

1 SITE PLAN
SP-01 SCALE: 1:100

SITE STATISTICS		
Current Zoning Designation:	R4U/A	
Lot Width:	36.7m	
Total Lot Area:	1117.6m ²	
Average Existing Grade:	55.45m	
Gross Floor Area:	2789.6m ²	
Building Area	552.1m ²	
Proposed Development - 4 Storey Low-Rise Apartment Building		
No. of units	41 Units	
Zoning Mechanism	Required	Provided
Minimum Lot Width 162(a)	12m	36.7m
Maximum Lot Width 162(a)	38m	36.7m
Minimum Lot Area 162(a)	360m ²	1117.6m ²
Maximum Lot Area 162(a)	1070m ²	1117.6m ²
Min. Front Yard Setback 162(a)	4.5m	4.5m
Min. Interior Side Yard Setback 162(a)	1.5m	1.5m
Min. Rear Yard Setback 162(a)(i)	9.15m (30% of Lot Depth)	9.15m
Maximum Building Height 162(a)	11m	13.07m
Maximum Number of Units 162(a)	8	41
Landscaped Area 151 (i)	335.3m ² 30% of Lot Area (1117.6m ²)	358.2m ² (32%)
Rear Yard Soft Landscaping 151 (i)(b)(ii)	167.9m ² 50% of Rear Yard (335.8m ²)	261.9m ² (77%)
Front Yard Soft Landscaping Table 151	66m ² 40% of Front Yard (165.2m ²)	88.2m ² (53%)
Minimum 2-Bedroom Unit Rates 151 (i)(b)(ii)	10 Units Min. 25% of Total Units (41)	10 Units (25%)
Front Façade Minimum Glazing 151 (i)(b)(ii)	112.2m ² 25% of Front Façade (448.7m ²)	209.83m ² (47%)
Façade Articulation / Balconies 151 (i)(b)(ii)	89.75m ² At least 20% of the area of the front façade must be recessed an additional 0.6m from the front setback line)	216.88m ² (48%)
Parking Space Rates 101 (Sch. 1A - Area X)	14.5 Spaces 0 spaces for first 12 units - Section 101(3) 0.5 spaces / unit for 29 units - Table 101	0 Spaces
Minimum Visitor Parking Rates 102 (Sch. 1A - Area X)	3 Spaces 0 spaces for first 12 units - Section 102(2) 0.1 spaces / unit for 29 units - Table 102	0 Spaces
Bicycle Parking Rates Table 111A (Sch. 1A - Area X)	21 Spaces 0.5 spaces / unit for 41 units (111A)(b)(i))	42 Spaces

TOPOGRAPHIC PLAN OF SURVEY OF
LOTS 85, 86 AND 87
REGISTERED PLAN M-27
CITY OF OTTAWA
FARLEY, SMITH & DENIS SURVEYING LTD. 2022

SURVEY INFO
SCALE: N.T.S.

OWNER
HENRY INVESTMENTS
14072375 CANADA INC.
1770 CANAAN RD
CUMBERLAND, ON, K4C 1J5

ARCHITECT
PROJECT1 STUDIO
260 ST. PATRICK ST., SUITE 300
OTTAWA, ON, K1N 5K5

SURVEYOR
FARLEY, SMITH & DENIS SURVEYING LTD
30 COLONNADE RD
NEPEAN, ON, K2E 7J6

ENGINEER / PLANNER / LANDSCAPE
NOVATECH
240 MICHAEL COWPLAND DR, SUITE 200
OTTAWA, ON, K2M 1P6

SITE PLAN SYMBOLS LEGEND	
	BUILDING ENTRANCE
	BUILDING EXIT
	BICYCLE PARKING
	PROPERTY LINE
	SETBACK LINE
	OVERHEAD WIRES
	GRASS
	INTERLOCKING STONE PAVERS
	EXISTING UTILITY POLE TO REMAIN
	UTILITY POLE TO BE REMOVED/RELOCATED
	FIRE DEPARTMENT CONNECTION

