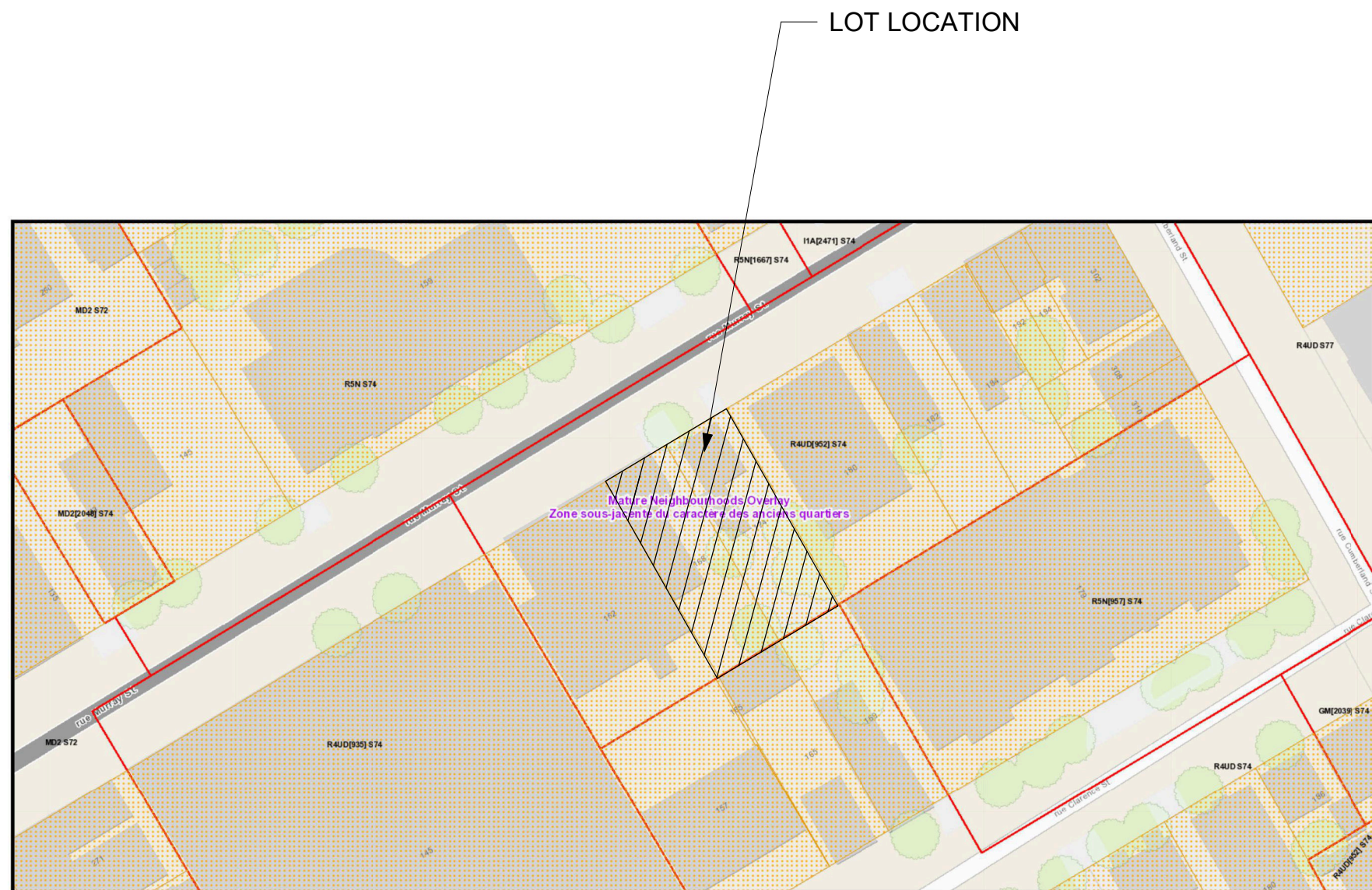
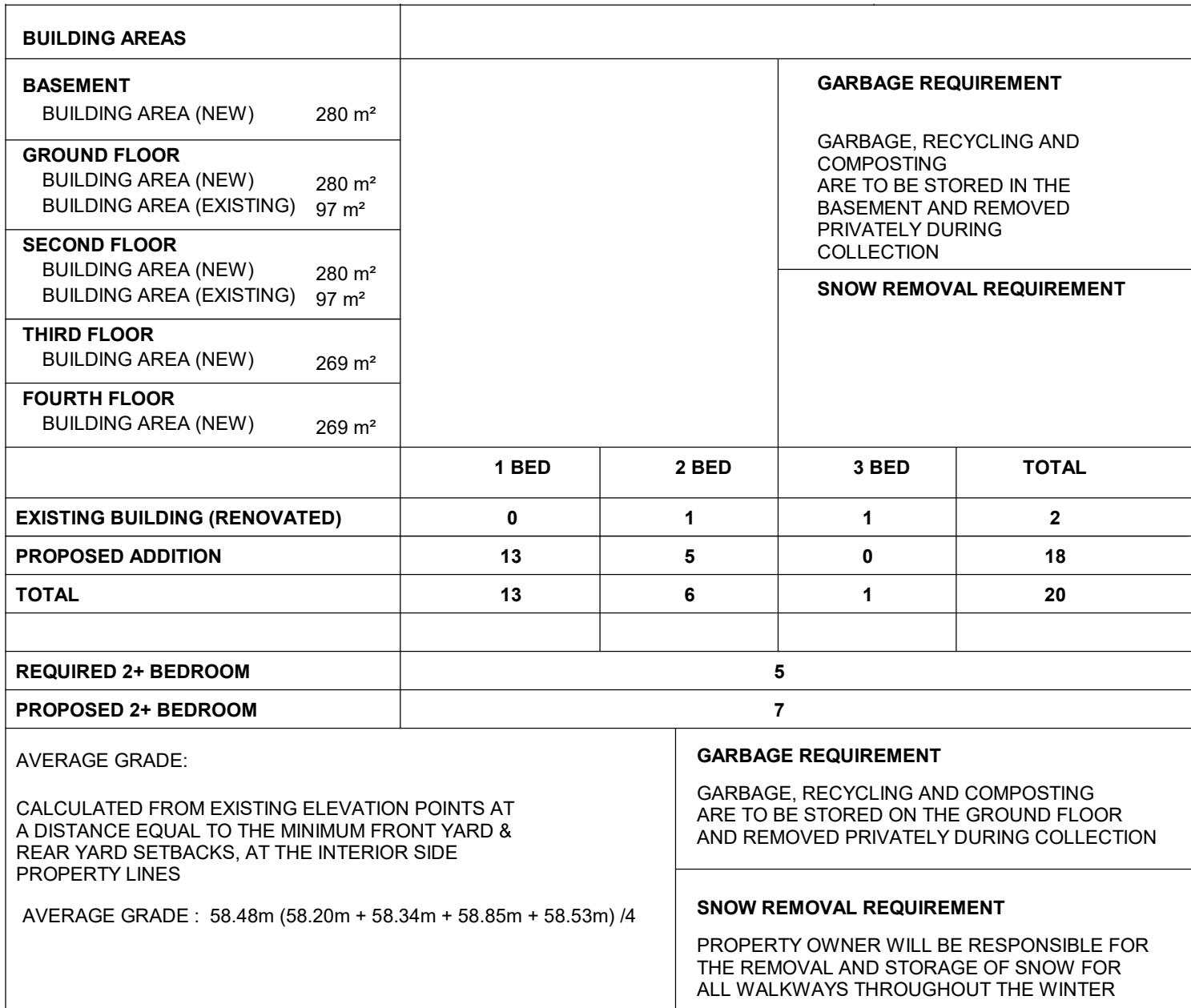




