



STAMP

10	2005-02-24	ISSUED FOR SPC RESUBMIT 2
9	2005-02-19	ISSUED FOR BUILDING PERMIT
8	2005-02-08	ISSUED FOR 66%
7	2005-02-07	ISSUED FOR SPC RESUBMIT
6	2004-12-20	ISSUED FOR 33% REVIEW
5	2004-12-10	ISSUED FOR SPC
4	2004-11-10	ISSUED FOR SPC COORDINATION
3	2004-11-01	ISSUED FOR SPC REVIEW
2	2004-07-30	ISSUED FOR CLIENT COORDINATION

REV DATE ISSUE

NOTES

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
2. THE DRAWINGS, PRESENTATIONS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF CSV ARCHITECTS. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR ON EXTENSIONS TO THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

GASTOPS

OTTAWA
ONTARIO, CANADA

PROJECT

GASTOPS NEW FACILITY

3700 Twin Falls Place

TITLE

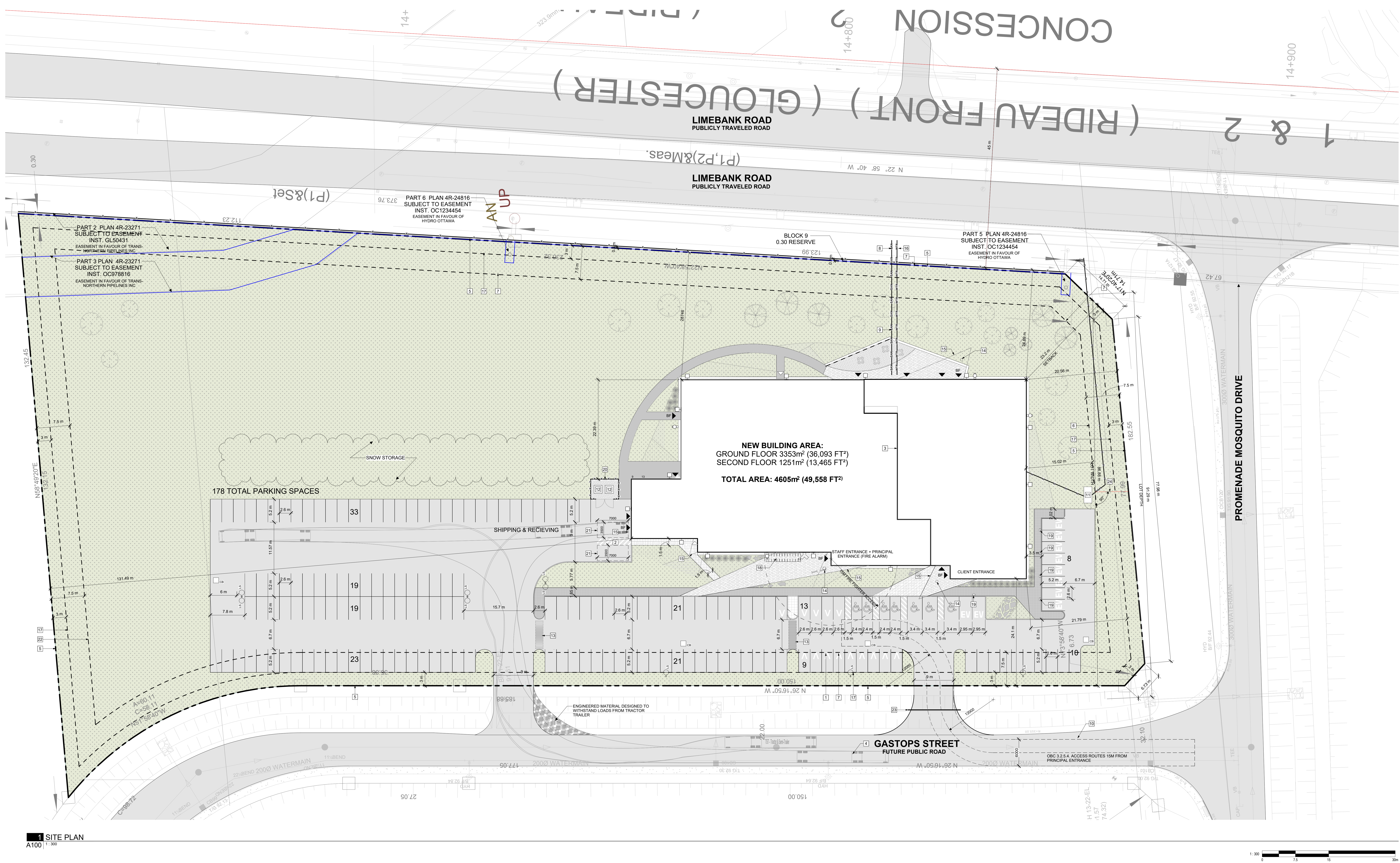
SITE PLAN

PROJECT NO: 2023-2260
DRAWN: KJR, RR
APPROVED: DH
SCALE: As indicated
DATE PRINTED: 2/24/2025 11:09:51 AM

REV DRAWING NO

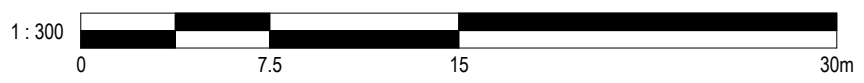
10 A100

#19228



1 SITE PLAN

A100 1:300



SITE PLAN LEGEND:

