

**GENERAL NOTES DISCLAIMER**  
NOTES LISTED IN 'GENERAL NOTES' SCHEDULE. DO NOT APPLY TO ALL PLANS.

Type	DESCRIPTION
Note 1	RETAINING WALL (REFER TO CIVIL)
Note 2	HYDRO TRANSFORMER
Note 3	PAV C PODIUM OUTLINE ABOVE
Note 4	BUILDING OUTLINE ABOVE
Note 5	PARKING LEVEL P1 OUTLINE
Note 6	PARKING LEVEL P2 OUTLINE
Note 7	PARKING LEVEL P3 OUTLINE
Note 8	HYDRO POLE & OVERHEAD LINE
Note 9	HYDRO OTTAWA TOWER ON CONCRETE PAD
Note 10	METAL STAIRS & PATHWAY TOWARDS ADJACENT BLOCK WILL BE PROVIDED AT LATER STAGE IN THE FUTURE.
Note 11	BOLLARD
Note 12	WATER TANK OUTLINE BELOW & ACCESS HATCH W/ LADDER
Note 13	EXTERIOR BIKE RACK (FRONT LOADING) SET BACK 1800 (MIN) FROM PATHWAY (REFER TO ADD FOR BIKE RACK DESIGN)
Note 14	OUTLINE OF POOL
Note 15	MANHOLE / CATCH BASIN (REFER TO CIVIL)
Note 16	TRENCH DRAIN
Note 17	CONCRETE CURB (REFER STRUCT. ENG.)
Note 18	FIRE HYDRANT
Note 19	MECHANICAL SHAFT
Note 20	GARAGE DOOR - DOOR HEIGHT (2.1 MIN REQ)
Note 21	GUARD RAIL, EXTERIOR AT PODIUM PARAPETS & RETAINING WALLS
Note 22	SIAMSESE CONNECTION
Note 23	OIL GRIT SEPARATOR
Note 24	TRANSFER BEAM
Note 25	VEHICLE CIRCULATION ON PODIUM ABOVE
Note 26	DEPRESSED CURB FOR FLOOD PATH (REFER TO CIVIL)
Note 27	GROUND FLOOR BUILDING OUTLINE
Note 28	TACTILE WALKING SURFACE INDICATOR

PARKING LEGEND	
	BARRIER FREE PARKING SPACE 5.2m X 3.4m (min.)
	TYPICAL PARKING SPACE 5.2m X 2.6m (min.)
	SMALL CAR PARKING SPACE 4.6m X 2.4m (min.)
	TYPICAL PARKING FOR VISITORS 5.2m X 2.6m (min.)
	COMMERCIAL TYPICAL PARKING SPACE 5.2m X 2.4m (min.)
	ZONE WITH A CLEAR HEIGHT OF 2300mm min.
	PEDESTRIAN TRAFFIC
	DRIVING AISLE IN GARAGE.
	ZONES WHICH ARE CONSIDERED PART OF THE EXIT AND THUS CANNOT BE PENETRATED BY ANY ELECTRICAL AND MECHANICAL SERVICES NOT SERVING THE EXIT