Vehicle and Bicycle Parking Requirements (Area X, Schedule 1A)			
<b>Required Parking Spaces</b> (Section 101, 103)	Section 101 (4): where a residential use is located within a building of four or fewer storeys, no offstreet vehicle parking is required to be provided	0 spaces	Yes
<b>Visitor Parking Spaces</b> (Section 102)	20 - 12 x 0.1 = 1 space required	0 spaces	No
<b>Bicycle Parking Rates</b> (Section 111)	0.5 / dwelling unit 20 x 0.5 = 10 spaces required	22 spaces total (stacked)	Yes
<b>Bicycle Parking Space Dimensions</b> (Section 111)	Horizontal: 0.6 m x 1.8 m Stacked: 0.37 m x 1.8 m	Stacked: 0.37 m x 1.8 m	Yes
<b>Bicycle Parking Aisle Dimension</b> (Section 111)	Minimum width: 1.5 m	1.5 m	Yes

Other Applicable Zoning Provisions			
<b>Front Yard Softscaping</b> <small>(Table 161)</small>	No minimum, but all lands within the front yard that are not used by permitted projections, driveways and walkways, must consist of soft landscaped area	All lands within the front yard that are not used by permitted projections and walkways consist of soft landscaping	Yes
<b>Rear Yard Softscaping</b> <small>(Section 139)</small>	15%	75.7%	Yes
<b>Front Facade Fenestration</b> <small>(Section 161)</small>	Must comprise of at least 25% windows  Recessed front facade where no balconies or porches are provided - At least 20% of the front facade must be recessed an additional 0.6m from the front setback line	N/A as subject lands are within a district designated under Part V of the Ontario <i>Heritage Act</i>	N/A





