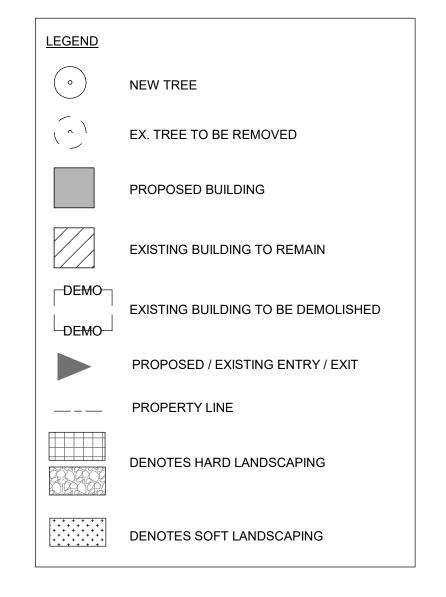


168-174 Murr	ay Street				
	250: R4UD [952] S74; Heritage Overlay; Mature e: 4-storey addition to existing 2-storey buildir				
Zoning Mechanism	Required	Provided	Compliance		
Minimum Lot Width (Section 162)	15 m	20.46 m	Yes		
Minimum Lot Area (Section 162)	450 m2	645.2 m2	Yes		
Front Yard Setback – Existing (Section 144)	Required front yard setback must align with the average of the abutting lots (not less than 1.5 m or more than 4.5 m) 0.2 m + 1.63 m / 2 = 0.915 m	Existing setbacks: 0.16 m, 1.45 m, 1.59 m	Non-complying (Existing building)		
Front Yard - Addition (Section 60)	Must not extend in the front yard beyond that of the heritage building				
Interior Side Yard Setback – Existing (Section 162)	1.5 m	Existing setback (east): 1.638 m Existing setback (west): 0 m	Non-complying (Existing building)		
Interior Side Yard Setback – Addition (Section 60)	Must be at least 60 cm. greater than that of the wall of the building located closest to the side lot line				
Rear Yard Setback – Existing (Section 144)	Any lot with a lot depth > 25m, distance equal to 30% of the lot depth must comprise at least 25% of the area of the lot Minimum Setback: 9.69 m Minimum Area: 163.5 m ²	Existing setback: 23.05 m & 25.85 m Rear Yard Area: 158.77 m² in area	Non-complying (Existing buildings)		
Rear Yard Setback – Addition (Section 60)	Must be located entirely within the rear yard, or in the interior yard abutting the rear yard and complies with the rear yard setback of the underlying zone, except where the building has a non-complying rear yard setback the addition may be built to that rear yard setback, but in no case may be less than 3.0 metres Minimum Setback: 9.69 m	Addition setback: 7.916 m	No		
Building Height Addition (Schedule 74)	168 Murray: 5.8 m (9.14 m from front lot line), 9.3 m (rear) 174 Murray: 7.0 m (9.14 m from front lot line); 10.5 m (rear)	13.38 m	No		
Projections into Required Yards (Section 65)	Open Stairways, Stoops, Landing Steps: where at or below the floor level of the first floor and in the case of the front yard or corner side yard: no closer than 0.6 m to a lot line	Existing heritage building stairways projected beyond the front lot line, abutting the front lot line	Non-complying (Existing buildings)		
	Eaves, eaves-troughs, and gutters – 1m, but not closer than 0.3m to a lot line.	Only the existing heritage building at 168 Murray has existing eaves on the property line but will be removed.	Yes		

Required Parking Spaces (Section 101, 103)	Section 101 (4): where a residential use is located within a building of four or fewer storeys, no offstreet vehicle parking is required to be provided	0 spaces	Yes	
Visitor Parking Spaces (Section 102)	20 - 12 x 0.1 = 1 space required	0 spaces	No	
Bicycle Parking Rates (Section 111)	0.5 / dwelling unit 20 x 0.5 = 10 spaces required	22 spaces total (stacked)	Yes	
Bicycle Parking Space Dimensions (Section 111)	Horizontal: 0.6 m x 1.8 m Stacked: 0.37 m x 1.8 m	Stacked: 0.37 m x 1.8 m	Yes	
Bicycle Parking Aisle Dimension (Section 111)	Minimum width: 1.5 m	1.5 m	Yes	

