

## STAMP

13 2025-05-21 ISSUED FOR SPC RESUBMIT FINAL  
11 2025-04-14 ISSUED FOR SPC RESUBMIT 3  
10 2025-02-26 ISSUED FOR SPC RESUBMIT 2  
5 2024-12-18 ISSUED FOR SPC  
4 2024-11-18 ISSUED FOR SPC COORDINATION  
3 2024-11-01 ISSUED FOR SPC REVIEW  
2 2024-07-30 ISSUED FOR CLIENT COORDINATION

REV DATE ISSUE

NOTES  
1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.  
2. THE DRAWINGS, PRESENTATIONS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF CSV ARCHITECTS. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR ON EXTENSIONS TO THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.  
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.  
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.  
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

## GASTOPS

OTTAWA  
ONTARIO, CANADA

## PROJECT

## GASTOPS NEW FACILITY

3700 Twin Falls Place

## TITLE

## SITE PLAN

PROJECT NO: 2023-2260  
DRAWN: KM, RR  
APPROVED: DH  
SCALE: As indicated  
DATE PRINTED: 5/21/2025 2:19:34 PM

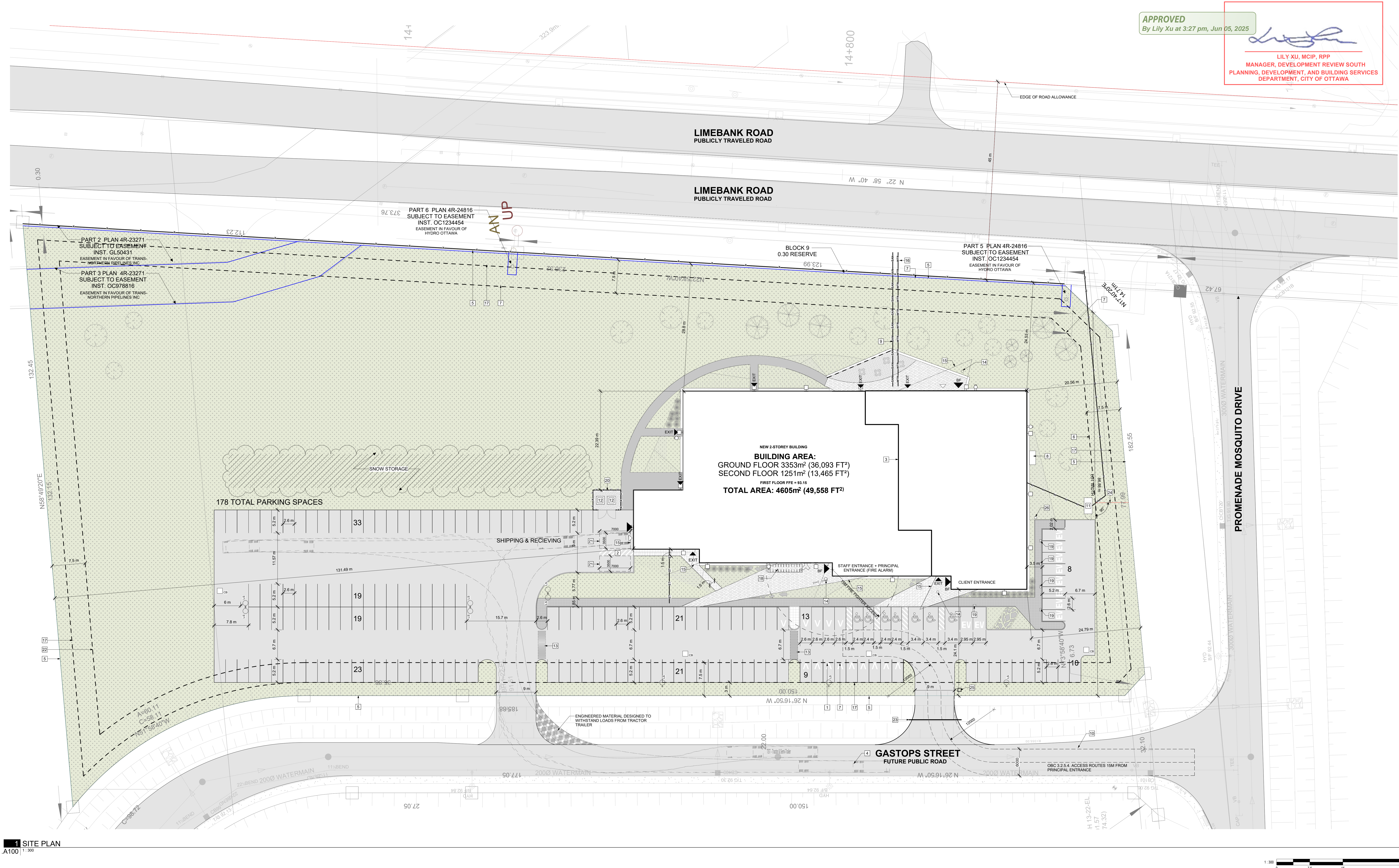
REV

13

DRAWING NO.

A100

#19226

APPROVED  
By Lily Xu at 3:27 pm, Jun 05, 2025LILY XU, MCIP, RPP  
MANAGER, DEVELOPMENT REVIEW SOUTH  
PLANNING, DEVELOPMENT, AND BUILDING SERVICES  
DEPARTMENT, CITY OF OTTAWA

## 1 SITE PLAN

A100 1:300

## SITE PLAN LEGEND:

	EXISTING BUILDING & SITE ELEMENTS		EXIT		FIRE HYDRANT
	DEMOLISHED BUILDING & SITE ELEMENTS		ENTRANCE/ BARRIER-FREE ENTRANCE		MAINTENANCE HOLE
	ASPHALT PAVING		OVERHEAD GARAGE DOOR		UTILITY POLE
	SOFT LANDSCAPED AREA PER CIVIL/LANDSCAPING DRAWINGS		PROPERTY LINE		SIAMESE CONNECTION
	STONE DUST/ SAND		FENCE PER SURVEY		DROPPED CURB
	PAVER TYPE 1		DOMESTIC WATER PER CIVIL		TREE
	PAVER TYPE 2		SANITARY PER CIVIL		SHRUB
	PAVER TYPE 3		NEW STORM PER CIVIL		EXTERIOR WALL SCONCES PER LIGHTING PACKAGE
			NEW ELECTRICAL SERVICE (BELOW GRADE) PER CIVIL		HOSE BIB
			GAS PER CIVIL		CATCH BASIN, REFER TO CIVIL
			OVERHEAD WIRE		LIGHT STANDARD
			SUBJECT TO EASEMENT		

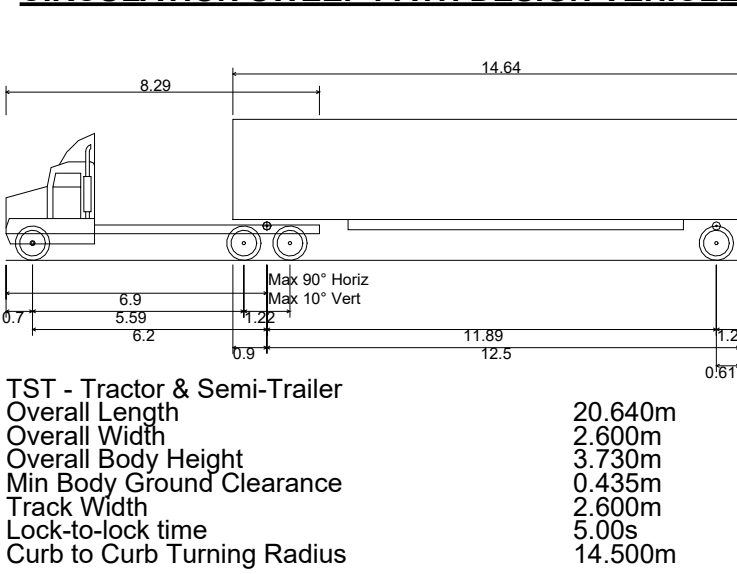
## SITE PLAN KEYNOTES:

- 1 LINE OF SETBACK
  - 2 DROP OFF / LOADING BAY
  - 3 OUTLINE OF SECOND STOREY
  - 4 TRUCK TURNING RADIUS
  - 5 LINE OF PROPERTY
  - 6 FRONT YARD SETBACK
  - 7 CORNER YARD SETBACK
  - 8 NEW GAS METER, REFER TO MECHANICAL DRAWINGS
  - 9 NEW SANITARY CONNECTION, REFER TO MECH AND CIVIL DRAWINGS
  - 10 FIRE TRUCK ROUTE
  - 11 TRANSFORMER, REFER TO ELECTRICAL DRAWINGS
  - 12 GARBAGE
  - 13 PEDESTRIAN WALKWAY
  - 14 CANOPY COLUMN
  - 15 CANOPY
  - 16 DOMESTIC WATER, REFER TO MECH. AND CIVIL DRAWINGS
  - 17 5m LANDSCAPE BUFFER
  - 18 BIKE PARKING
- 19 DOUBLE EV CHARGER (FUTURE), REFER TO ELECTRICAL DRAWINGS
- 20 2m TALL GARBAGE ENCLOSURE FENCE
- 21 3.5m X 7m LOADING SPACE
- 22 REAR YARD SETBACK
- 23 CULVERT, REFER TO MECHANICAL
- 24 CENTER OF LOT DEPTH AT FRONT YARD SETBACK USED TO CALCULATE LOT WIDTH
- 25 SIGNAGE INDICATING "NO TRUCK ACCESS"
- 26 PULL BOX FOR EV CONDUITS, REFER TO ELECTRICAL DRAWINGS

## SITE PLAN GENERAL NOTES:

1. ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
2. DO NOT SCALE THIS DRAWING
3. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE CONSULTANT
5. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
6. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY LANDSCAPE EXCAVATION
7. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
8. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

## CIRCULATION SWEEP PATH DESIGN VEHICLE



## LEGAL DESCRIPTION:

BLOCK 2, PLAN 4M-1746

## REFERENCE SURVEY:

BASED ON SURVEY INFORMATION FROM REGISTERED PLAN 4M-1746 PREPARED BY SURVEYED BY ANNIS, OSULLIVAN, VOLLEBEKK LTD.

## MUNICIPAL ADDRESS:

NOT YET ESTABLISHED

## DEVELOPMENT INFORMATION:

SITE AREA: 24,708m²

BUILDING AREA: 3353 m²

LIGHT INDUSTRIAL OFFICE:

GROSS FLOOR AREA: 4605m²

1995M²

2610M²

ZONE: IL

SCHEDULE 1: AREA [ C ]

SCHEDULE 1A: AREA [ C ]

## ZONING PROVISION:

MIN. LOT WIDTH:

MIN. LOT AREA:

MAX. LOT COVERAGE:

MIN. FRONT YARD SETBACK:

MIN. CORNER YARD SETBACK: EAST

MIN. CORNER YARD SETBACK: WEST

MIN. REAR YARD SETBACK:

MIN. INTERIOR YARD SETBACK:

MAXIMUM FLOOR SPACE INDEX:

MAXIMUM BUILDING HEIGHT:

MINIMUM LANDSCAPE AREA:

MINIMUM LANDSCAPE BUFFER:

## REQUIRED:

NO MINIMUM

2000 m²

65%

7.5 m

7.5 m

7.5 m

7.5 m

7.5 m

2

18 m

NO MINIMUM

3m

## PROVIDED:

86.88m

24708m²

13.6%

20.56m

24.53m

24.10m

131.49m

N/A

0.186

8.44m

15530m²

&gt;3m

## PARKING QUEUING + LOADING

TOTAL SPACES:

TYPICAL SPACES:

ACCESSIBLE PARKING:

BICYCLE PARKING:

LOADING SPACES:

## REQUIRED:

16 FOR LIGHT INDUSTRIAL

63 FOR OFFICES

TOTAL = 79

77

(3) TYPE A (4) TYPE B

13

2

## PROVIDED:

178

174

(3) TYPE A (4) TYPE B

13

2

REFUSE COLLECTION	REQUIRED:	PROVIDED:
MIN SETBACK FROM LOT LINE (ABUTTING STREET)	9M	>9M
MIN SETBACK FROM LOT LINE (ABUTTING STREET)	3M	>3M
MINIMUM SCREENING REQUIREMENTS	OPAQUE SCREEN WITH MINIMUM HEIGHT OF 2M	WOOD PRIVACY FENCE, 2M