

Proposed Construction Area

BUILDING A:
EXISTING HOME
HARDWARE BUILDING
CENTRE

BUILDING B:
9 STOREY APARTMENT
BUILDING WITH COMMERCIAL
GROUND FLOOR
1900 sqm BUILDING FOOTPRINT,
15080 sqm GFA
100.34 PPS

BUILDING C:
FUTURE COMMERCIAL
NOT PART OF SCOPE

BUILDING D:
FUTURE COMMERCIAL
NOT PART OF SCOPE

Parking for Existing Building A
148 RETAIL PARKING SPACES

Parking for Future Building C
33 RETAIL PARKING SPACES

Parking for Future Building D
12 RETAIL OFFICE PARKING SPACES

Other Features:
- SNOW STORAGE
- 42'11" REAR YARD SETBACK
- 14 RESIDENTIAL PARKING SPACES
- 13 RESIDENTIAL PARKING SPACES
- COVERED PARKING
- 3 RETAIL PARKING SPACES
- 10 RETAIL/VISITOR PARKING SPACES
- 13 RETAIL/VISITOR PARKING SPACES
- CURB RAMP COMPLETE WITH TACTILE WARNING STRIP TYP
- 12 RETAIL/VISITOR PARKING SPACES
- 11 RETAIL/VISITOR PARKING SPACES
- ORDER BOARD
- LOADING 3.5 x 8.0m
- ENCLOSED 2m HIGH OPAQUE FENCE
- RAMP
- CORNER YARD SETBACK
- PEDESTRIAN PLAZA
- EXTERIOR SERVICE RACK TYP
- INTERNATIONAL SYMBOL OF ACCESS
- FLUSH CURB ON TACTILE P TILES ALONG FULL 7'w LENGTH OF PASSENGER LOADING ZONE
- 5,453 sqm Retail (1878 sqm)
- FIRE ACCESS ROUTE
- BANK ST
- DUN SKIPPER DR

Application Submission Section 2

1. Will construction require the temporary detour of a bus route?
 - The proposed construction at the corner of Bank Street and Dun Skipper Drive will not require a detour of a bus route. At this time, a bus stop is situated on the opposite side of Bank Street – the East side – and while bus service is available along Bank Street, this proposed development will not impact its route.
2. Will this work block a bike lane?
 - The proposed construction is not anticipated to block a bike lane. The subject property was previously site plan approved in 2021 to re-construct the Home Hardware that exists on site today. Under this previous Site Plan Control Application, the applicant worked with the City to ensure a larger Right Of Way was protected along Bank Street and the City has subsequently begun to install bicycle infrastructure at the corner of Bank Street and Dun Skipper Road. This bike lane will not be blocked as part of the proposed construction.
3. Will this work block a sidewalk?
 - It is possible, through the required site servicing works, that the sidewalk along Dun Skipper Road will need to be blocked for a period to connect to existing services. The Site Servicing Plan, shown below details this.
4. Will this work require a lane of traffic to be closed?
 - It is possible, through the required site servicing works, that a portion of Dun Skipper Road will need to be blocked for a period to connect to existing services. The Site Servicing Plan, shown below details this.

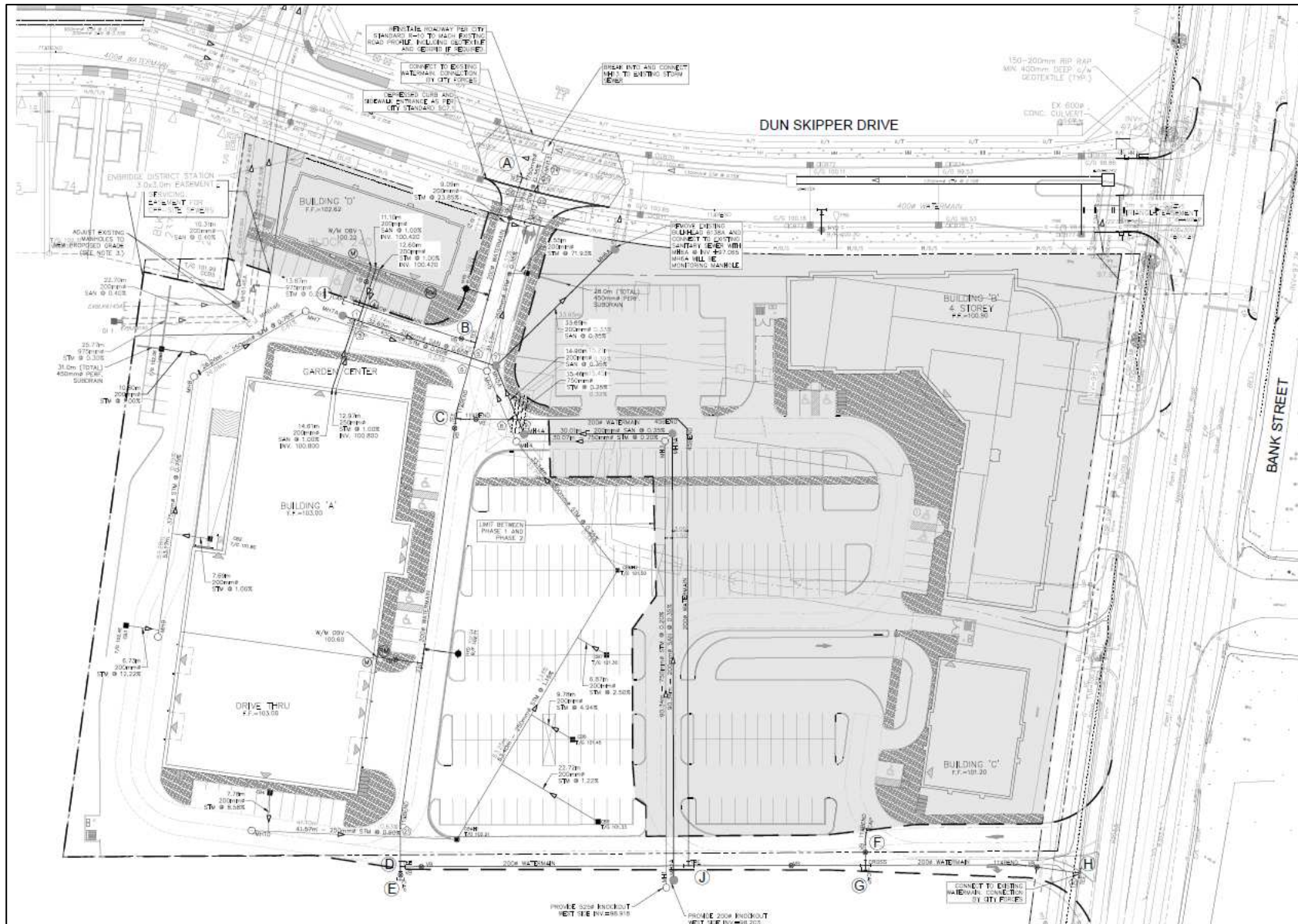
We are happy to work with the City to ensure little disruption to pedestrians and traffic.

Thank you,

Alison Clarke



Site Servicing Plan



Site Servicing Plan – Highlighting the area where connections need to be made to existing