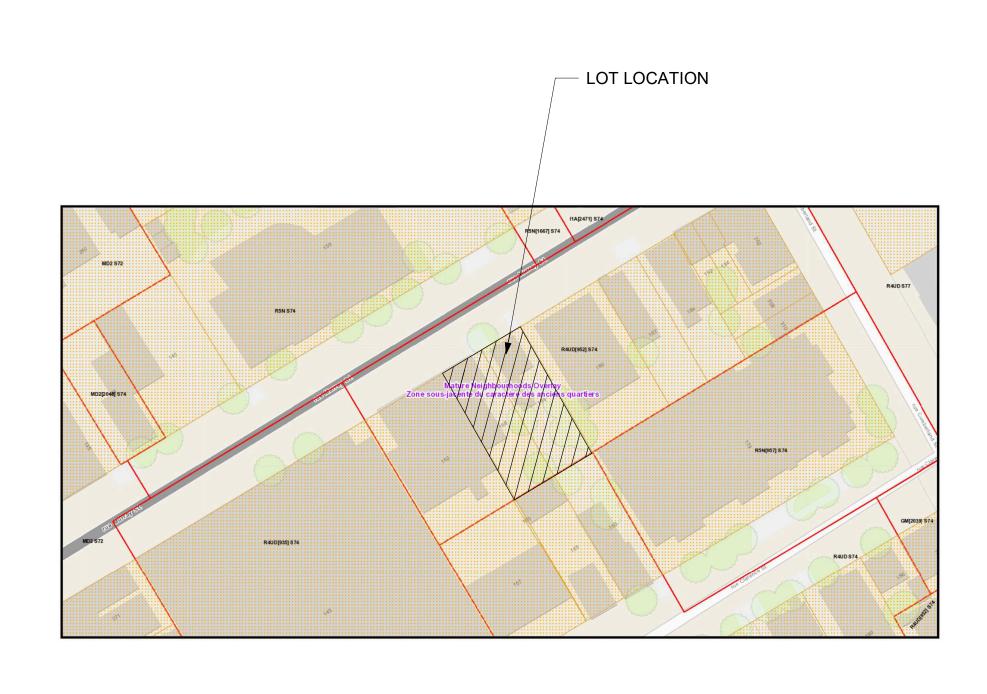
Front Yard Softscaping (Table 161)	No minimum, but all lands within the front yard that are not used by permitted projections, driveways and walkways, must consist of soft landscaped area	All lands within the front yard that are not used by permitted projections and walkways consist of soft landscaping	Yes	
Rear Yard Softscaping (Section 139)	15%	75.7%	Yes	
Front Façade Fenestration (Section 161)	Must comprise of at least 25% windows Recessed front façade where no balconies or porches are provided - At least 20% of the front facade must be recessed an additional 0.6m from the front setback line	N/A as subject lands are within a district designated under Part V of the Ontario Heritage Act	N/A	



BUILDING AREAS					·	
BASEMENT BUILDING AREA (NEW)	280 m²				GARBAGE REG	
GROUND FLOOR BUILDING AREA (NEW) 280 m ² BUILDING AREA (EXISTING) 97 m ²				GARBAGE, RECYCLING AND COMPOSTING ARE TO BE STORED IN THE BASEMENT AND REMOVED PRIVATELY DURING COLLECTION SNOW REMOVAL REQUIREMENT		
SECOND FLOOR BUILDING AREA (NEW) 280 m² BUILDING AREA (EXISTING) 97 m²						
THIRD FLOOR BUILDING AREA (NEW)	269 m²					
FOURTH FLOOR BUILDING AREA (NEW)	269 m²					
		1 BED	2 B	ED	3 BED	TOTAL
EXISTING BUILDING (RENOVAT	ED)	0	1		1	2
PROPOSED ADDITION		13	5		0	18
TOTAL		13	6		1	20
REQUIRED 2+ BEDROOM					5	
PROPOSED 2+ BEDROOM	7					
AVERAGE GRADE:	GARBAGE REQUIREMENT					
CALCULATED FROM EXISTING ELEVATION POINTS AT A DISTANCE EQUAL TO THE MINIMUM FRONT YARD & REAR YARD SETBACKS, AT THE INTERIOR SIDE PROPERTY LINES			Α	GARBAGE, RECYCLING AND COMPOSTING ARE TO BE STORED ON THE GROUND FLOOR AND REMOVED PRIVATELY DURING COLLECTION		

SNOW REMOVAL REQUIREMENT

PROPERTY OWNER WILL BE RESPONSIBLE FOR THE REMOVAL AND STORAGE OF SNOW FOR ALL WALKWAYS THROUGHOUT THE WINTER



AVERAGE GRADE: 58.48m (58.20m + 58.34m + 58.85m + 58.53m) /4



RAREDLINE

REDLINE ARCHITECTURE INC.