**RESPONSIBILITIES:**

DO NOT SCALE DRAWINGS

ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012

ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT

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GENERAL NOTES:



168-174 MURRAY ST.  
- STOREY ADDITION TO EXISTING  
TWO STOREY BUILDINGS

**OWNER/DEVELOPER:**  
DAVID YOYO

**ARCHITECT:**  
RELIGINE ARCHITECTURE INC.

**APPLICANT:**  
FOTERN PLANNING + DESIGN  
1050 W. SIMPSON  
420 O'CONNOR STREET  
OTTAWA, ON K2P 1W4

**CIVIL ENGINEER:**  
T. L. MAK ENGINEERING CONSULTANTS LTD.  
1000 DUNDAS ST. W. TORONTO, ONTARIO, ON M6J 1K5

**GEOTECHNICAL INVESTIGATION:**  
PATERSON GROUP  
9 AUBURN RD., OTTAWA  
ON K2E 7T9

**LANDSCAPING:**  
JAMES B. LENNOX & ASSOCIATES INC.  
3291 KENNEDY RD. OTTAWA ON K2M 5A8  
CANADA

**TCR:**  
DECONFOR FORESTRY SERVICES

**SURVEYOR:**  
ADY LTD.  
166 COMMONWEALTH GATE, SUITE 500  
OTTAWA, ON K2E-7S6

**HERITAGE PLANNING:**  
HERITAGE PLANNING & RECOVERY RESOURCE  
MANAGEMENT LTD.  
53 HERBERT ST. SUITE 201  
PERTH, ON K7H 1R5

**CONSULTANTS:**

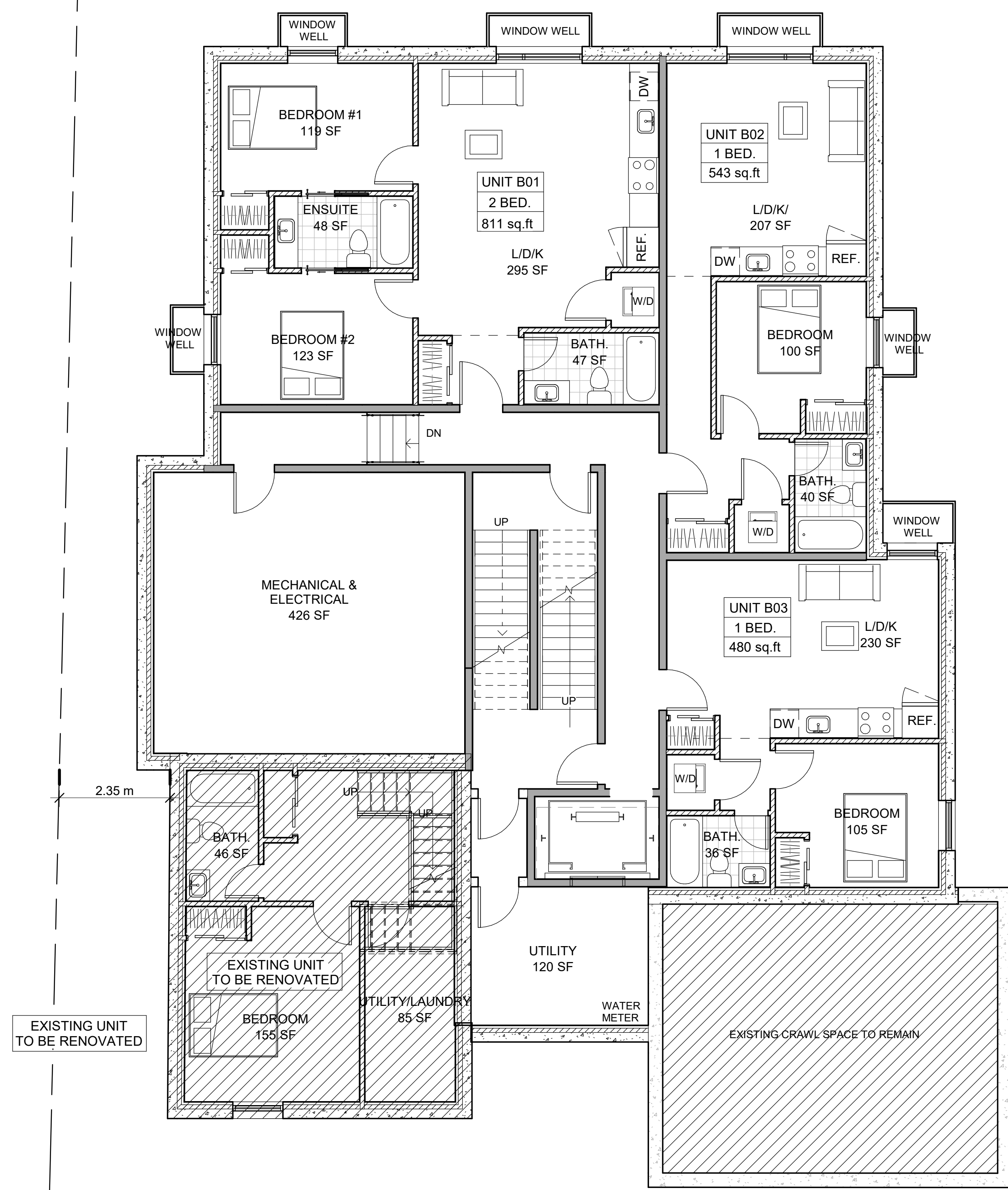
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ELECTRICAL - TBD  
PLUMBING - TBD  
HVAC - TBD  
PAINTING - TBD  
LANDSCAPING - TBD  
CIVIL - TBD  
ARCHITECTURE - TBD  
INTERIOR DESIGN - TBD  
LIGHTING - TBD  
FURNITURE - TBD  
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Nº	REVISION/ISSUE	DATE