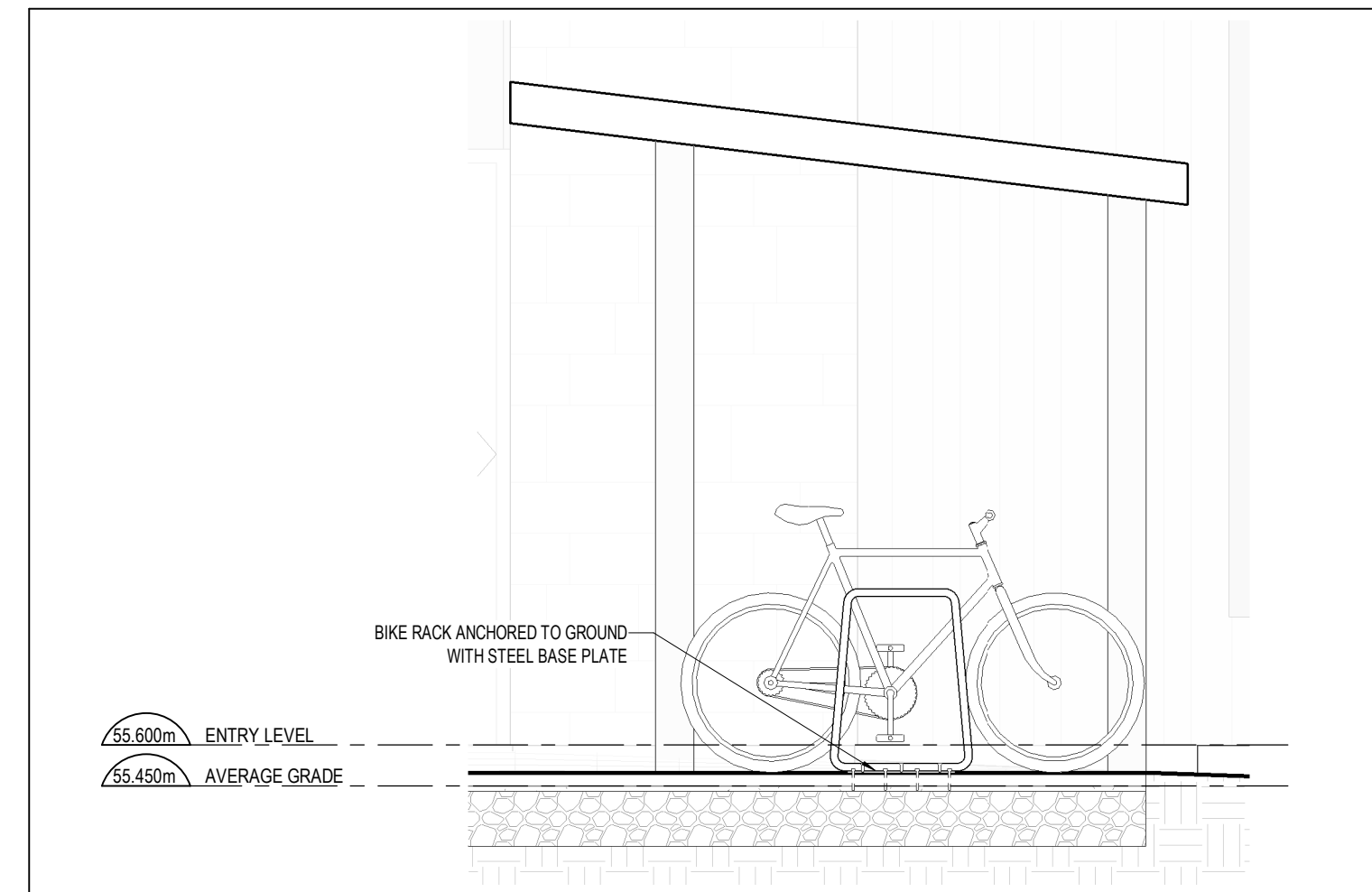
SITE PLAN NOTES
S1 SOFT LANDSCAPING
S2 EXISTING STRUCTURE TO BE DEMOLISHED
S3 INTERLOCKING PAVERS
S4 PEA GRAVEL
S5 WOOD LOUVRE PRIVACY PANEL
S6 LINE DENOTES EXTENT OF COVERED BIKE STORAGE
S7 WOOD PRIVACY FENCE
S8 EXISTING TREE TO REMAIN