Tel: 613-612-2232 info@redlinearchitecture.ca www.redlinearchitecture.ca

RESPONSIBILITIES:

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OWNER/DEVELOPER: DAVID YOO ARCHITECT:
REDLINE ARCHITECTURE INC. APPLICANT: FOTENN PLANNING + DESIGN, JILLIAN SIMPSON 420 O'CONNOR STREET OTTAWA, ON K2P 1W4 CIVIL ENGINEER: T L MAK ENGINEERING CONSULTANTS LTD. 1455 YOUVILLE DR. , ORLEANS, ON K1C 6Z7 GEOTECHNICAL INVESTIGATION: PATERSON GROUP 9 AURIGA DR. , OTTAWA ON K2E 7T9 LANDSCAPING: JAMES B. LENNOX & ASSOCIATES INC. 3332 CARLING AVE OTTAWA ON. K2H 5A8 CANADA TCR:
DENDRON FORESTRY SERVICES SURVEYOR: AOV LTD. 14 CONCOURSE GATE, SUITE 500 OTTAWA, ON. K2E-7S6 HERITAGE PLANNING: COMMONWEALTH HISTORIC RESOURCE MANAGEMENT LTD. 53 HERRIOTT ST. SUITE 201, PERTH, ON. K7H 1R5 CONSULTANTS: STRUCTURAL - TBD MECHANICAL - TBD ELECTRICAL - TBD

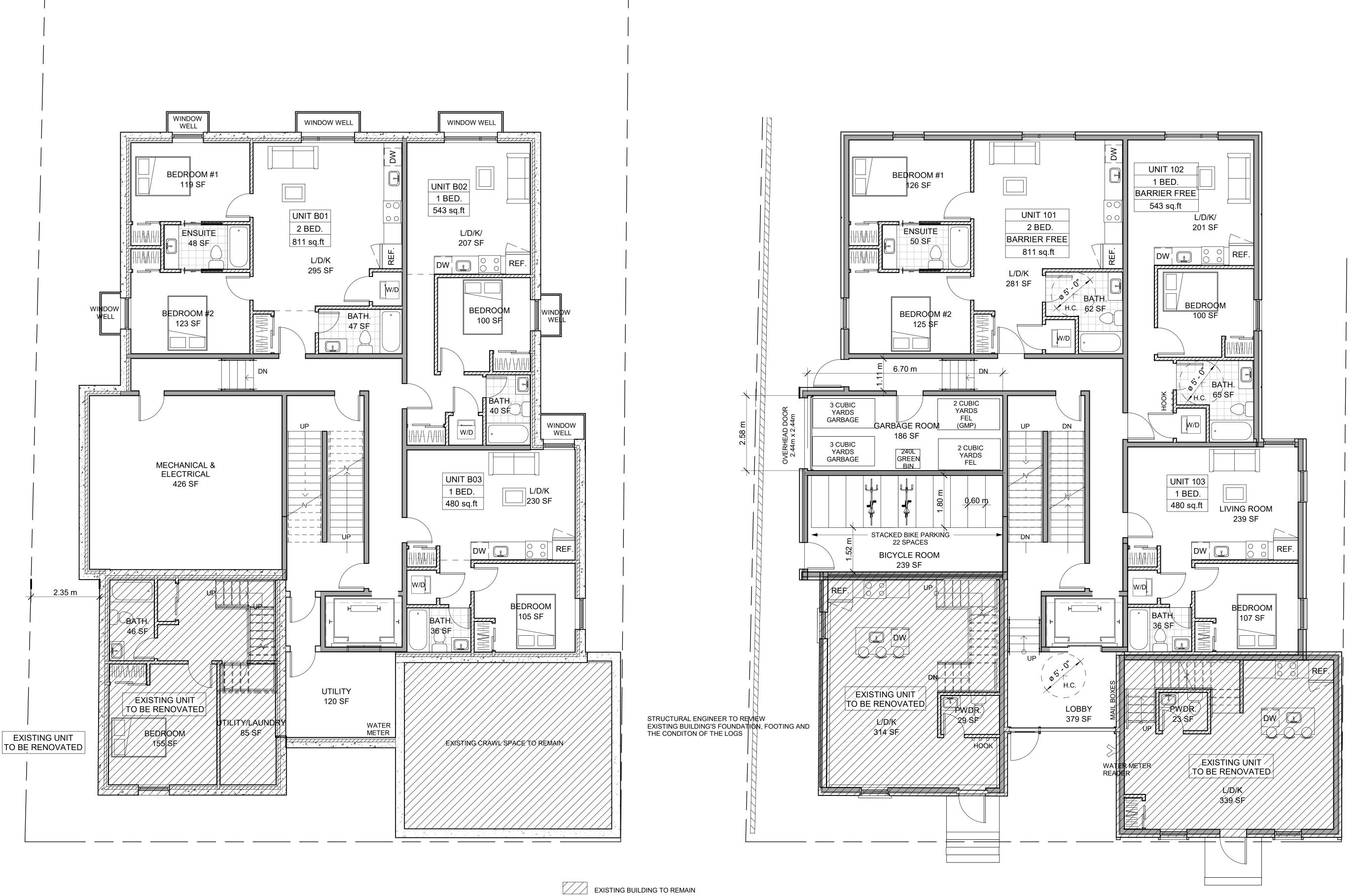
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REVISION/ISSUE

