

Level	Shared Amenity (Ind)		Shared Amenity (Ext)		Personal Amenity	
	Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft
G	330	3,554				
2					35	372
3					39	419
4					39	419
5					39	419
6					39	419
7					39	419
8					39	419
9					39	419
10					39	419
11					39	419
12					39	419
13					39	419
14					39	419
15					39	419
16					39	419
MPH			284			
Sub-Total	330	3,554	284	3,056	579	6,231

Communal Amenity	Interior	1.84 m² per unit
	Exterior	1.59 m² per unit
	Sub-Total	3.43 m² per unit
Personal Amenity		6.66 m² per unit
Total Amenity		10.1 m² per unit

### T2 (EAST TOWER)

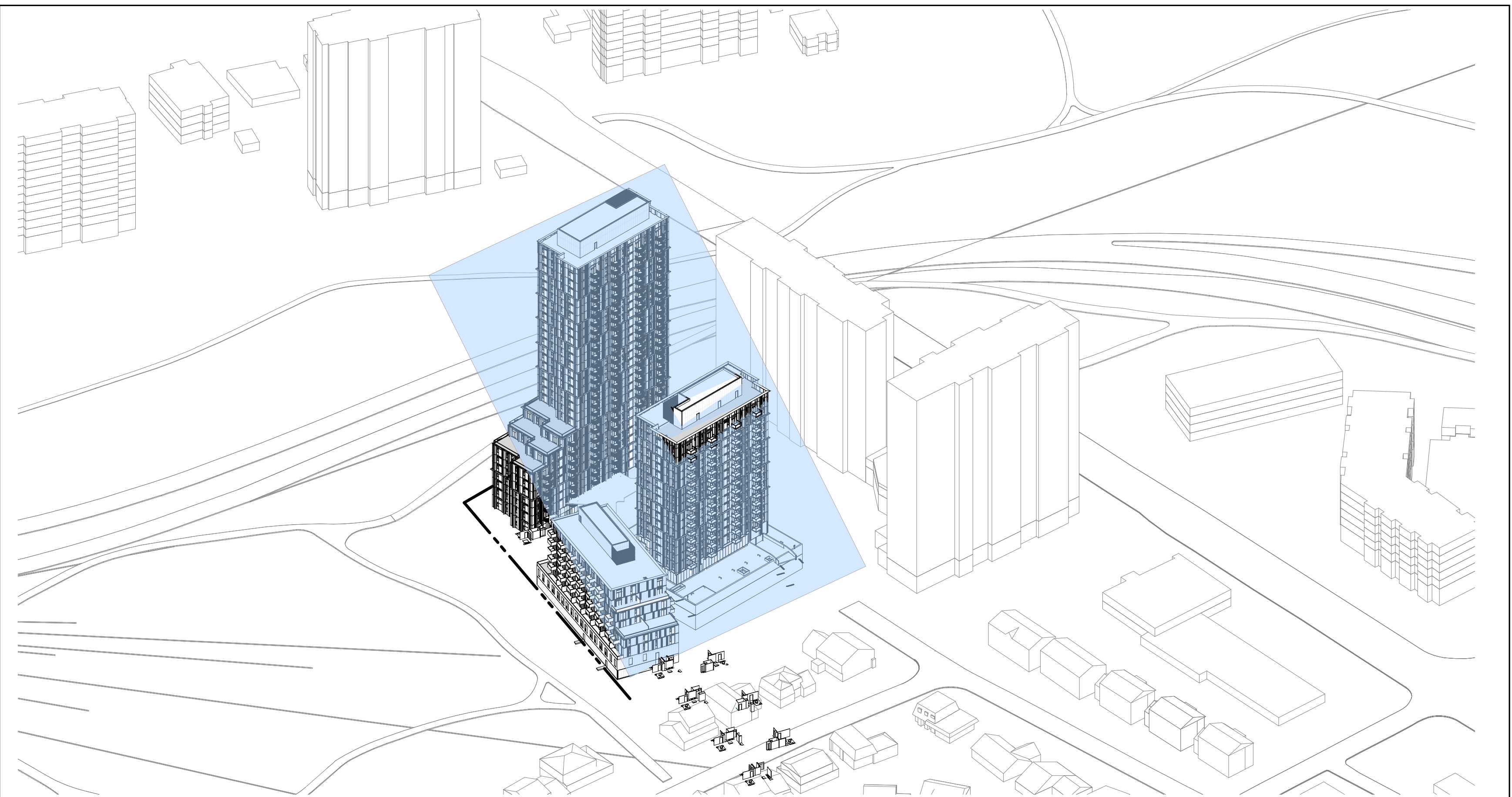
Level	Shared Amenity (Ind)		Shared Amenity (Ext)		Personal Amenity	
	Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft
G	649	6,988	143	1,542		0
2					60	651
3					53	571
4					53	571
5					53	571
6					53	571
7					53	571
8					100	1,063
9					103	1,107
10					98	1,054
11					40	428
12					40	428
13					40	428
14					40	428
15					40	428
16					40	428
17					40	428
18					40	428
19					40	428
20					40	428
21					40	428
22					40	428
23					40	428
24					40	428
25					40	428
26					40	428
27					40	428
28					40	428
MPH			235	2530		
Sub-Total	649	6,988	378	4,072	1,352	14,558

Communal Amenity	Interior	2.09 m² per unit
	Exterior	1.22 m² per unit
	Sub-Total	3.30 m² per unit
Personal Amenity		4.3 m² per unit
Total Amenity		7.7 m² per unit



1 CONTEXT PLAN

A001 1:2000



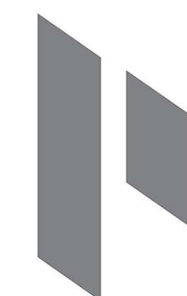
2 ANGULAR PLANE AXONOMETRIC DIAGRAM

A001

## UNIT MIX

RESIDENTIAL UNIT COUNT													Sub-Total	
Level	PARKWAY HOUSE(A1)				WEST TOWER (T1)				EAST TOWER (T2)					
	S	1B	2B	3B	S	1B	2B	3B	S	1B	2B	3B		
G						0	0	0	0	0	0	0	0	
2	1	6	4		1	6	3	1	1	0	0	0	31	
3	2	7	5		1	6	4	1	1	0	0	0	41	
4	2	9	2		1	6	4	1	1	0	6	0	41	
5	2	9	2		1	6	4	1	1	0	6	0	41	
6	3	6	3		1	6	4	1	1	0	6	0	41	
7	3	6	3		1	6	4	1	1	0	6	0	41	
8 MPH					1	6	4	1	9	5	0	0	24	
9					1	6	4	1	7	5	0	0	22	
10					1	6	4	1	5	4	1	0	22	
11					1	6	4	1	5	4	1	0	22	
12					1	6	4	1	5	4	1	0	22	
13					1	6	4	1	5	4	1	0	22	
14					1	6	4	1	5	4	1	0	22	
15					1	6	4	1	5	4	1	0	22	
16					1	6	4	1	5	4	1	0	22	
17 MPH									5	4	1	0	10	
18									5	4	1	0	10	
19									5	4	1	0	10	
20									5	4	1	0	10	
21									5	4	1	0	10	
22									5	4	1	0	10	
23									5	4	1	0	10	
24									5	4	1	0	10	
25									5	4	1	0	10	
26									5	4	1	0	10	
27									5	4	1	0	10	
28									5	4	1	0	10	
MOH														
Sub-Total	13	43	19	0	15	90	59	15		170	122	19		
Unit Count		75	25	0%		139	8%		553	391	6%		565	
		17%	57%	25%	0%		50%	33%	8%		55%	31%	6%	
								254				311		
		</												





Issued		
No.	Date	Description
1	22-05-13	Issued for ZBA
2	22-10-21	Issued for ZBA Resubmission
3	23-01-31	Issued for ZBA Resubmission Addendum
6	24-11-22	Issued for Site Plan Control
7	24-12-16	Issued for Permit Phase 2
8	25-02-05	Issued for 30% CD
9	25-02-12	Issued for SPCC Resubmission



NORTH EAST VIEW FROM PARKWAY



WEST VIEW FROM REGINA ENTRY



SOUTH VIEW LOOKING TOWARD CENTRE GREEN

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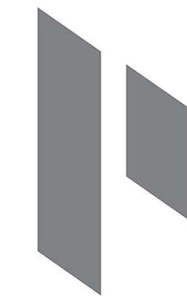
OTTAWA PARKWAY HOUSE

WINDMILL DEVELOPMENT GROUP  
PROPERTY IDENTIFICATION NUMBER: 04282-0673(LT)  
2475 REGINA ST, OTTAWA, ON K2B 6X3



A PLANNED ONE PLANET LIVING COMMUNITY WITH GUIDING THEMES OF YEAR-ROUND NATURAL CONNECTIONS, ZERO CARBON LIVING, WELCOMING AND INCLUSIVE COMMUNITY.