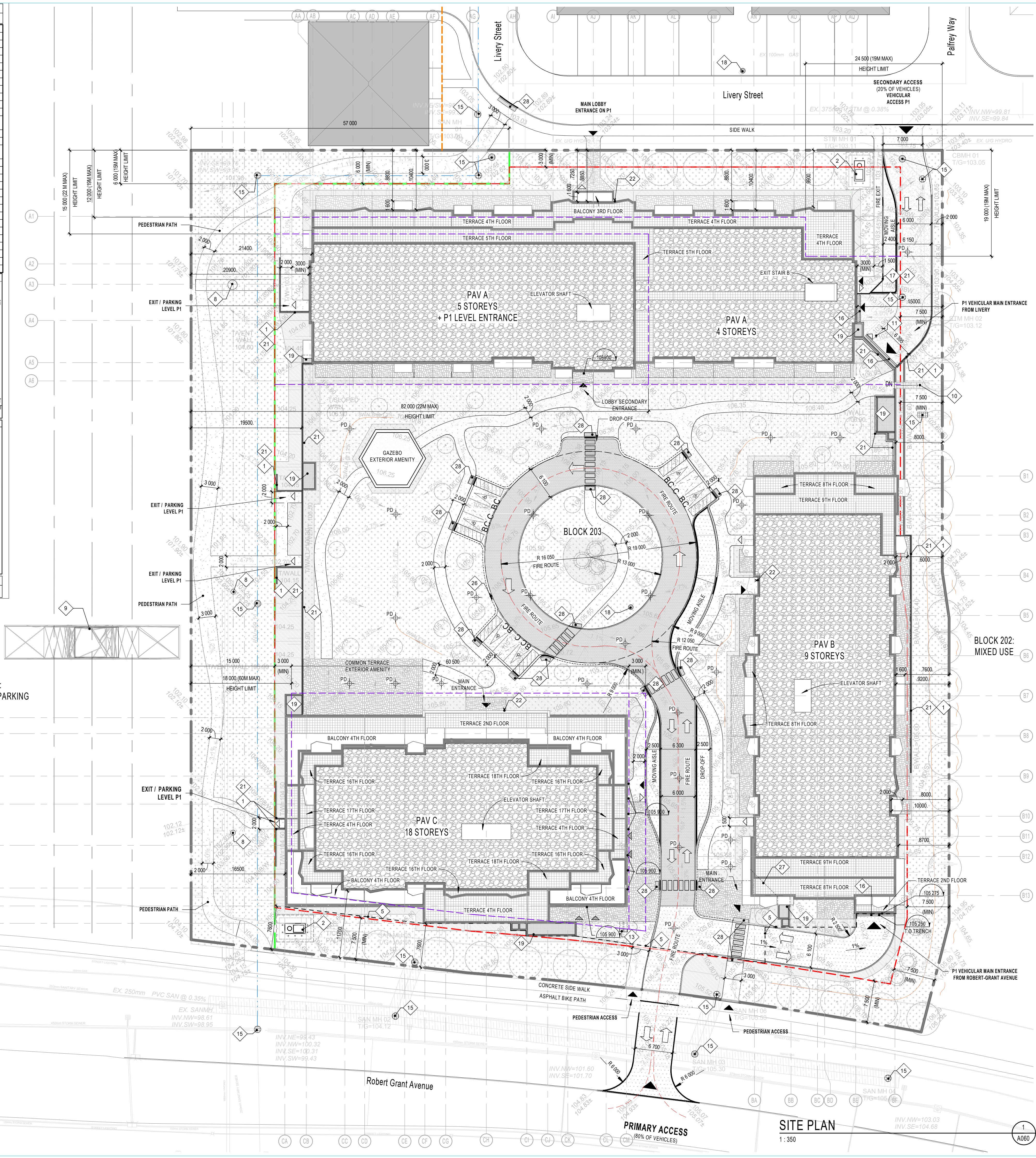
  

**EXTERIOR BIKE RACK**

Overall Length: 6000  
The Space: 0.717 O.D.  
Overall Width: 37.13"

**SNOW STORAGE**

THERE WILL BE NO SNOW STORAGE AT SITE. THE SNOW WILL BE TRUCKED OFFSITE.



**LINE TYPE & ACCESS LEGEND**

	PROPERTY LINE
	SETBACK LINE
	EASEMENT LIMIT
	TRUNK SEWER
	P1 SLOPE SLAB
	MOUNTABLE CURB (REFER TO CIVIL)
	VEHICULAR ENTRY
	ACCESS TO BUILDING
	ACCESS TO COMMERCIAL
	EXITS
	FIRE ROUTE (ON PODIUM)
	NEIGHBOUR 330 PROPERTY LINE ON LIVERY STREET
	SWALE (REFER TO CIVIL)

**SURFACE LEGEND**

	PAVERS STACKED PATTERN (UPPER TERRACE)
	PAVERS MODULAR PATTERN (PODIUM & GRADE)
	CONCRETE FINISH
	LIGHT DUTY ASPHALT PAVEMENT (REFER TO CIVIL)
	HEAVY ASPHALT DUTY PAVEMENT (REFER TO CIVIL)
	WOONEF PAVERS
	STONE BALLAST ON ROOF
	LANDSCAPING
	EXISTING BUILDINGS
	DEPRESSED CURB (REFER TO CIVIL)
	BARRIER FREE UNLOADING

**GROSS FLOOR AREA (GFA) AS PER CITY OF OTTAWA DEFINITION**

GROSS FLOOR AREA (RESIDENTIAL)	45027 m <sup>2</sup>
GROSS FLOOR AREA (COMMERCIAL)	203 m <sup>2</sup>
TOTAL GROSS FLOOR AREA (RESIDENTIAL & COMMERCIAL)	45230 m <sup>2</sup>