PROJECT:  
168-174 MURRAY ST.  
4 STOREY ADDITION TO EXISTING  
TWO STOREY BUILDINGS  
168-174 MURRAY ST.  
OTTAWA, ON K1N 5M8

FLOOR PLANS

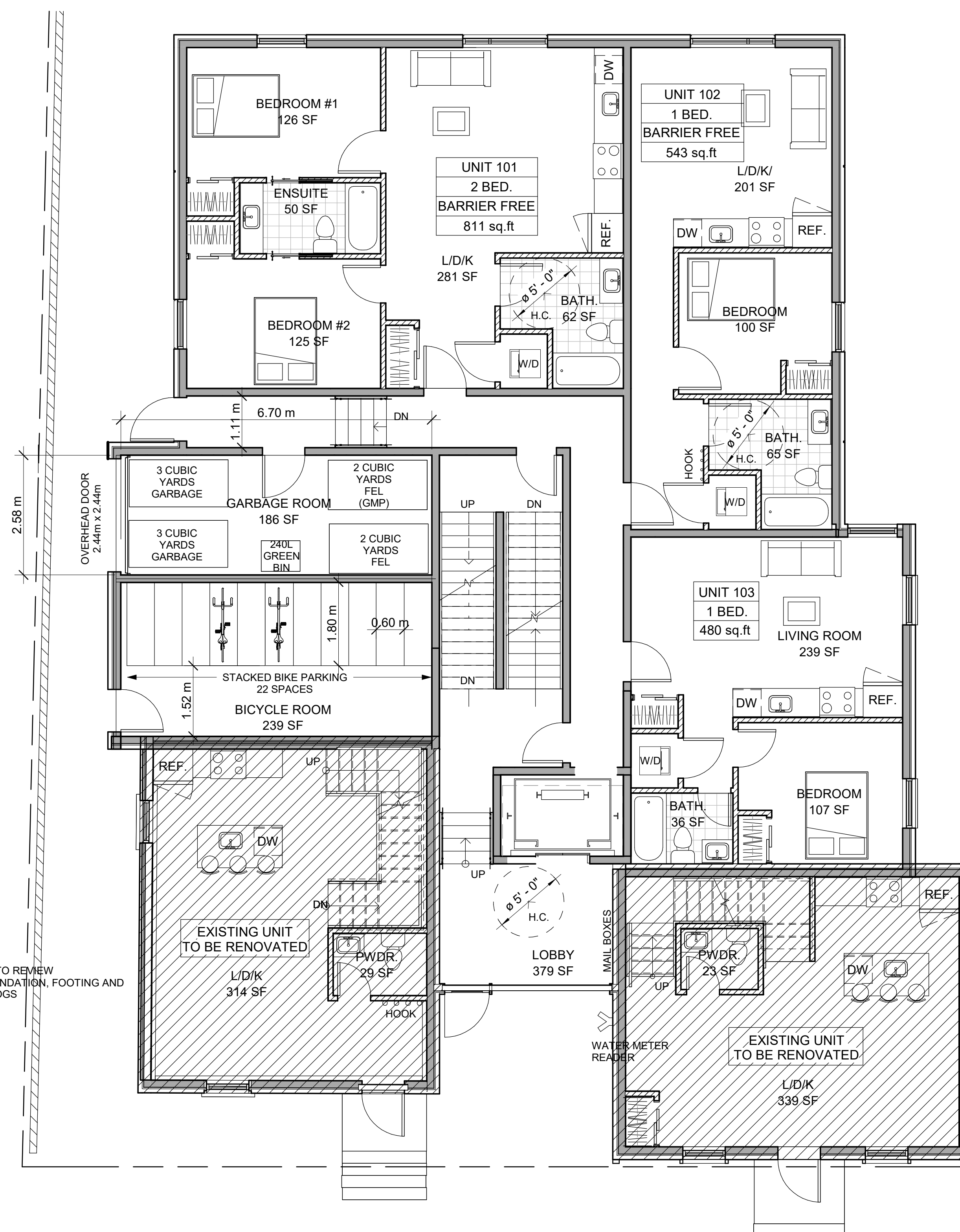
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DATE:	MAY 11, 2021	
SCALE:	AS NOTED	