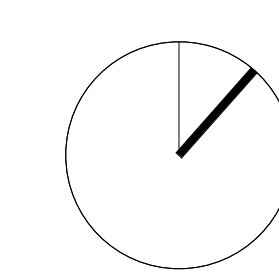
diamond  
schmitt



Issued	No.	Date	Description
	1	22-05-13	Issued for ZBA
	2	22-10-21	Issued for ZBA Resubmission
	4	24-03-08	Issued for Site Plan Control Phase 2
	5	24-03-08	Issued for Schematic Design
	6	24-11-22	Issued for Site Plan Control
	7	24-12-16	Issued for Permit Phase 2
	8	25-02-05	Issued for 30% CD
	9	25-02-12	Issued for SPC Resubmission

- ELEVATION NOTES**
- PROPERTY BOUNDARY AND TOPOGRAPHIC INFORMATION DERIVED FROM TOPOGRAPHIC SKETCH OF PART OF LOT 28 CONCESSION 1 (OTTAWA FRONT), CITY OF OTTAWA, PREPARED BY STANTEC GEOMETICS LTD. REFER TO SURVEY DRAWING.
  - ELEVATION SHOWN HEREON ARE GEODETIC (CGD-1028/1978) AND ARE DERIVED FROM THE CAN-NET VRS NETWORK MONUMNET, OTTAWA ELEVATION=95.230

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Planning

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Transportation Planning

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Win

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Noise

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Energy Modeling

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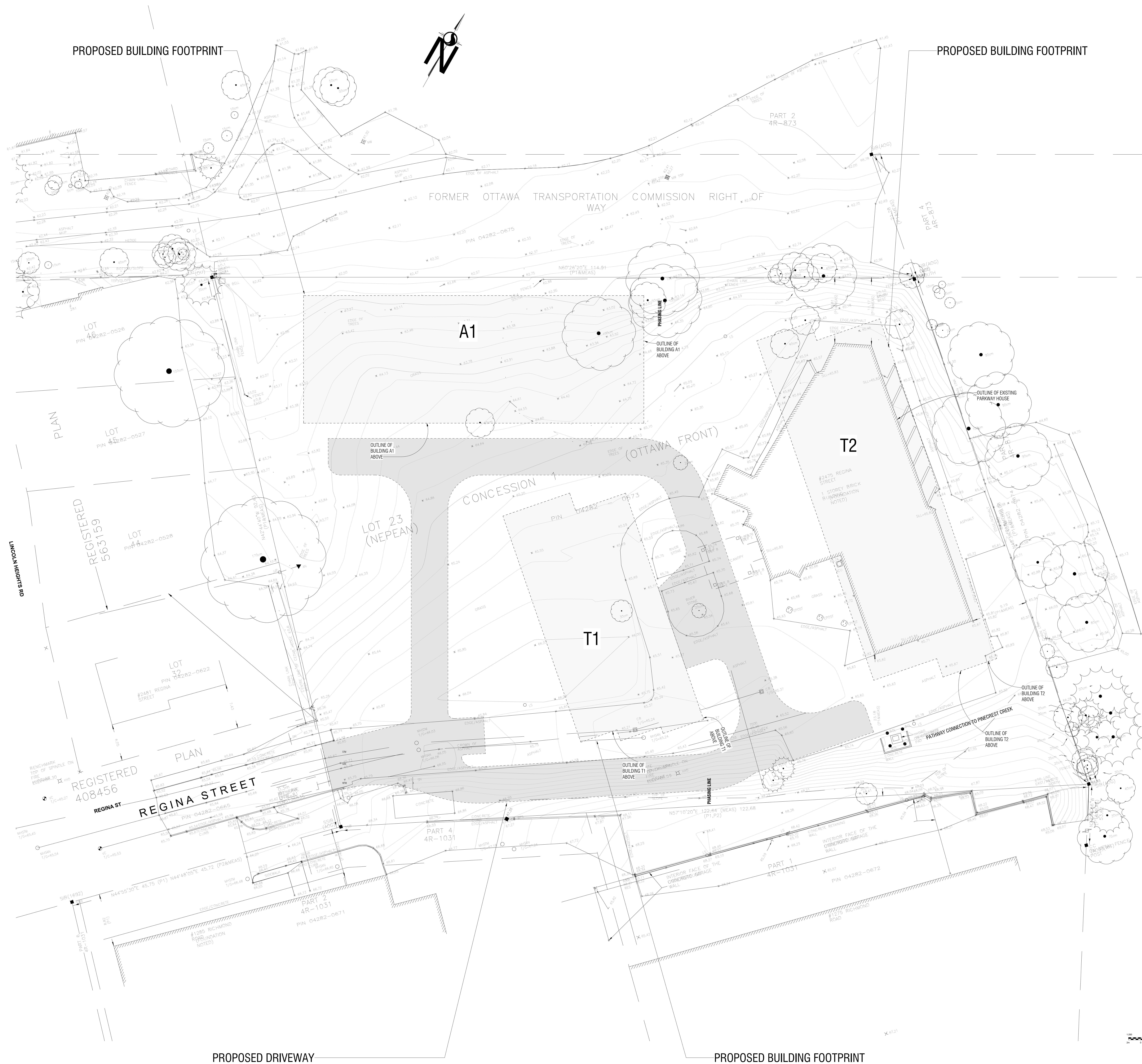
Issued		
No.	Date	Description
6	24-11-22	Issued for Site Plan Control
7	24-12-16	Issued for Permit Phase 2
8	25-02-05	Issued for 30% CD
9	25-02-12	Issued for SPC Resubmission

**ELEVATION NOTES**

1. PROPERTY BOUNDARY AND TOPOGRAPHIC INFORMATION DERIVED FROM TOPOGRAPHIC SKETCH OF PART OF LOT 23 CONCESSION 1 (OTTAWA FRONT), CITY OF OTTAWA, PREPARED BY STANTEC GEOMETRICS LTD. REFER TO SURVEY DRAWING.
2. ELEVATION SHOWN HEREON ARE GEODETIC (CGVD-1928/1978) AND ARE DERIVED FROM THE CAN-NET VRS NETWORK MONUMENT: OTTAWA FI ELEVATION = 95.230

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No.	Date	Description
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2	22-10-21	Issued for ZBA Resubmission
4	24-03-08	Issued for Site Plan Control Phase 2
5	24-03-08	Issued for Schematic Design
6	24-11-22	Issued for Site Plan Control
7	24-12-16	Issued for Permit Phase 2
8	25-02-05	Issued for 30% CD
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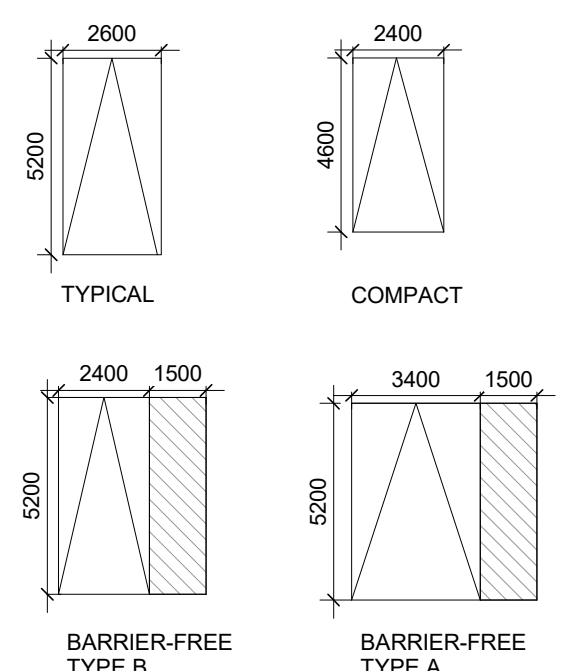
- GENERAL NOTES - PLANS:**
- REFER TO BUILDING ELEMENTS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, CEILING AND SOFFIT TYPES.
  - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
  - AT LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR PARTITIONS, OFFSET PARTITION ABOVE CEILING AND BRACE AS REQUIRED. MAINTAIN FIRE SEPARATION/SOUND RATING OF PARTITION. OFFSETTING OF PARTITIONS WILL ONLY BE PERMITTED WHERE DUCTWORK CANNOT BE POSITIONED.
  - ALL DIMENSIONS ARE TAKEN TO FACE OF MASONRY OR CONCRETE AT MASONRY AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
  - INCREASE THICKNESS OF WALLS OR FURR OUT WALL THICKNESS AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL PANELS AND SERVICES. MAINTAIN FIRE SEPARATION AROUND BACK OF PANELS WHERE APPLICABLE.
  - FOR DIMENSIONS OF CONCRETE REFER TO SLAB EDGE DRAWINGS.
  - ALL AREAS OF EXPOSED SPANDREL PANEL AT INTERIOR OF BUILDING TO BE COVERED WITH FURRING TYPE F14B.
  - REFER TO A-150 SERIES FOR ENLARGED PLANS.
  - REFER TO INTERIOR DESIGN DRAWINGS FOR ADDITIONAL PARTITIONS THAT MAY BE REQUIRED.

**PARKING SUMMARY**  
ALL PARKING STALLS ARE 2.8M X 5.2M PER BY-LAW 2021-210 UNLESS OTHERWISE NOTED.  
ACCESSIBLE PARKING STALLS ARE TYPE A 3.0M X 5.3M, AND TYPE B 2.4M X 5.2M.