**5000 ROBERT GRANT - SITE STATISTICS**

LOT AREA (BLOCK 203)	20174 m <sup>2</sup>
FOOTPRINT PAV A	2709 m <sup>2</sup>
FOOTPRINT PAV B	1982 m <sup>2</sup>
FOOTPRINT PAV C	2191 m <sup>2</sup>
GROSS BUILDING AREA ABOVE GRADE PAV A	13587 m <sup>2</sup>
GROSS BUILDING AREA ABOVE GRADE PAV B	17449 m <sup>2</sup>
GROSS BUILDING AREA ABOVE GRADE PAV C	26784 m <sup>2</sup>
CONSTRUCTION AREA UNDERGROUND (PARKADE LEVEL P1, P2 & P3)	29501 m <sup>2</sup>
GROSS FLOOR AREA PAV A, B & C (ABOVE + BELOW GRADE)	86991 m <sup>2</sup>

**LEGAL DESCRIPTION OF PROPERTY**  
BLOCK 203 (PIN 04450-2006)  
PROPERTY DERIVED FROM REGISTERED PLAN 4M-1503 ANNIS, O'SULLIVAN, VOLLEBECK LTD.

**5000 ROBERT GRANT - NUMBER OF UNITS**

LEVEL	PAV A	PAV B	PAV C
P1 FLOOR UNITS AT STREET LEVEL	10 UNITS	0	0
1ST FLOOR UNITS AT STREET LEVEL	24 UNITS	16 UNITS	0
2nd FLOOR UNITS ON A LEVEL	26 UNITS	20 UNITS	10 UNITS
3RD FLOOR UNITS ON A LEVEL	26 UNITS	19 UNITS	10 UNITS
4TH FLOOR UNITS ON A LEVEL	25 UNITS	19 UNITS	13 UNITS
5TH FLOOR UNITS ON A LEVEL	11 UNITS	19 UNITS	14 UNITS
6TH FLOOR UNITS ON A LEVEL	0	19 UNITS	14 UNITS
7TH FLOOR UNITS ON A LEVEL	0	19 UNITS	14 UNITS
8TH FLOOR UNITS ON A LEVEL	0	17 UNITS	14 UNITS
9TH FLOOR UNITS ON A LEVEL	0	15 UNITS	14 UNITS
10TH TO 16TH FLOOR UNITS ON A LEVEL	0	0	98 UNITS
17TH FLOOR UNITS ON A LEVEL	0	0	10 UNITS
18TH FLOOR UNITS ON A LEVEL	0	0	8 UNITS
TOTAL (EACH PAV)	122 UNITS	163 UNITS	219 UNITS
TOTAL (PAV A,B & C)	504 UNITS		

**ZONE PROVISIONS BLOCK 203 - 5000 ROBERT GRANT**

ZONING BY-LAW 2008 250  
CURRENT ZONING: AM(2152) F(3.5) S437 & S437-h

PERMITTED USES	REQUIRED	PROVIDED
AM(2152 F(3.5) S437	RESIDENTIAL	RESIDENTIAL
AM(2152 F(3.5) S437-h	MIXED USE	MIXED USE
FRONT & CORNER YARD SETBACK	AREA E - MIN. 3M	MIN. 3M
INTERIOR SIDE YARD SETBACK	AREA B - MIN. 7.5M AREA C - MIN. 15M AREA D - MIN. 15M	MIN. 7.5M MIN. 15M MIN. 15M
REAR YARD SETBACK	AREA E - MIN. 7.5M	AREA E - MIN. 7.5M
BUILDING HEIGHT PAV A (AS PER SCHEDULE 437)	AREA A - 4 STOREYS 15M(MAX) AREA B - 5 STOREYS 19M(MAX) AREA C - 6 STOREYS 22M(MAX)	
BUILDING HEIGHT PAV B (AS PER SCHEDULE 437)	AREA E - 9 STOREYS (MAX) 30M(MAX)	9 STOREYS 30M(MAX)
BUILDING HEIGHT PAV C (AS PER SCHEDULE 437)	AREA D - 18 STOREYS 60M(MAX) AREA A - 4 STOREYS 15M(MAX)	18 STOREYS 60M(MAX) 4 STOREYS 12M(MAX)
LANDSCAPE AREA		10,375 m <sup>2</sup>
PRIVATE AMENITY SPACE	6.0m <sup>2</sup> PER DWELLING UNIT (3024 m <sup>2</sup> )	4848 m <sup>2</sup>
COMMUNAL AMENITY AREA	MINIMUM OF 50% OF REQUIRED TOTAL PRIVATE AMENITY AREA (1512 m <sup>2</sup> min.)	1625 m <sup>2</sup>
BICYCLE PARKING (RESIDENTIAL)	0.5 / UNIT = 252	252
BICYCLE PARKING (COMMERCIAL)	1 / 250M <sup>2</sup> = 1	2