STRUCTURAL ENGINEER TO REVIEW  
EXISTING BUILDING'S FOUNDATION, FOOTING AND  
THE CONDITON OF THE LOGS

 EXISTING BUILDING TO REMAIN

2 BASEMENT  
3/16" = 1'-0"



1 GROUND FLOOR  
3/16" = 1'-0"

**168-174 MURRAY ST.**  
**4 STOREY ADDITION TO EXISTING**  
**TWO STOREY BUILDINGS**

**OWNER/DEVELOPER:**  
DAVID YOO  
**ARCHITECT:**  
REDLINE ARCHITECTURE INC.  
**APPLICANT:**  
FOTENY PLANNING + DESIGN  
JILLIAN SIMPSON  
420 O'CONNOR STREET  
OTTAWA, ON K2P 1W4  
**CIVIL ENGINEER:**  
T.L. MAK ENGINEERING CONSULTANTS LTD.  
1465 YONGE ST., 2ND FLOOR, TORONTO, ON M4T 1G7  
**GEOTECHNICAL INVESTIGATION:**  
PATERSON GROUP  
9 AUBURN AVE., OTTAWA  
ON K2E 7T9  
**LANDSCAPING:**  
JAMES B. LINDOX & ASSOCIATES INC.  
2532 CARLING AVE. OTTAWA ON K2H 5A8  
CANADA  
**TCR:**  
DENDRON FORESTRY SERVICES  
**SURVEYOR:**  
ADVI LTD.  
14 CONDOURSE GATE, SUITE 500  
OTTAWA, ON K2E 1S6  
**HERITAGE PLANNING:**  
COMMONWEALTH HISTORIC RESOURCE  
MANAGEMENT LTD.  
53 HERIOTT ST. SUITE 201,  
PERTH, ON K7H 1R5