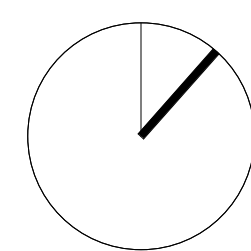
P20 - PHASE I: 82 SPACES  
PHASE I: 64 SPACES  
P01 - PHASE I: 31 SPACES  
PHASE I: 46 SPACES  
L01 - 21 SPACES  
PHASE I: 104  
PHASE II: 110  
TOTAL: 214 SPACES

ALL BICYCLE PARKING RACKS ARE STACKED 1.8M X 0.46M  
PHASE I: 270  
PHASE II: 310  
TOTAL 586 LONG-TERM BICYCLE PARKING SPACES

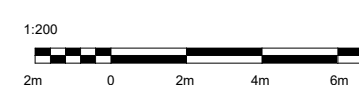
**PARKING**



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CONSTRUCTION



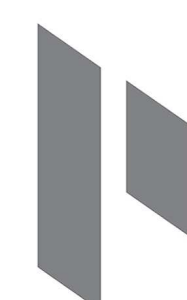
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6	24-11-22	Issued for Site Plan Control
7	24-12-16	Issued for Permit Phase 2
8	25-02-05	Issued for 30% CD
9	25-02-12	Issued for SPC Resubmission

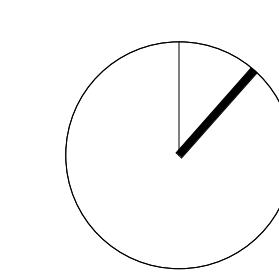
## GENERAL NOTES - PLANS:

7. REFER TO BUILDING ELECTIONS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, CEILING AND SOFFIT TYPES.
8. REFER TO MECHANICAL AND ELECTRICAL SCHEDULES FOR ADDITIONAL REQUIREMENTS.
9. AT LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR PARTITION WALLS, PARTITION WALLS AND SPACE AS REQUIRED, MAINTAIN FIRE RATED CONSTRUCTION RATING OF PARTITION. OFFSPRING OF PARTITIONS WILL ONLY BE REQUIRED WHERE DUCTWORK CANNOT BE POSITIONED.
10. ALL DIMENSIONS ARE TAKEN TO FACE OF CONCRETE, BRICK, BLOCK AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
11. INCREASE THICKNESS OF WALLS ON FLUOR WALL THICKNESS AS REQUIRED TO SUPPORT MECHANICAL AND ELECTRICAL PANELS AND SERVICES. MAINTAIN FIRE RATED PARTITION BOARD BACK OF PANELS WHERE APPLICABLE.
12. FOR DIMENSIONS OF CONCRETE REFER TO SLAB EDGE DRAWINGS.
13. ALL AREAS OF EXPOSED SPANDREL PANEL AT INTERIOR OF BUILDING TO BE COVERED WITH FLUORING TYPE F148.
14. REFER TO A150 SERIES FOR ENLARGED PANELS.
15. REFER TO MECHANICAL AND ELECTRICAL SCHEDULES FOR ADDITIONAL PARTITIONS THAT MAY BE REQUIRED.

## ELEVATION NOTES

1. PROPERTY BOUNDARY AND TOPOGRAPHIC INFORMATION DERIVED FROM TOPOGRAPHIC SKETCH OF PART OF LOT 23 CONCESSION 1 (OTTAWA FRONT), CITY OF OTTAWA, PREPARED BY STANTEC GEOMETICS LTD. REFER TO SURVEY DRAWING.
2. ELEVATION SHOWN HEREON ARE GEODETIC (CGVD-1928:1978) AND ARE DERIVED FROM THE CAN-NET VRS NETWORK MONUMENT: OTTAWA ELEVATION=95.230

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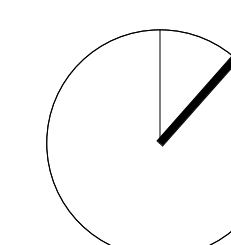


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4	24-03-08	Issued for Site Plan Control Phase 2
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7	24-12-16	Issued for Permit Phase 2
8	25-02-05	Issued for 30% CD
9	25-02-12	Issued for SPC Resubmission

GENERAL NOTES - PLANS:

1. REFER TO BUILDING ELEMENTS SCHEDULE FOR EXTERIOR WALL, PARTITION, FLOOR, CEILING AND SOFFIT TYPES.
2. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
3. AT LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR WALLS, INTERFERE PARTITION, FLOOR, CEILING AND BRACE AS REQUIRED. MAINTAIN FIRE SEPARATION/SOUND RATING OF PARTITION. OFFSETTINGS OF PARTITIONS WILL ONLY BE PERMITTED WHERE DUCTWORK CANNOT BE POSITIONED.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF CONCRETE WALLS, PARTITIONS AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
5. INCREASE THICKNESS OF WALLS OR FLOOR OUT WALL THICKNESS AS REQUIRED TO SUPPORT MECHANICAL AND ELECTRICAL PANELS AND SERVICES. MAINTAIN FIRE SEPARATION AROUND BACK OF PANELS WHERE APPLICABLE.
6. FOR DIMENSIONS OF CONCRETE REFER TO SLAB EDGE DRAWINGS.
7. ALL AREAS OF EXPOSED SPANDREL PANEL IN EXTERIOR BUILDING TO BE COVERED WITH FURNITURE TYPE F-140.
8. REFER TO A100 SERIES FOR ENLARGED PLANS.
9. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES, MATERIALS AND COLOURS (REF)

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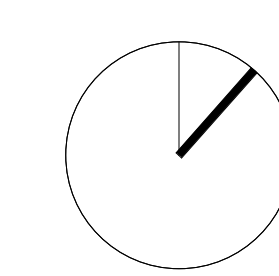


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GENERAL NOTES - PLANS:

- 1. REFER TO BUILDING ELECTIONS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, GELING AND SLOPE.
- 2. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- 3. CONCRETE MECHANICAL INTERFERENCE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR PARTITIONS, OFFSET PARTITION ABOVE CEILING AND PARTITION ABOVE PARTITION.
- 4. SEPARATION/SOUND RATING OF PARTITION, OBTAINING OF SOUND RATING, SHALL BE SEPARATION/NOISE DUCTING, CANNOT BE POSITIONED.
- 5. ALL PARTITIONS ARE TAKEN TO FACE OF MASONRY OR CONCRETE AT MASONRY AND CONCRETE WALLS AND PARTITIONS. AT STEEL WALLS, PARTITIONS ARE TAKEN TO FACE OF FACE OF OPTIMUM BOARD, UNLESS OTHERWISE NOTED.
- 6. MINIMUM THICKNESS OF WALLS OR PARTITION WALL THICKNESS AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL SERVICES, PROVIDES, MINIMUM THICKNESS OF PARTITION AROUND BACK OF PANELS WHERE APPLICABLE.
- 7. REFER TO SECTIONS OF CONCRETE FOR SLAB EDGE DRAWINGS.
- 8. ALL AREAS OF EXPANDED SPANDREL PANEL AT PARTITION TO BE COVERED WITH PLUMBING TYPE #14B.
- 9. REFER TO #150 SERIES FOR ENLARGED PANELS.
- 10. ADDITIONAL PARTITIONS THAT MAY BE REQUIRED.

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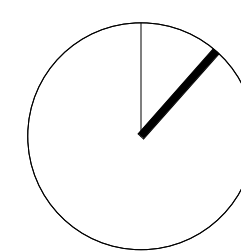




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- GENERAL NOTES - PLANS:**
- REFER TO BUILDING ELEMENTS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, CEILING AND SOFFIT TYPES.
  - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
  - AT LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR PARTITIONS, OFFSET PARTITION ABOVE CEILING AND BRACE AS REQUIRED. MAINTAIN FIRE SEPARATION/SOUND RATING OF PARTITION. OFFSETS OF PARTITIONS WILL ONLY BE PERMITTED WHERE DUCTWORK CANNOT BE POSITIONED.
  - ALL DIMENSIONS ARE TAKEN TO FACE OF MASONRY OR CONCRETE AT MASONRY AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
  - INCREASE THICKNESS OF WALLS OR FURR OUT WALL THICKNESS AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL PANELS AND SERVICES. MAINTAIN FIRE SEPARATION AROUND BACK OF PANELS WHERE APPLICABLE.
  - FOR DIMENSIONS OF CONCRETE REFER TO SLAB EDGE DRAWINGS.
  - ALL AREAS OF EXPOSED SPANDREL PANEL AT INTERIOR OF BUILDING TO BE COVERED WITH FURRING TYPE F14B.
  - REFER TO A150 SERIES FOR ENLARGED PLANS.
  - REFER TO INTERIOR DESIGN DRAWINGS FOR ADDITIONAL PARTITIONS THAT MAY BE REQUIRED.

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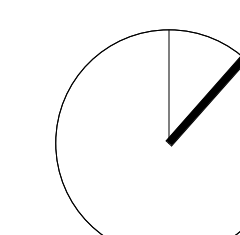


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8	25-02-05	Issued for 30% CD
9	25-02-12	Issued for SPC Resubmission

GENERAL NOTES - PLANS:

2. REFER TO BUILDING ELEMENTS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, CEILING AND SLOPPY TYPES.
3. REFER TO MECHANICAL AND ELECTRICAL SCHEDULES FOR ADDITIONAL REQUIREMENTS.
- 3.A1 LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CURSING OF INTERIOR WALLS SHALL BE PART OF PARTITION AND BRACE TO BE MAINTAINED. MAINTAIN FIRE SEPARATION SOUND RATING OF PARTITION. POSITIONS OF PARTITIONS WILL ONLY BE DETERMINED WHERE DUCTWORK CANNOT BE OFFSETTED.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF PARTITION OR CURTAIN AT INTERIOR AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF CURTAIN BOARD, UNLESS OTHERWISE NOTED.
5. INCREASE THICKNESS OF WALLS OR FLURR OUT WALL THICKNESS AS REQUIRED TO MAINTAIN MECHANICAL AND ELECTRICAL SERVICES. MAINTAIN FIRE SEPARATION SOUND RATIO OF PANELS WHERE APPLICABLE.
6. FOR CURTAIN WALLS OF CONCRETE REFER TO SLAB EDGE DRAWINGS.
7. ALL AREAS OF EXPOSED SPANDREL PANEL AT INTERIOR WALLS TO BE COVERED WITH FLURING TYPE F148.
8. REFER TO A150 SERIES FOR ENLARGED PANELS.
9. ADDITIONAL PARTITIONS THAT MAY BE REQUIRED BY OTHER TRADES SHALL BE REQUIRED BY ADDITIONAL PARTITIONS THAT MAY BE REQUIRED BY OTHER TRADES.