168-174 MURRAY ST.

4 STOREY ADDITION TO EXISTING TWO STOREY BUILDINGS 168-174 MURRAY ST. OTTAWA, ON K1N 5M8

SITE PLAN



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68-174 MURRAY ST. STOREY ADDITION TO EXISTING TWO STOREY BUILDINGS

OWNER/DEVELOPER:
DAVID YOO

ARCHITECT:
REDLINE ARCHITECTURE INC.

APPLICANT:
FOTENN PLANNING + DESIGN,
JILLIAN SIMPSON
420 O'CONNOR STREET
OTTAWA, ON K2P 1W4

CIVIL ENGINEER:
T L MAK ENGINEERING CONSULTANTS LTD.
1455 YOUVILLE DR., ORLEANS, ON K1C 627

GEOTECHNICAL INVESTIGATION:
PATERSON GROUP
9 AURIGA DR., OTTAWA
ON K2E 7T9

LANDSCAPING:
JAMES B. LENNOX & ASSOCIATES INC.

LANDSCAPING:
JAMES B. LENNOX & ASSOCIATES INC.
3332 CARLING AVE OTTAWA ON. K2H 5A8
CANADA
TCR:
DENDRON FORESTRY SERVICES

DENDRON FORESTRY SERVICES

SURVEYOR:
AOV LTD.
14 CONCOURSE GATE, SUITE 500
OTTAWA, ON. K2E-756

HERITAGE PLANNING:
COMMONWEALTH HISTORIC RESOURCE
MANAGEMENT LTD.
53 HERRIOTT ST. SUITE 201,
PERTH, ON. K7H 1R5

CONSULTANTS: STRUCTURAL - TBD MECHANICAL - TBD ELECTRICAL - TBD

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NO. REVISION/ISSUE
PROJECT:
168-174 MURRAY