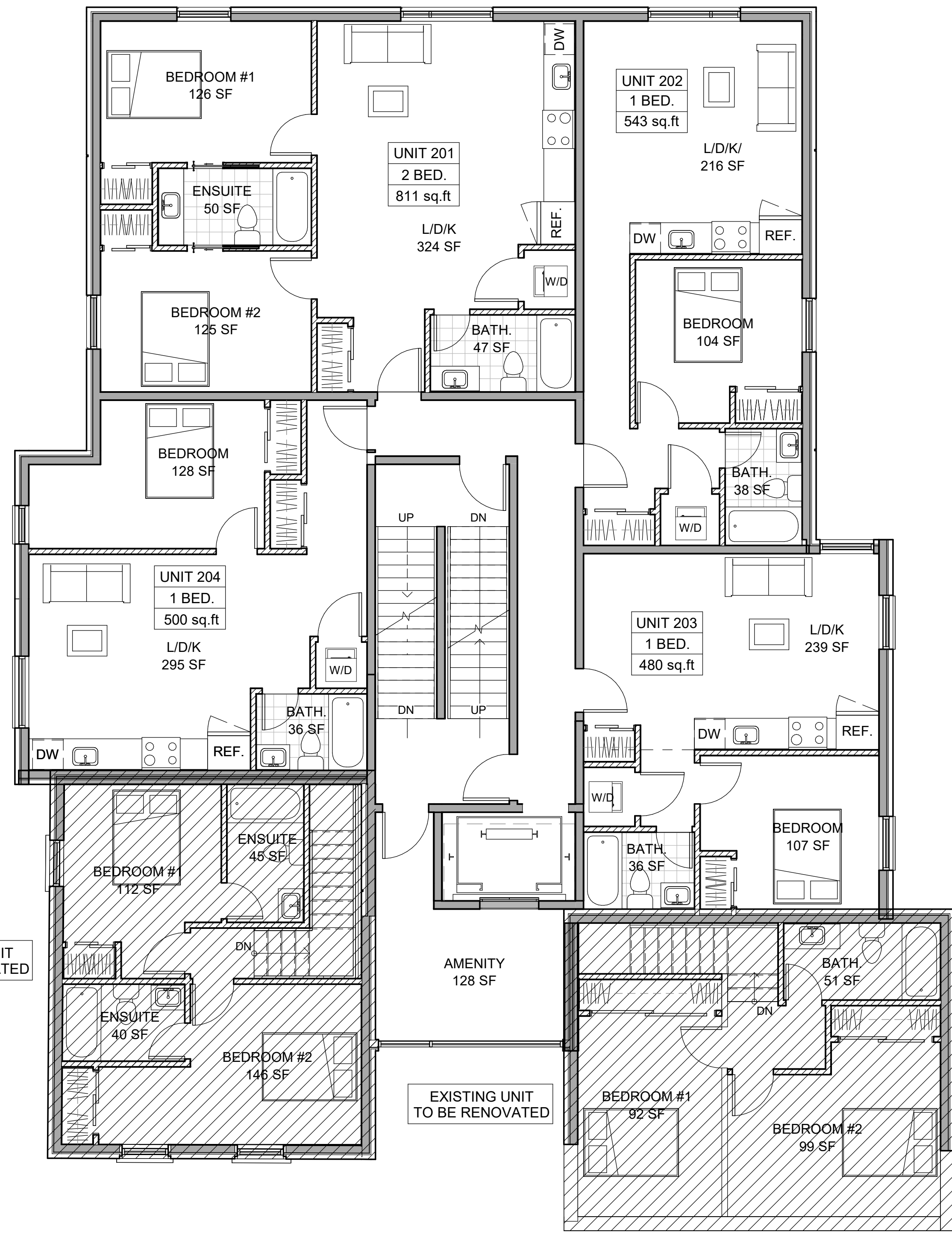
**CONSULTANTS:**  
STRUCTURAL - TBD  
MECHANICAL - TBD  
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