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9	25-02-12	Issued for SPC Re-submission

GENERAL NOTES - PLANS:

- REFER TO BUILDING ELEMENTS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, CEILING AND SOFFIT TYPES.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- AT LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR PARTITIONS, OFFSET PARTITION ABOVE CEILING AND BRACE AS REQUIRED. MAINTAIN FIRE SEPARATION/SOUND RATING OF PARTITION. OFFSETTING OF PARTITIONS WILL ONLY BE PERMITTED WHERE DUCTWORK CANNOT BE POSITIONED.
- ALL DIMENSIONS ARE TAKEN TO FACE OF MASONRY OR CONCRETE AT MASONRY AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
- INCREASE THICKNESS OF WALLS OR FURR OUT WALL THICKNESS AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL PANELS AND SERVICES. MAINTAIN FIRE SEPARATION AROUND BACK OF PANELS WHERE APPLICABLE.
- FOR DIMENSIONS OF CONCRETE REFER TO SLAB EDGE DRAWINGS.
- ALL AREAS OF EXPOSED SPANDREL PANEL AT INTERIOR OF BUILDING TO BE COVERED WITH FURRING TYPE F-145.
- REFER TO A150 SERIES FOR ENLARGED PLANS.
- REFER TO INTERIOR DESIGN DRAWINGS FOR ADDITIONAL PARTITIONS THAT MAY BE REQUIRED.

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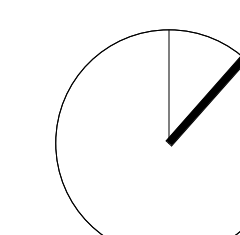


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9	25-02-12	Issued for SPC Resubmission

GENERAL NOTES - PLANS:

2. REFER TO BUILDING ELEMENTS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, CEILING AND SLOPPY TYPES.
3. REFER TO MECHANICAL AND ELECTRICAL SCHEDULES FOR ADDITIONAL REQUIREMENTS.
- 3.A1 LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR PARTITION WALLS. PARTITION WALLS SHALL BE BRACE AND SUPPORTED. MAINTAIN FIRE SEPARATION SOUND RATING OF PARTITION. POSITIONS OF PARTITIONS WILL ONLY BE DETERMINED WHERE DUCTWORK CANNOT BE OFFSETTED.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF PARTITION OR INTERIOR FACE OF CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF UPSIDE BOARD, UNLESS OTHERWISE NOTED.
5. INCREASE THICKNESS OF WALLS OR FLURR OUT WALL THICKNESS AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL SERVICES. MAINTAIN FIRE SEPARATION SOUND RATING OF PANELS WHERE APPLICABLE.
6. FOR CONSTRUCTION OF CONCRETE TO SLAB EDGE DRAWINGS.
7. ALL AREAS OF EXPOSED SPANDREL PANEL AT INTERIOR WALLS TO BE COVERED WITH FINISHING TYPE F148.
8. REFER TO A150 SERIES FOR ENLARGED PANELS.
9. ADDITIONAL PARTITIONS THAT MAY BE REQUIRED BY OTHER TRADES, THAT MAY BE REQUIRED BY

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LEVEL 7 FLOOR PLAN

**A107**



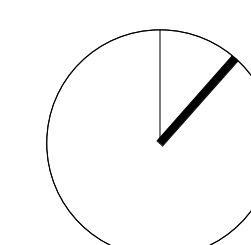


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**GENERAL NOTES - PLANS:**

2. REFER TO BUILDING ELEMENTS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, CEILING AND SOFFIT TYPES.
3. REFER TO MECHANICAL AND ELECTRICAL PARTITIONS FOR ADDITIONAL REQUIREMENTS.
- 3A. LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CURTAINING OF INTERIOR PARTITIONS. MECH. PARTITION ABOVE CEILING AND SPACE AS REQUIRED. MAINTAIN FIRE SEPARATION/ SOUND RATING OF PARTITION. IF POSITIONS OF PARTITIONS WILL ONLY BE DETERMINED LATER, DUCTWORK CANNOT BE SET.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF CONCRETE AT INTERIOR WALLS AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF UPSIDE BOARD, UNLESS OTHERWISE NOTED.
5. INCREASE THICKNESS OF WALLS OR FLUR WALL THICKNESS AS REQUIRED TO MEET MECHANICAL AND ELECTRICAL PARTITIONS AND SERVICES. MAINTAIN FIRE SEPARATION AND SOUND R. OF PANELS WHERE APPLICABLE.
6. FOR CURTAINING OF CONCRETE REFER TO SLAB AND DRAWINGS.
7. AREAS OF EXPANDED SPANDREL PANEL, AT INTERIOR WALLS, TO BE COVERED WITH TYPING TYPE F-40.
8. REFER TO A101 SERIES FOR ENLARGED PANELS.
9. REFER TO INTERIOR DESIGN DRAWINGS FOR INTERIOR PARTITION TYPES AND HEIGHTS.

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**LEVEL 8/ A1 MPH FLOOR PLAN**

1 : 200

**A108**



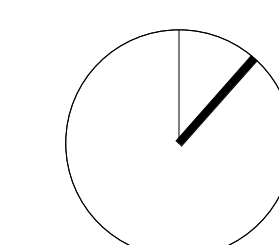


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GENERAL NOTES - PLANS:

2. REFER TO BUILDING ELECTIONS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, CEILING AND SOFFIT TYPES.
3. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
4. AT LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR WALLS, PARTITIONS, CEILING, FLOORING AND BRACE AS REQUIRED. MAINTAIN FIRE PARTITIONING/ SOUND RATING OF PARTITION.
5. MECHANICAL DUCTS SHALL NOT BE PERMITTED WHERE DUCTWORK CANNOT BE POSITIONED.
6. ALL DIMENSIONS ARE TAKEN TO FACE OF CONCRETE AT MASONRY AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF OPSION BOARD, UNLESS OTHERWISE NOTED.
7. INCREASE THICKNESS OF FLOOR OR RUPR OUT WALL THICKNESS AS REQUIRED TO SUPPORT MECHANICAL AND ELECTRICAL PANELS AND SERVICES. MAINTAIN FIRE PARTITIONING SOUND RACK OF PANELS WHERE REQUIRED.
8. FOR DIMENSIONS OF CONCRETE TO SLAB EDGE DRAWINGS.
9. ALL AREAS OF EXPOSED CONCRETE PANEL AT INTERIOR TO BE COVERED WITH FLURRING TYPE F148.
10. REFER TO A150 SERIES FOR ENLARGED PANELS. FOR ADDITIONAL DIMENSIONS DRAWINGS FOR ADDITIONAL PARTITIONS THAT MAY BE REQUIRED.

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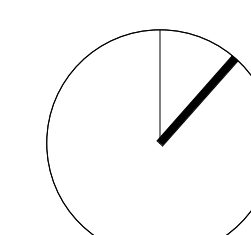


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3. REFER TO MECHANICAL AND ELECTRICAL SCHEDULES FOR ADDITIONAL REQUIREMENTS.
- 3.A1 LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CURSING OF INTERIOR WALLS SHALL BE PART OF PARTITION AND BRACE TO BE MAINTAINED. MAINTAIN FIRE SEPARATION SOUND RATING OF PARTITION. POSITIONS OF PARTITIONS WILL ONLY BE DETERMINED WHERE DUCTWORK CANNOT BE OFFSETTED.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF PARTITION OR CURTAIN AT INTERIOR AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF UPSHIM BOARD, UNLESS OTHERWISE NOTED.
5. INCREASE THICKNESS OF WALLS OR FLURR OUT WALL THICKNESS AS REQUIRED TO MAINTAIN MECHANICAL AND ELECTRICAL SERVICES. MAINTAIN FIRE SEPARATION SOUND RATIO OF PANELS WHERE APPLICABLE.
6. FOR CURSING OF CONCRETE REFER TO SLAB EDGE DRAWINGS.
7. ALL AREAS OF EXPOSED SPANDREL PANEL AT INTERIOR WALLS TO BE COVERED WITH FLURING TYPE F148.
8. REFER TO A150 SERIES FOR ENLARGED PANELS.
9. ADDITIONAL PARTITIONS THAT MAY BE REQUIRED BY MECHANICAL AND ELECTRICAL SCHEDULES.