	EXISTING BUILDING & SITE ELEMENTS		ENTRANCE/ BARRIER-FREE ENTRANCE		FIRE HYDRANT
	DEMOLISHED BUILDING & SITE ELEMENTS		MAIN ENTRANCE		MAINTENANCE HOLE
	ASPHALT PAVING		VEHICLE ACCESS		UTILITY POLE
	GRASS		PROPERTY LINE		SIAMESI CONNECTION
	STONE DUST/ SAND		FENCE PER SURVEY		DROPPED CURB
	PAVER TYPE 1		DOMESTIC WATER PER CIVIL		TREE
	PAVER TYPE 2		SANITARY PER CIVIL		SHRUB
	PAVER TYPE 3		NEW STORM PER CIVIL		EXTERIOR WALL SCONCES PER LIGHTING PACKAGE
			NEW ELECTRICAL SERVICE (BELOW GRADE) PER CIVIL		HOSE BIB
			GAS PER CIVIL		
			OVERHEAD WIRE		
			SUBJECT TO EASEMENT		
			CATCH BASIN, REFER TO CIVIL		
			LIGHT STANDARD		

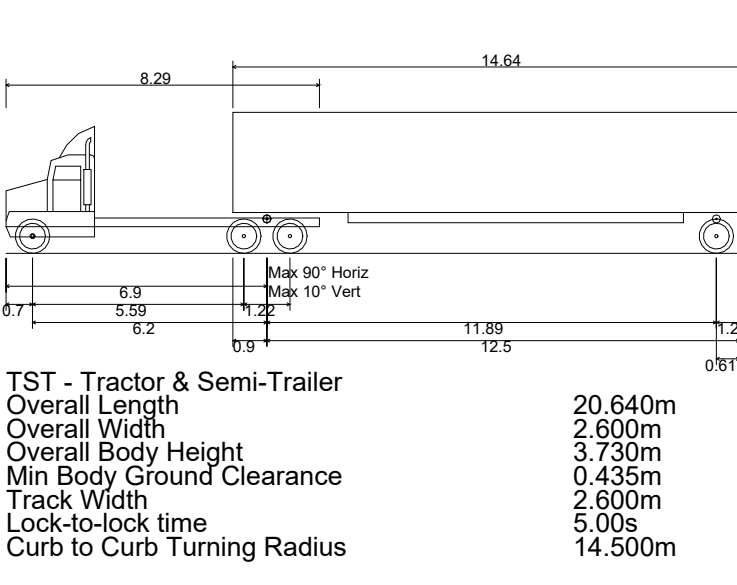
SITE PLAN KEYNOTES:

1. LINE OF SETBACK
2. DROP OFF / LOADING BAY
3. OUTLINE OF SECOND STOREY
4. TRUCK TURNING RADIUS
5. LINE OF PROPERTY
6. FRONT YARD SETBACK
7. CORNER YARD SETBACK
8. EXISTING SANITARY CONNECTION
9. NEW SANITARY CONNECTION
10. FIRE TRUCK ROUTE
11. TRANSFORMER
12. GARBAGE
13. PEDESTRIAN WALKWAY
14. CANOPY COLUMN
15. CANOPY
16. DOMESTIC WATER
17. 3m LANDSCAPE BUFFER
18. BIKE PARKING

SITE PLAN GENERAL NOTES:

1. ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
2. DO NOT SCALE THIS DRAWING
3. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE CONSULTANT
5. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
6. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY LANDSCAPE EXCAVATION
7. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
8. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

CIRCULATION SWEEP PATH DESIGN VEHICLE



LEGAL DESCRIPTION:

BLOCK 2, PLAN 4M-1746

REFERENCE SURVEY:

BASED ON SURVEY INFORMATION FROM REGISTERED PLAN 4M - 1746 PREPARED BY SURVEYED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

MUNICIPAL ADDRESS:

NOT YET ESTABLISHED

DEVELOPMENT INFORMATION:

SITE AREA: 24,708m²

BUILDING AREA: 3353 m²

LIGHT INDUSTRIAL: 1995M²

OFFICE: 2610M²

GROSS FLOOR AREA: 4605m²

ZONE: IL

SCHEDULE 1: AREA [C]

SCHEDULE 1A: AREA [C]

ZONING PROVISION:

MIN. LOT WIDTH:

MIN. LOT AREA:

MAX. LOT COVERAGE:

MIN. FRONT YARD SETBACK:

MIN. CORNER YARD SETBACK: EAST

MIN. CORNER YARD SETBACK: WEST

MIN. REAR YARD SETBACK:

MIN. INTERIOR YARD SETBACK:

MAXIMUM FLOOR SPACE INDEX:

MAXIMUM BUILDING HEIGHT:

MINIMUM LANDSCAPE AREA:

MINIMUM LANDSCAPE BUFFER:

REQUIRED:

NO MINIMUM

2000 m²

65%

7.5 m

7.5 m

7.5 m

7.5 m

2

18 m

NO MINIMUM

3m

PROVIDED:

86.88m

24708m²

13.6%

20.56m

23.20m

24.01m

131.49m

N/A

0.186

8.44m

15530m²

>3m

PARKING QUEUING + LOADING

TOTAL SPACES:

TYPICAL SPACES:

ACCESSIBLE PARKING:

BICYCLE PARKING:

LOADING SPACES:

REQUIRED:

16 FOR LIGHT INDUSTRIAL

63 FOR OFFICES

TOTAL = 79

77

(3) TYPE A (4) TYPE B

13

2

PROVIDED:

178

174

(3) TYPE A (4) TYPE B

13

2

REFUSE COLLECTION	REQUIRED:	PROVIDED:
MIN SETBACK FROM LOT LINE (ABUTTING STREET)	9M	>9M
MIN SETBACK FROM LOT LINE (ABUTTING STREET)	3M	>3M
MINIMUM SCREENING REQUIREMENTS	OPAQUE SCREEN WITH MINIMUM HEIGHT OF 2M	WOOD PRIVACY FENCE, 2M