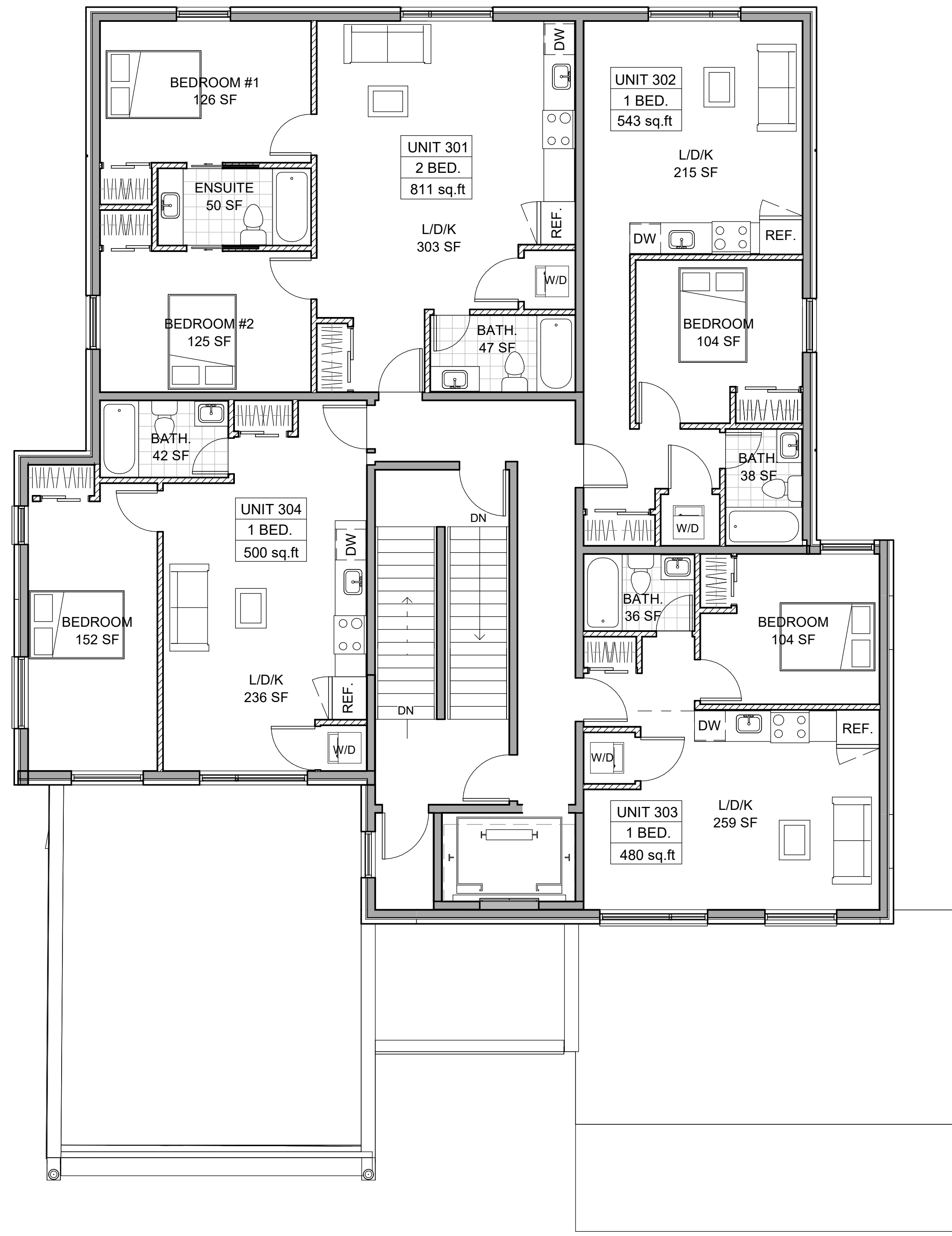
**PROJECT:**  
168-174 MURRAY ST.  
4 STOREY ADDITION TO EXISTING  
TWO STOREY BUILDINGS  
168-174 MURRAY ST.  
OTTAWA, ON K1H 5M5