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LEVEL 10-16 TYP. FLOOR PLAN

1 : 200

## A110



**LEVEL 10**

A110 1:200

1:200



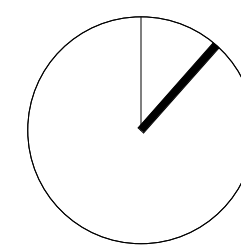


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6	24-11-22	Issued for Site Plan Control
7	24-12-16	Issued for Permit Phase 2
8	25-02-05	Issued for 30% CD
9	25-02-12	Issued for SPIC Resubmission

GENERAL NOTES - PLANS:

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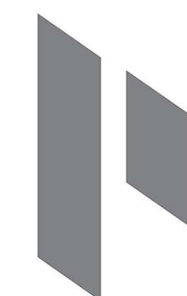
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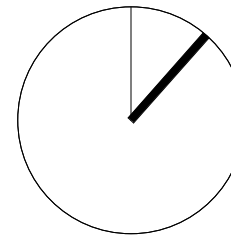




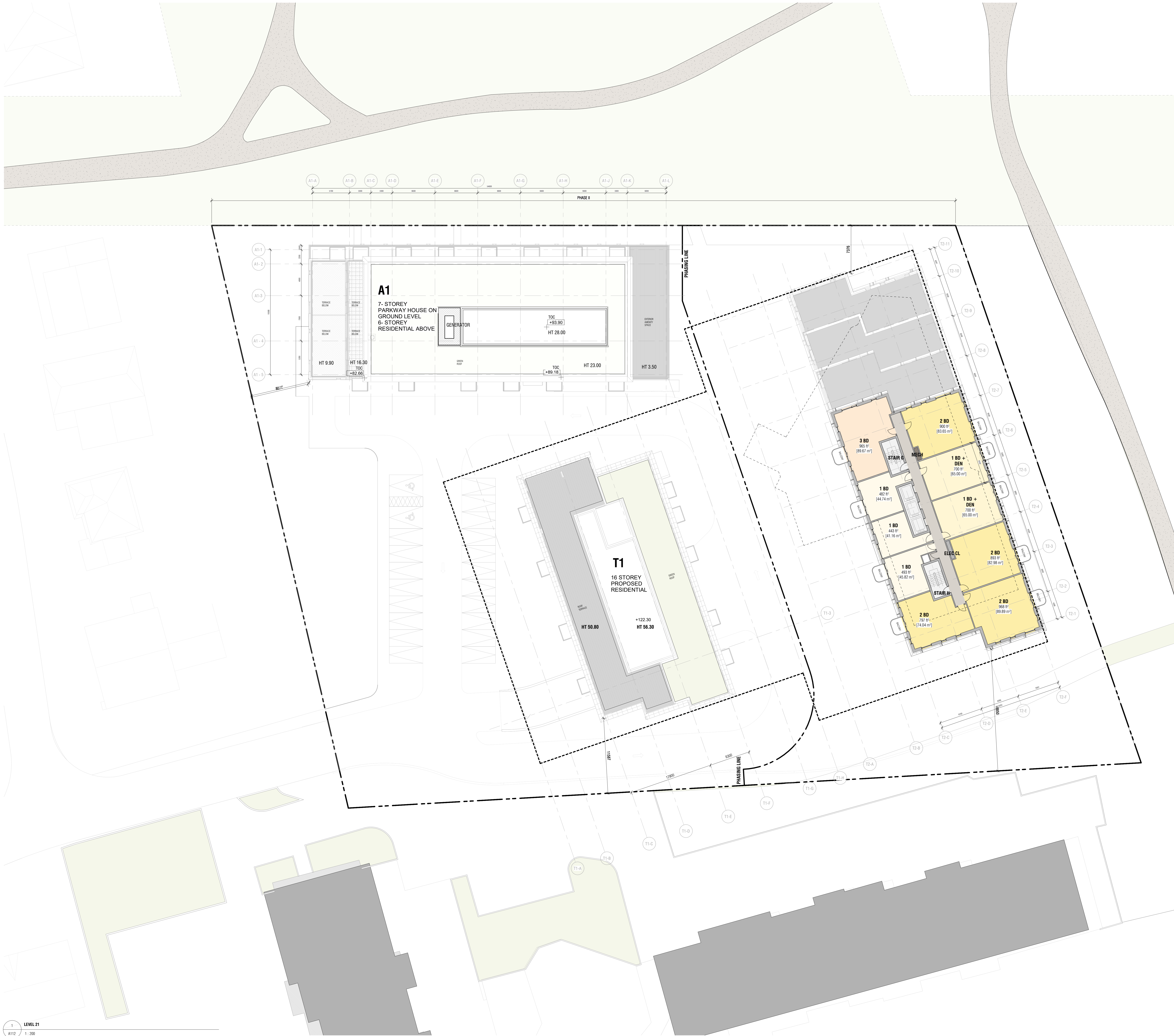
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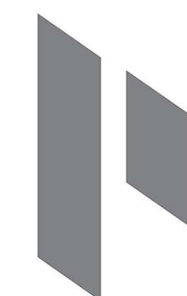
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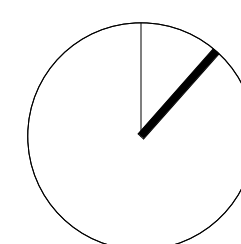


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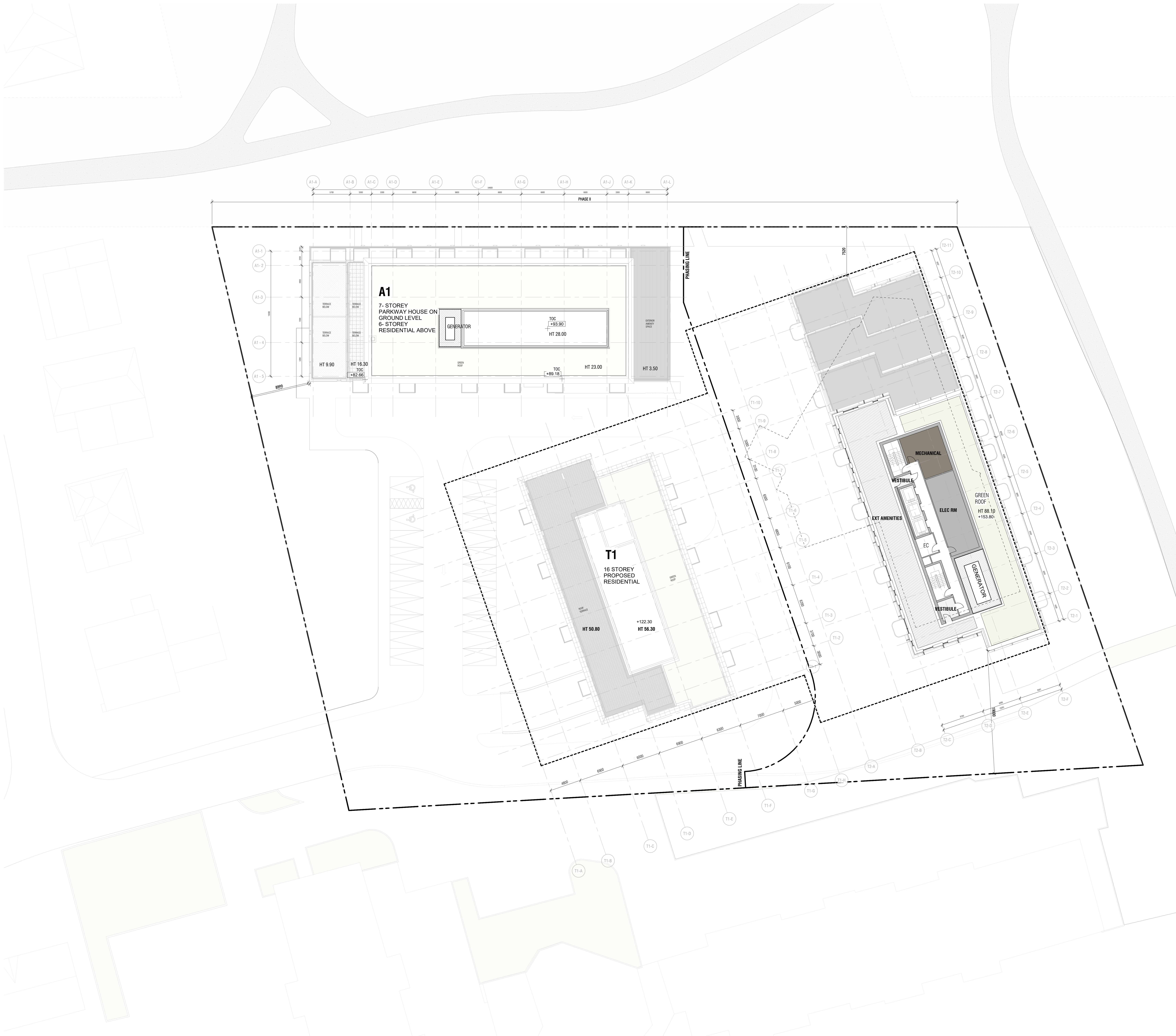
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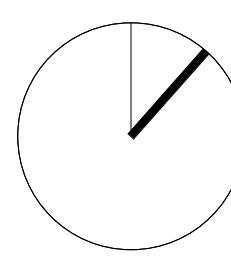