168-174 MURRAY ST.
4 STOREY ADDITION TO EXISTING
TWO STOREY BUILDINGS
168-174 MURRAY ST.
OTTAWA, ON K1N 5M8

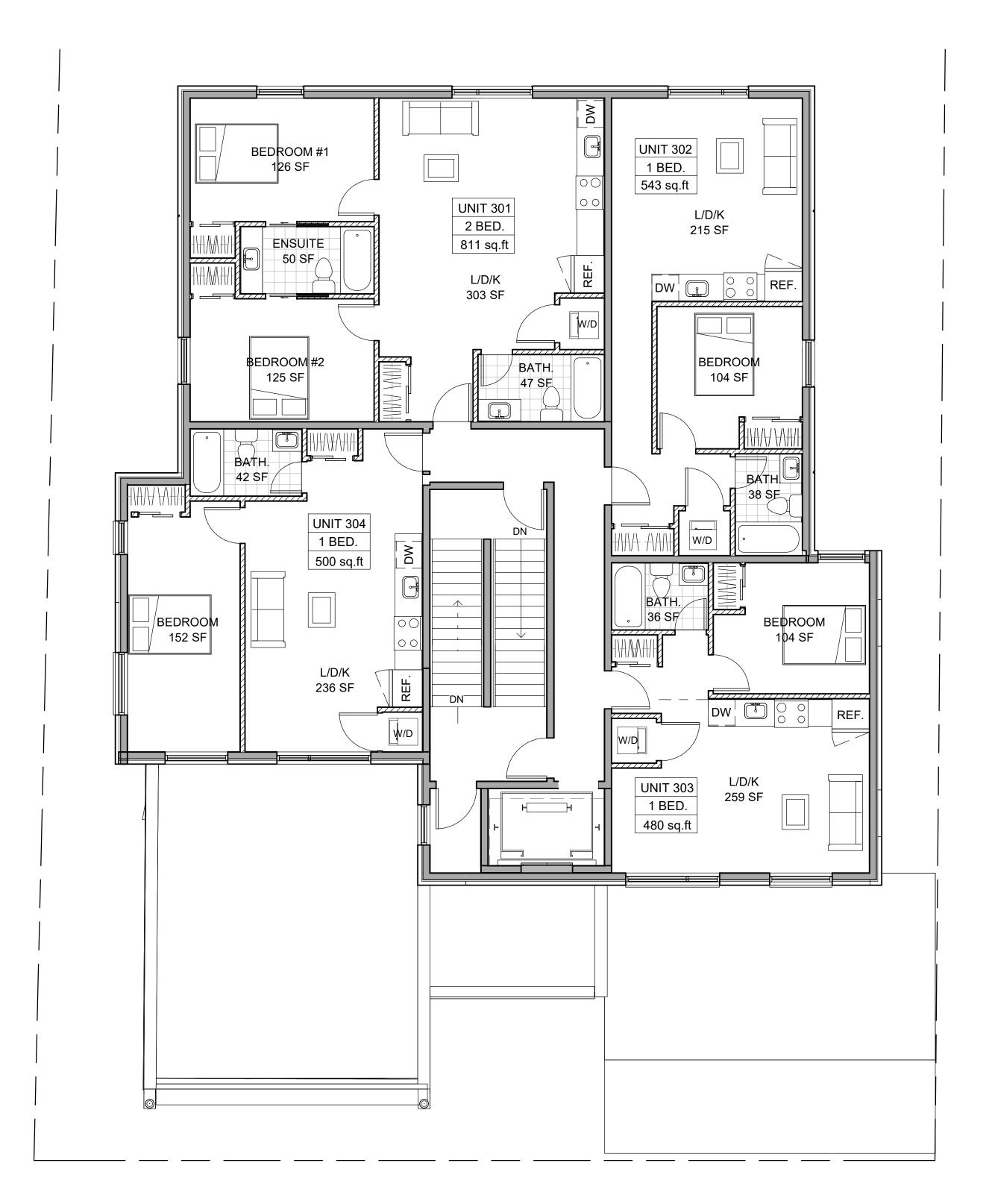
FLOOR PLANS

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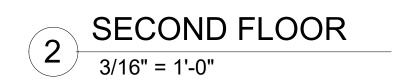
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2 BASEMENT 3/16" = 1'-0" 1 GROUND FLOOR 3/16" = 1'-0"



EXISTING BUILDING TO REMAIN





RALINE

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ADDITION TO EXISTING TOREY BUILDINGS 168-1 STORE

OWNER/DEVELOPER: DAVID YOO ARCHITECT: REDLINE ARCHITECTURE INC. APPLICANT: FOTENN PLANNING + DESIGN, JILLIAN SIMPSON 420 O'CONNOR STREET OTTAWA, ON K2P 1W4 CIVIL ENGINEER: T L MAK ENGINEERING CONSULTANTS LTD. 1455 YOUVILLE DR. , ORLEANS, ON K1C 627 GEOTECHNICAL INVESTIGATION: PATERSON GROUP 9 AURIGA DR. , OTTAWA ON K2E 7T9 LANDSCAPING: JAMES B. LENNOX & ASSOCIATES INC. 3332 CARLING AVE OTTAWA ON. K2H 5A8

TCR:
DENDRON FORESTRY SERVICES

SURVEYOR: AOV LTD. 14 CONCOURSE GATE, SUITE 500 OTTAWA, ON. K2E-7S6

HERITAGE PLANNING: COMMONWEALTH HISTORIC RESOURCE MANAGEMENT LTD. 53 HERRIOTT ST. SUITE 201, PERTH, ON. K7H 1R5

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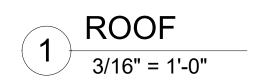
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REVISION/ISSUE 168-174 MURRAY ST. 4 STOREY ADDITION TO EXISTING TWO STOREY BUILDINGS 168-174 MURRAY ST. OTTAWA, ON K1N 5M8

FLOOR PLANS

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GENERAL NOTES:



168-174 MURRAY ST.
4 STOREY ADDITION TO EXISTING
TWO STOREY BUILDINGS

CIVIL ENGINEER:

T L MAK ENGINEERING CONSULTANTS LTD.
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CONSULTANTS:
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MECHANICAL - TBD
ELECTRICAL - TBD

M/D/Y

9

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ARCHITECT:
REDLINE ARCHITECTURE INC.

APPLICANT: FOTENN PLANNING + DESIGN, JILLIAN SIMPSON 420 O'CONNOR STREET OTTAWA, ON K2P 1W4

PROJECT:
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OTTAWA, ON K1N 5M8

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