FLOOR PLANS

DRAWN BY:   
DATE: MAY 11, 2021  
SCALE: AS NOTED  
SHEET: **A3**

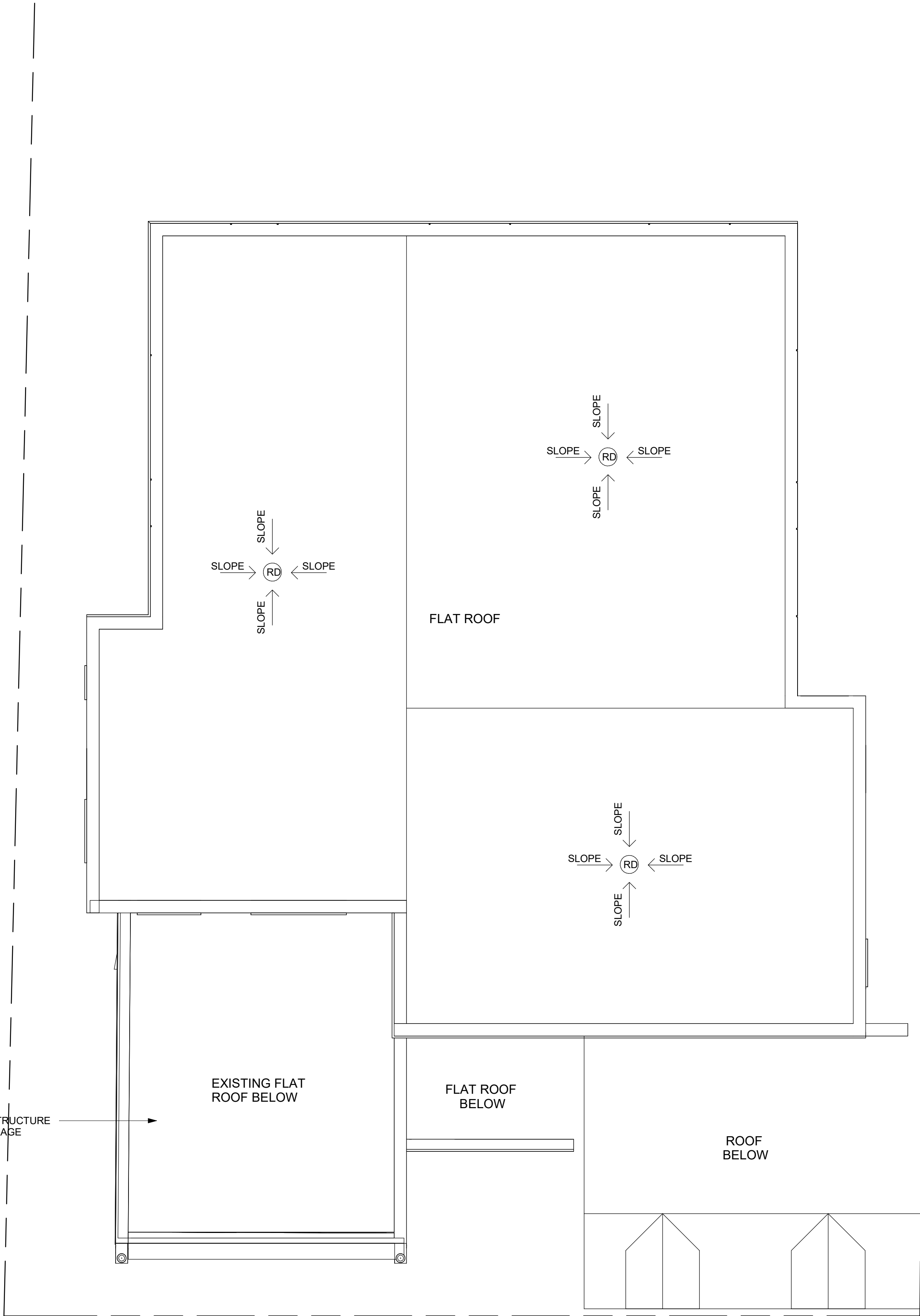


**2** **SECOND FLOOR**  
3/16" = 1'-0"



**1** **THIRD & FOURTH FLOORS**  
3/16" = 1'-0"





1 ROOF  
3/16" = 1'-0"

168-174 MURRAY ST.  
4 STOREY ADDITION TO EXISTING  
TWO STOREY BUILDINGS

**OWNER/DEVELOPER:**  
DAVID YOO  
**ARCHITECT:**  
REDLINE ARCHITECTURE INC.  
**APPLICANT:**  
FOTENN PLANNING + DESIGN  
JILLIAN SIMPSON  
420 O'CONNOR STREET  
OTTAWA, ON K2P 1W4  
**CIVIL ENGINEER:**  
T.L.MAK ENGINEERING CONSULTANTS LTD.  
1455 YONGE ST., OREGON, ON K1G 5Z7  
**GEOTECHNICAL INVESTIGATION:**  
PATERSON GROUP  
9 AUBURN ST., OTTAWA  
ON K2E 7T9  
**LANDSCAPING:**  
JAMES B. LINDOX & ASSOCIATES INC.  
3332 CARLING AVE OTTAWA ON K2H 5A8  
CANADA  
**TCR:**  
DENDRON FORESTRY SERVICES  
**SURVEYOR:**  
ACVI LTD.  
15 CONCOURSE GATE, SUITE 500  
OTTAWA, ON K2E 1S6  
**HERITAGE PLANNING:**  
COMMONWEALTH HISTORIC RESOURCE  
MANAGEMENT LTD.  
53 HERIOTT ST. SUITE 201,  
PERTH, ON K7H 1R5

**CONSULTANTS:**  
STRUCTURAL - TBD  
MECHANICAL - TBD  
ELECTRICAL - TBD

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NO.	REVISION/ISSUE	DATE

PROJECT:  
168-174 MURRAY ST.  
4 STOREY ADDITION TO EXISTING  
TWO STOREY BUILDINGS  
168-174 MURRAY ST.  
OTTAWA, ON K1H 5M5

FLOOR PLANS





1 Front (North) Elevation  
3/16" = 1'-0"



4 Side (East) Elevation  
3/16" = 1'-0"



3 Rear (South) Elevation  
3/16" = 1'-0"



5 Side (West) Elevation  
3/16" = 1'-0"

#### MATERIAL LEGEND & NOTES

- 1 EXISTING BRICK VANNER TO REMAIN
- 2 EXPOSED ORIGINAL CLADDING (SIDING)
- 3 NEW BRICK VENEER (SIMILAR TO THE BUFF BRICK OF OUR LADY SCHOOL AT 283 CUMBERLAND ST.)
- 4 NEW METAL PANEL, GREY COLOUR
- 5 ASPHALT SHINGLE, GREY COLOUR
- 6 METAL FLASHING, GREY COLOUR

NEW WINDOW  
RELOCATE THE DECORATIVE HOOD  
AND ARCH BRICKWORK TO THE FRONT ENTRANCE

RAI REDLINE  
ARCHITECTURE

REDLINE ARCHITECTURE INC.  
Tel: 613-612-2232  
info@redlinearchitecture.ca  
www.redlinearchitecture.ca

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MECHANICAL - TBD  
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**PROJECT:**  
168-174 MURRAY ST.  
4 STOREY ADDITION TO EXISTING  
TWO STOREY BUILDINGS  
168-174 MURRAY ST.  
OTTAWA, ON K1H 5M5

**ELEVATIONS**

**DRAWN BY:**  
DATE: MAY 11, 2021  
**SCALE:** AS NOTED  
**SHEET:**  
**A5**