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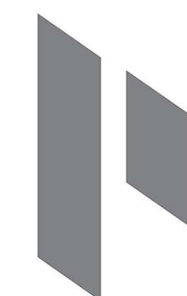
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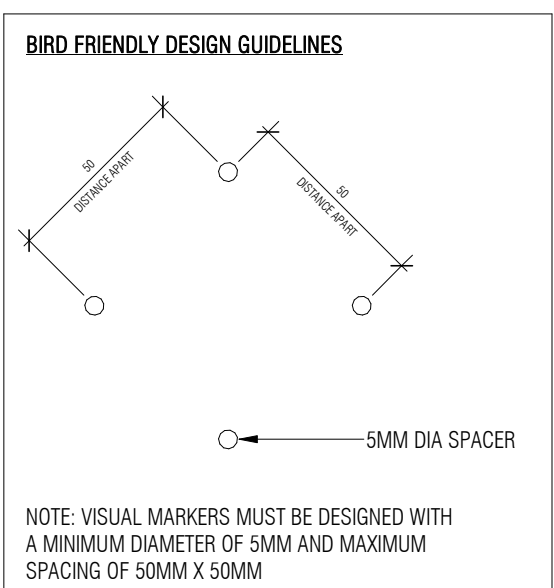
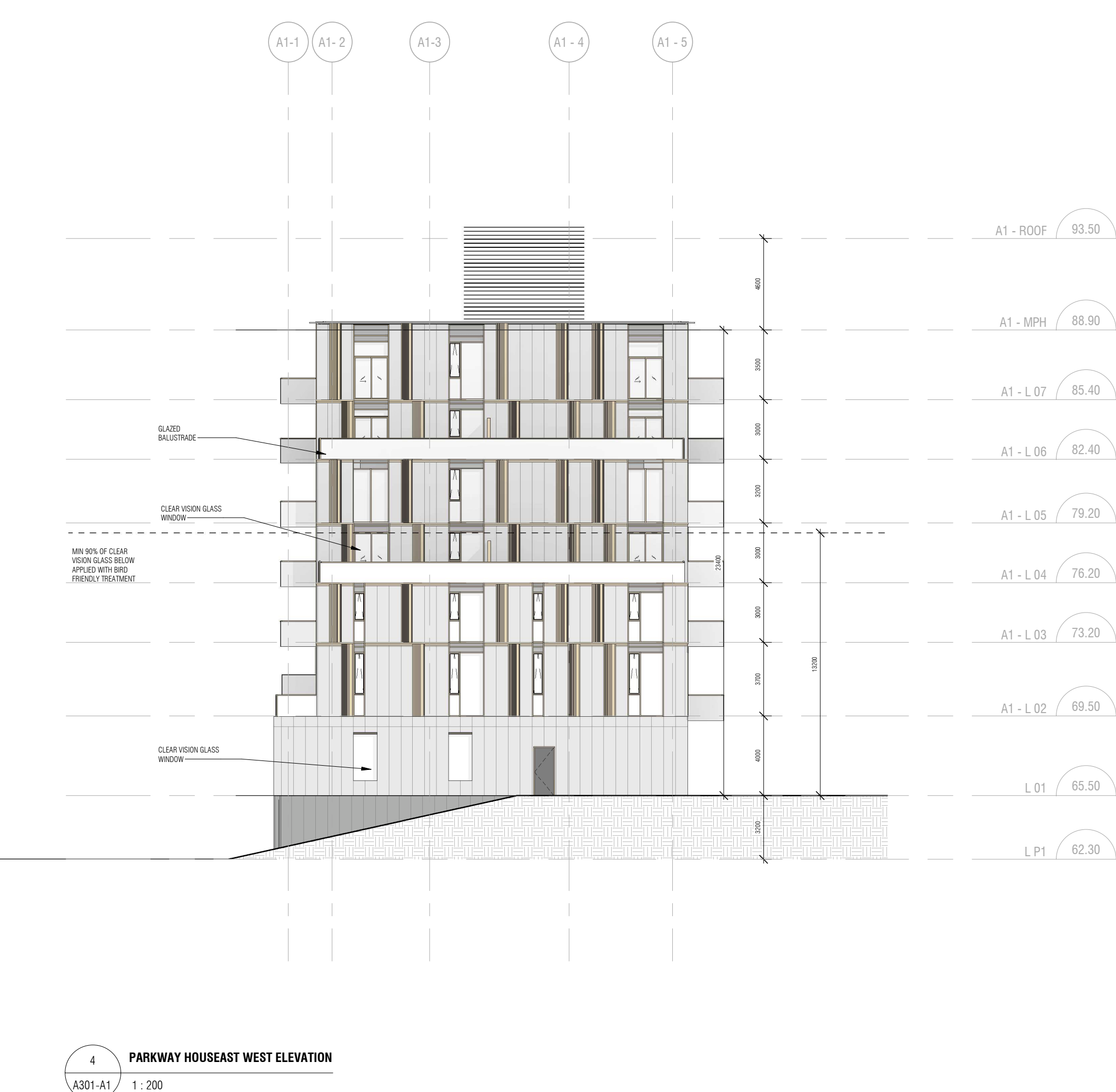
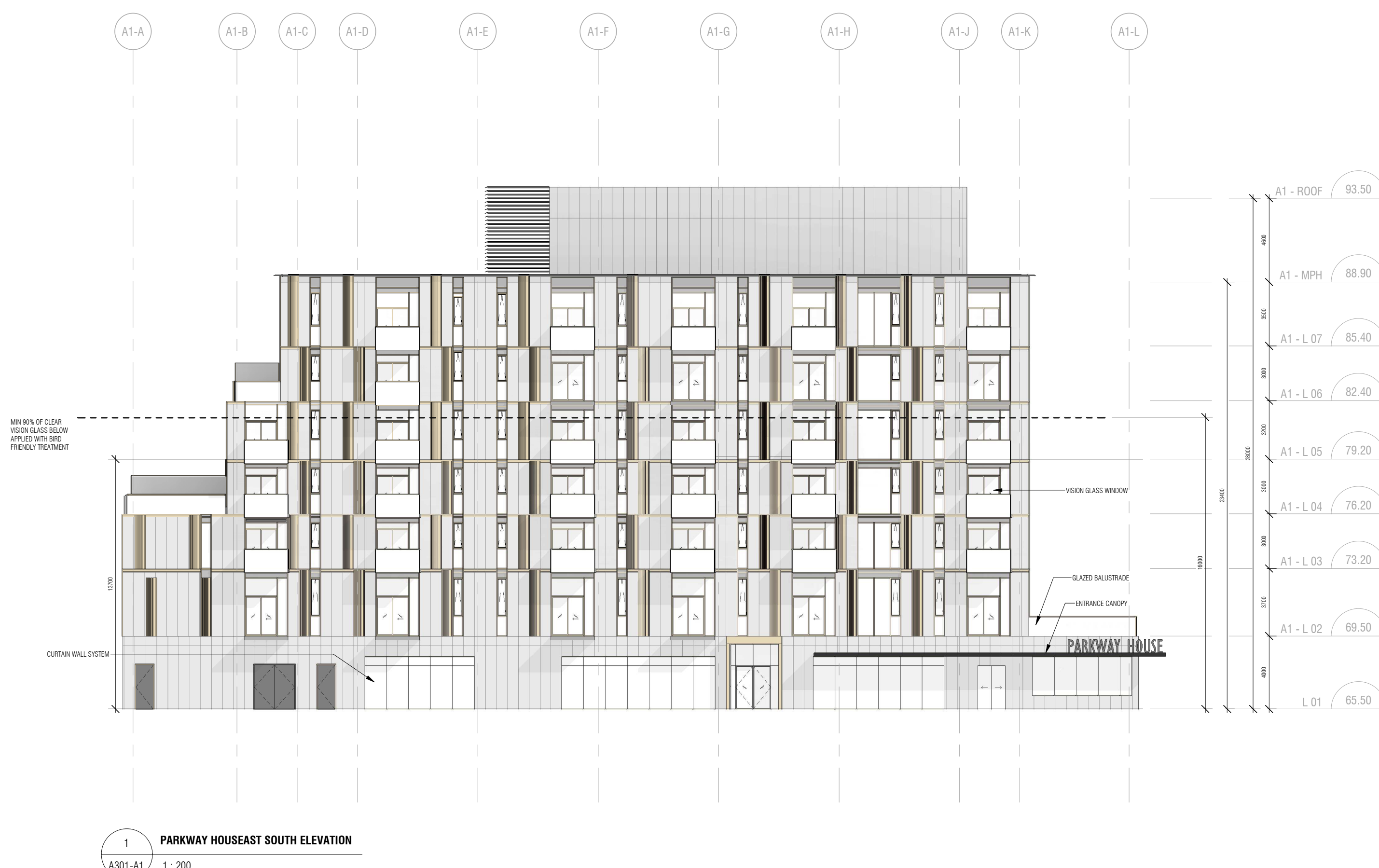
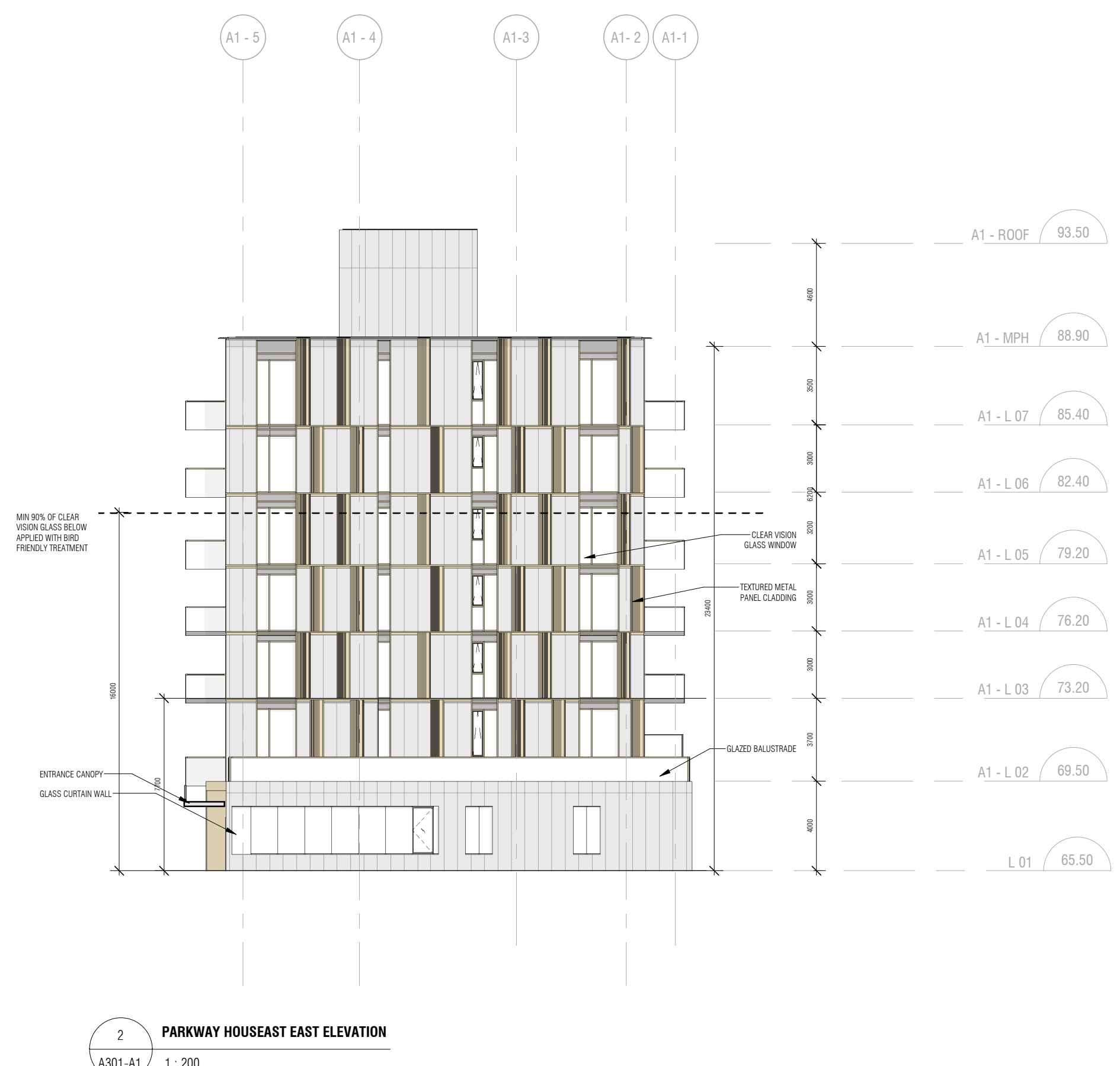
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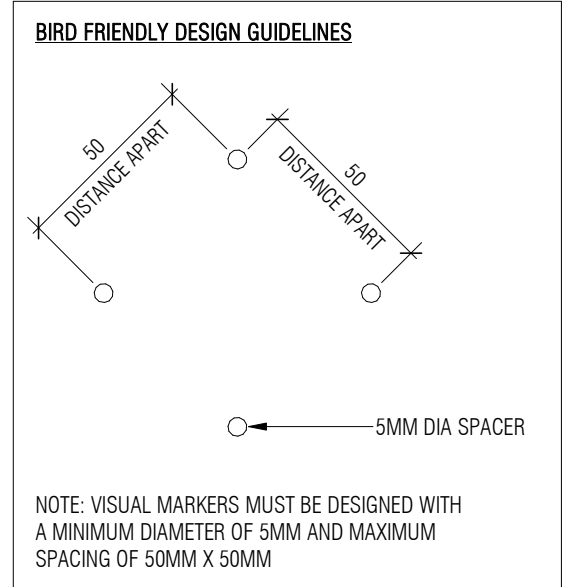
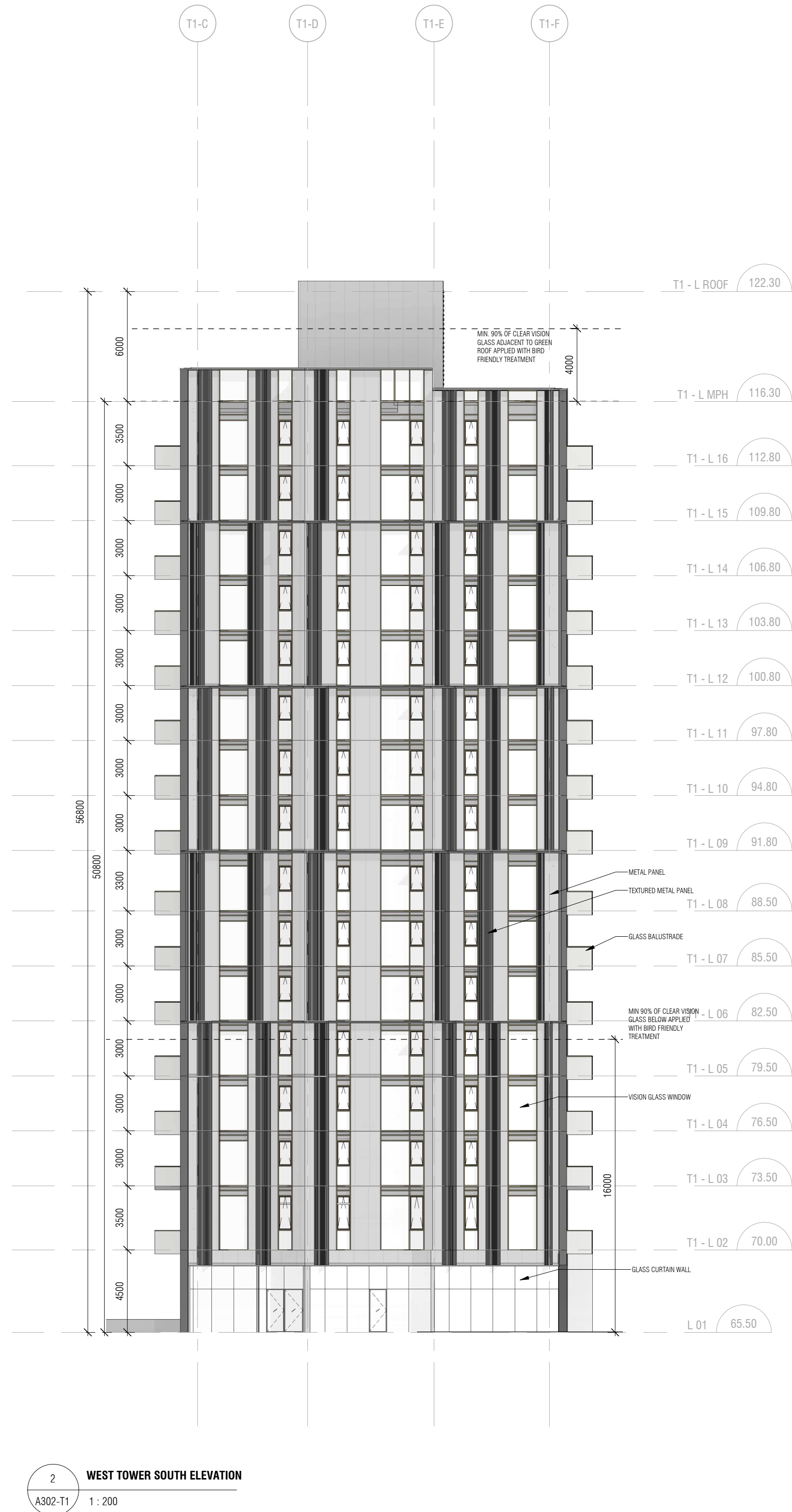
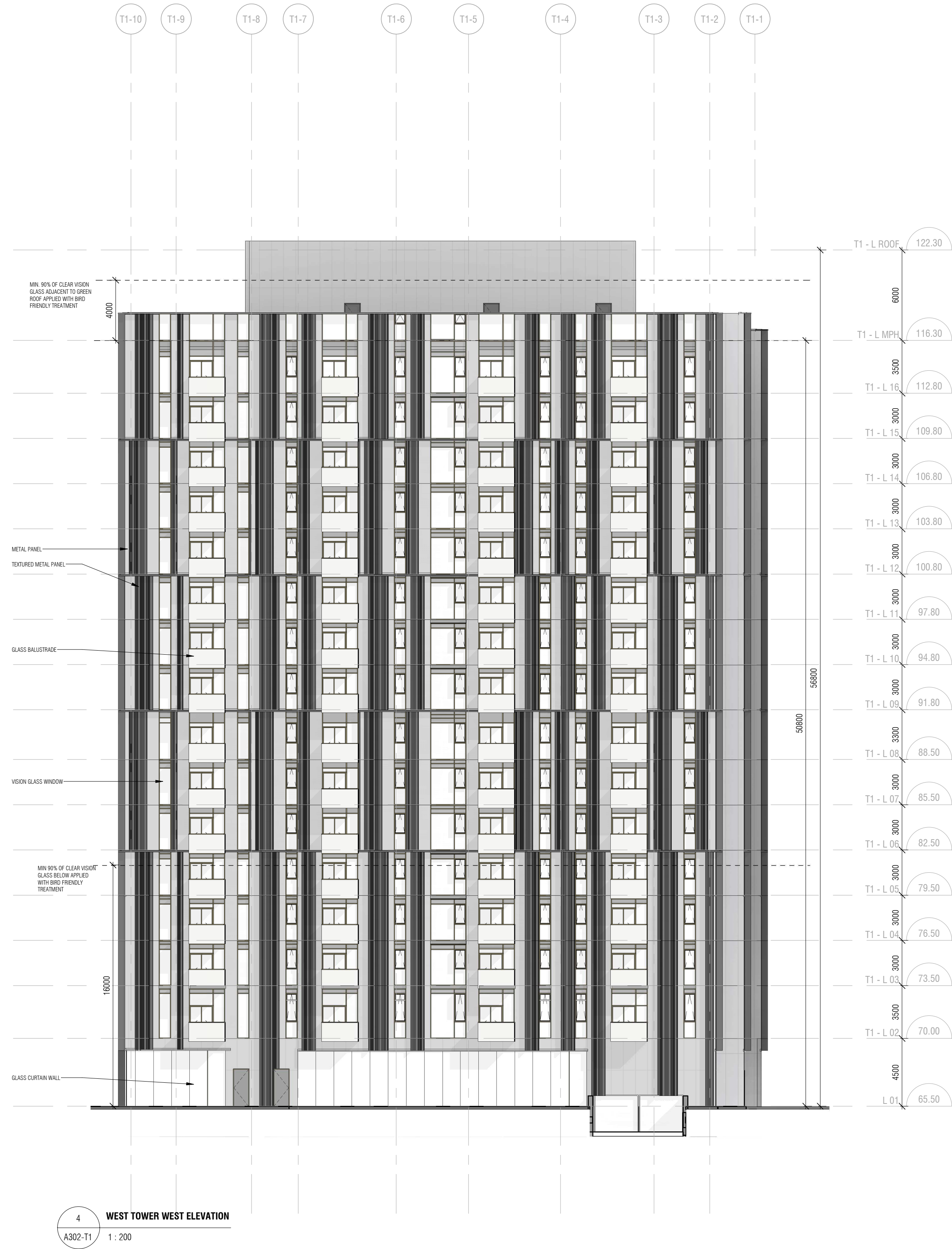
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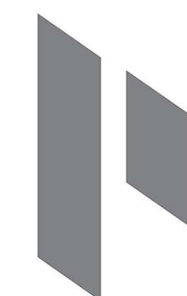
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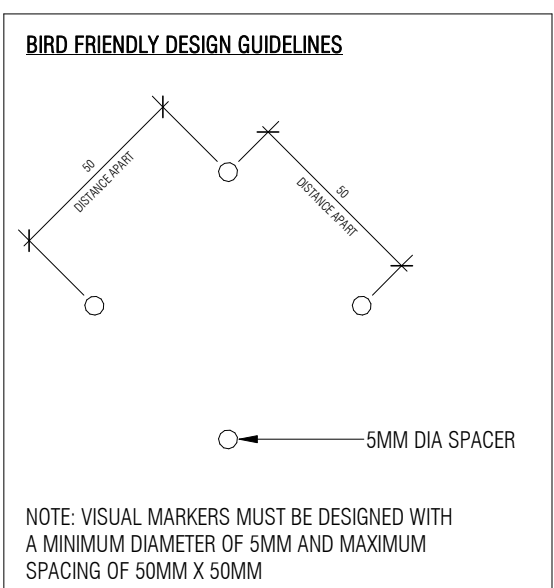
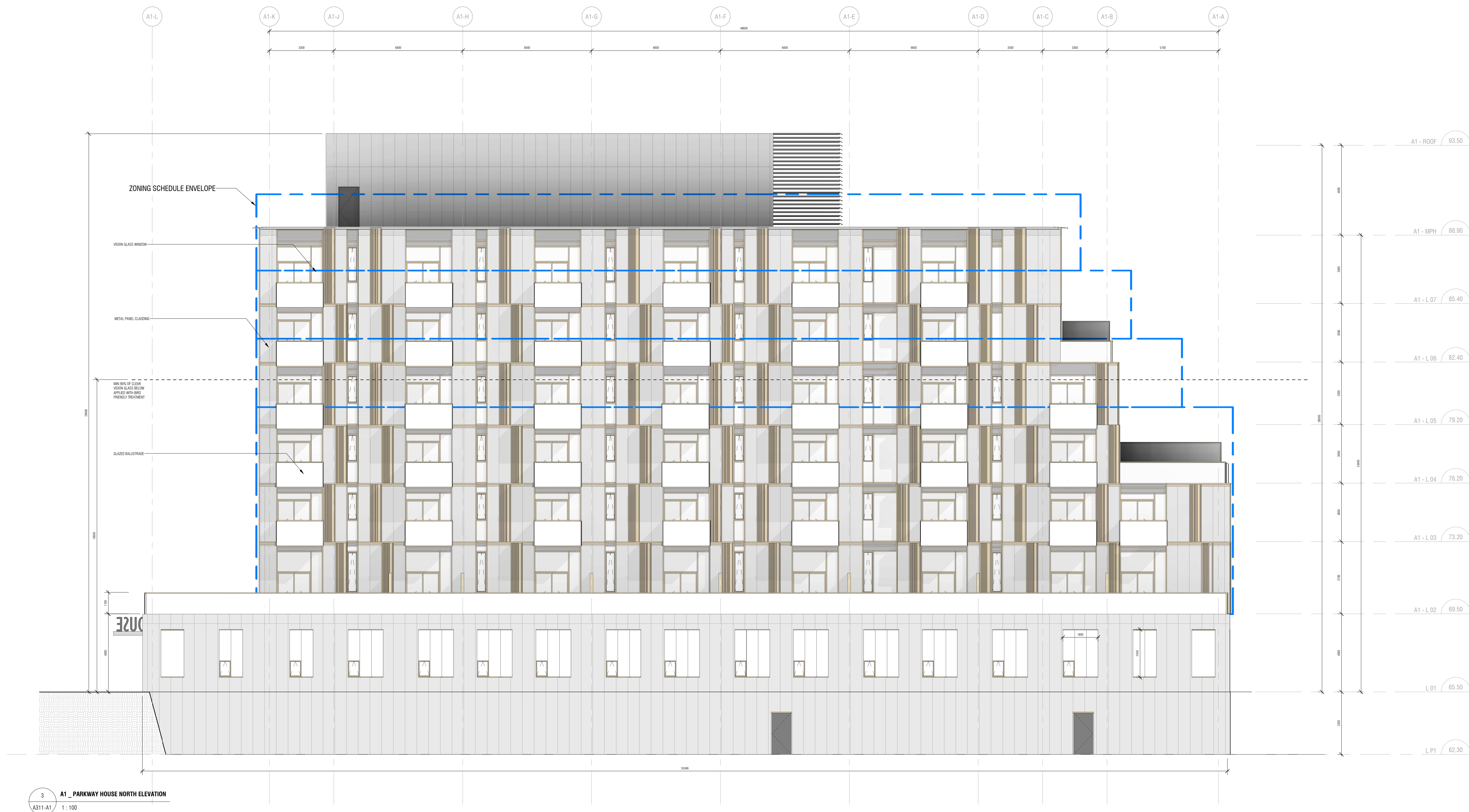