**NUMBER OF PARKING SPACES**

	REQUIRED	PROVIDED
PARKING (RESIDENTIAL) PAV A & B (PHASE 1)	1.2 SPACES / UNIT (285 UNIT X 1.2)	342
PARKING (MIXED USE) PAV C (PHASE 2)	1.0 SPACES / UNIT (219 UNIT X 1.0)	219
TOTAL (TOTAL - 207*)		642 SPACES
PARKING (VISITOR) - PAV A & B (PHASE 1) - PAV C (PHASE 2)	0.2 SPACES / UNIT (504 UNIT X 0.2)	101
TOTAL:		101
PARKING (SURFACE)	16 SPACES (MAX) 3.4 / 100 M <sup>2</sup> GROSS FLOOR AREA	8*
COMMERCIAL	TOTAL (TOTAL - 10)*	7
BARRIER FREE PARKING	TYPE A = 7** TYPE B = 1**	15** TYPE A = 7 TYPE B = 14
TOTAL PARKING REQUIRED FOR PAV A, B & C		649
SPACES PROVIDED		651 SPACES

\* UNDERGROUND PARKING WHERE ALL EXCEPT 15% REQUIRED AND PROVIDED PARKING SPACES ARE LOCATED BELOW GRADE IN THE SAME BUILDING AS THE LAND USE. PARKING RATES CAN BE REDUCED BY THE LESSER OF 10% OR 20 SPACES.  
\*\* BARRIER FREE PARKING: COUNT OF PARKING REQUIRED AS PER ADDA GUIDELINES. HAS BEEN INCLUDED IN THE REQUIRED TOTAL.

**NOTES GÉNÉRALES - General Notes**

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COMPANY NAME  
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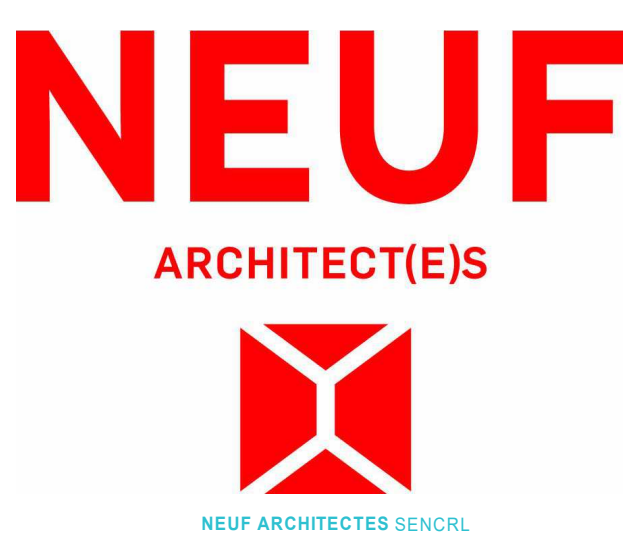
**RENÉS COURT**  
EMPLACEMENT Location NO PROJET No.  
**5000 Robert Grant** **11186**  
**Avenue**  
**OTTAWA**

DATE d'ouverture du projet / project start date (aa.mm.jj)  
17.10.20 (aa.mm.jj)

NO RELEASE DATE (aa.mm.jj)  
1.A. ISSUED FOR PHASE 1 PRE-CONSULTATION 2023-08-09  
1.B. ISSUED FOR PHASE 3 PRE-CONSULTATION 2023-10-27

DESSIN PAR Drawn by VERIFIÉ PAR Checked  
**A.W** **K.P.**  
DATE (aa.mm.jj) ECHELLE Scale  
24/06/12 As indicated  
TITRE DU DESSIN Drawing Title  
**SITE PLAN**

PREVIOUS REVISION: 1.2  
CURRENT REVISION: 1.3  
REVISION Revision NO. DESSIN Dwg Number



DESSIN PAR Drawn by VERIFIÉ PAR Checked  
**A.W** **K.P.**  
DATE (aa.mm.jj) ECHELLE Scale  
24/06/12 As indicated  
TITRE DU DESSIN Drawing Title  
**SITE PLAN**

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