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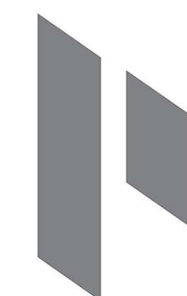
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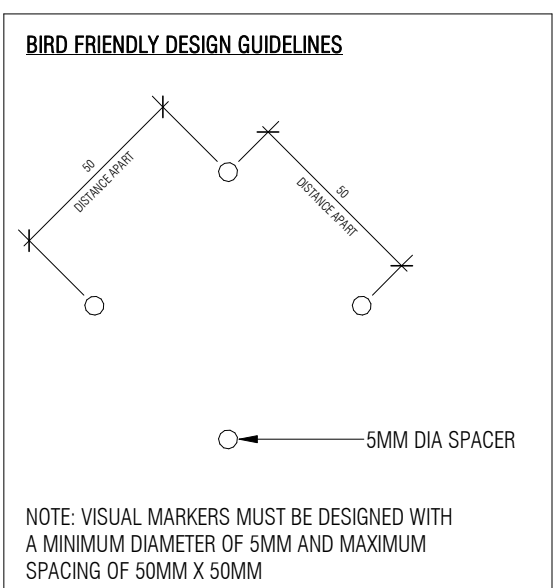
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2  
AT - PARKWAY HOUSE EAST SOUTH ELEVATION  
A312-A1 1:100



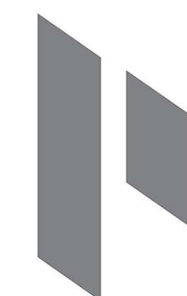
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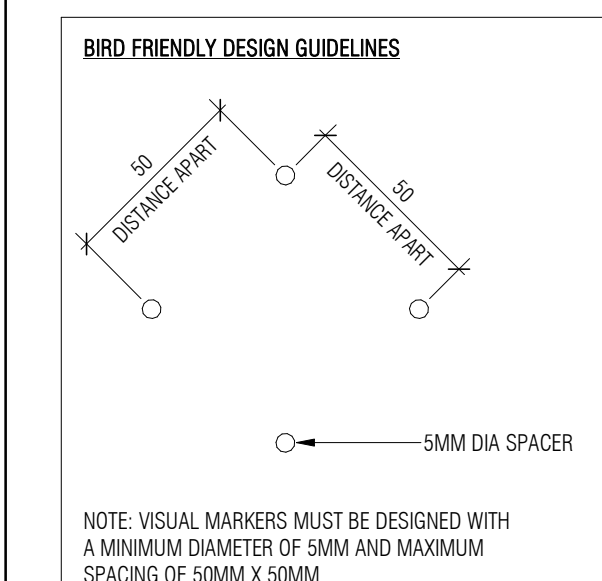
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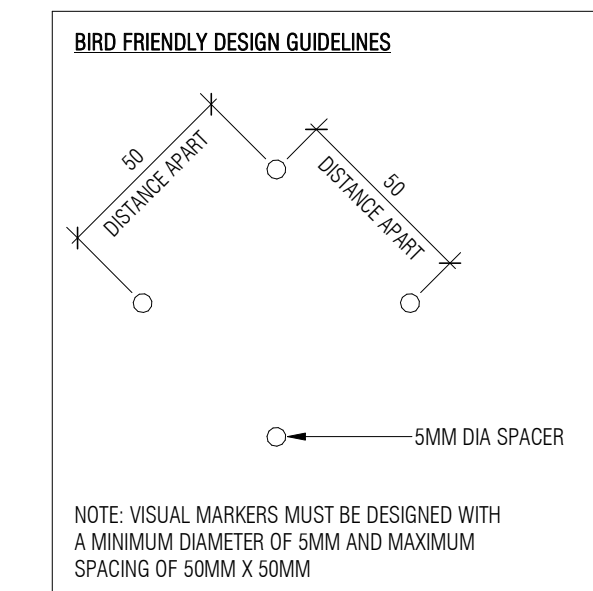
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