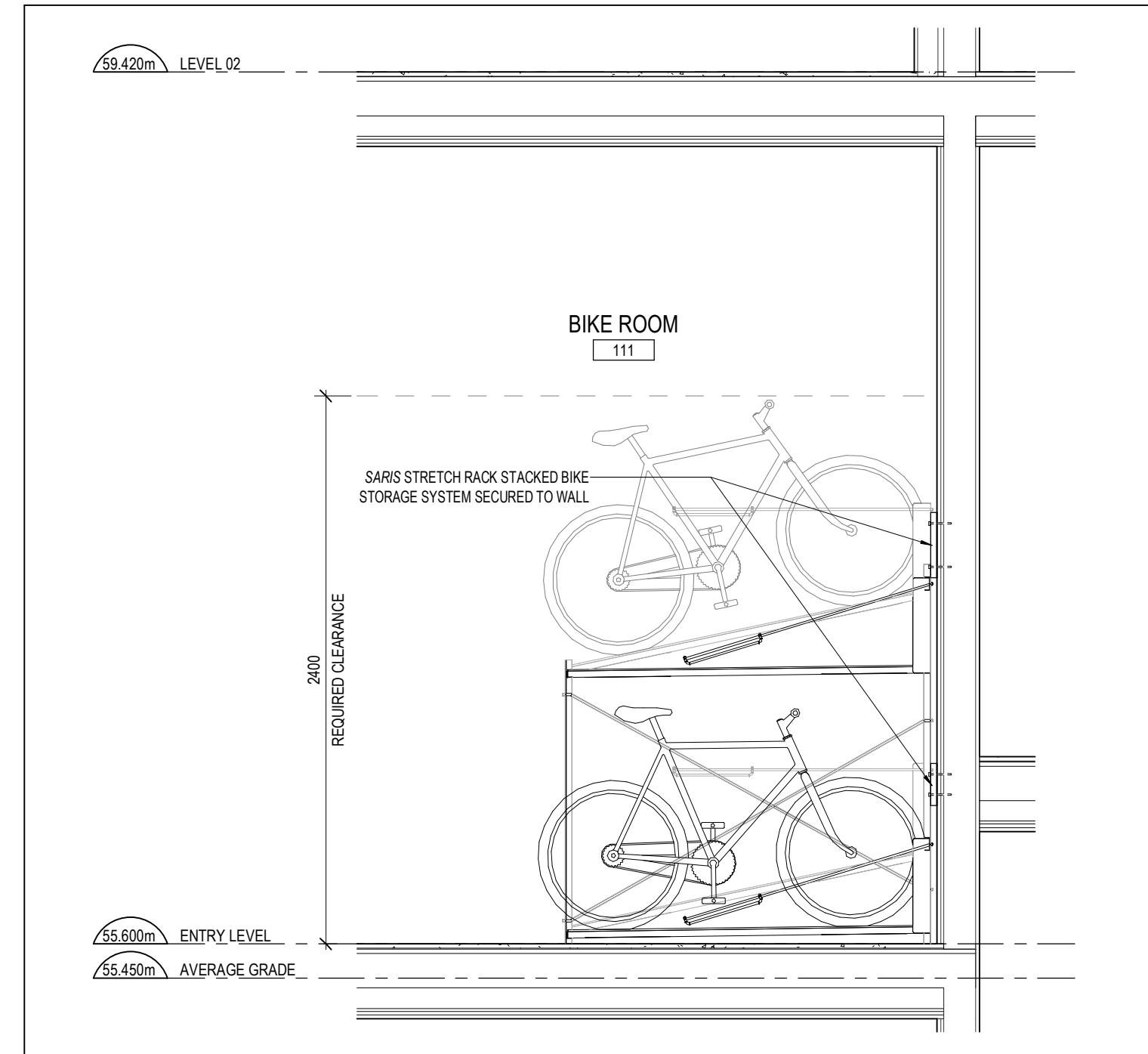
2 LOCATION PLAN
SP-01 SCALE: NTS

UNIT COUNT								
BEDS	LVL.0	LVL.1	LVL.2	LVL.3	LVL.4	TOTAL	%	
1-BED	2	3	4	4	4	17	41%	
1-BED + DEN	2	1	2	2	2	9	22%	
2-BED	1	1	2	2	2	8	20%	
3-BED	1	1	0	0	0	2	5%	
STUDIO	1	1	1	1	1	5	12%	
TOTAL	7	7	9	9	9	41	100%	

RENTABLE AREA			GROSS FLOOR AREA		
LEVEL	AREA	AREA (SF)	LEVEL	AREA	AREA (SF)
LEVEL 00	421.95 m ²	4538 SF	LEVEL 00	564.42 m ²	6075 SF
LEVEL 01	410.94 m ²	4414 SF	LEVEL 01	552.35 m ²	5932 SF
LEVEL 02	492.89 m ²	5297 SF	LEVEL 02	552.13 m ²	5943 SF
LEVEL 03	492.89 m ²	5297 SF	LEVEL 03	552.13 m ²	5943 SF
LEVEL 04	470.79 m ²	5068 SF	LEVEL 04	530.70 m ²	5712 SF
TOTAL	2286.57 m ²	24612 SF	TOTAL	2752.32 m ²	29626 SF



3 EXTERIOR BIKE STORAGE SECTION DETAIL
SP-01 SCALE: 1:25

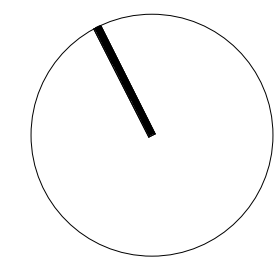


4 INTERIOR STACKED BIKE STORAGE SECTION DETAIL
SP-01 SCALE: 1:25

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5	ISSUED FOR COORDINATION	2025-01-27
3	ISSUED FOR SITE PLAN CONTROL	2024-12-19
2	ISSUED FOR COORDINATION	2024-12-11
1	ISSUED FOR COORDINATION	2024-11-14

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2415	NOTED	BH	RMK

SITE PLAN

SP-01

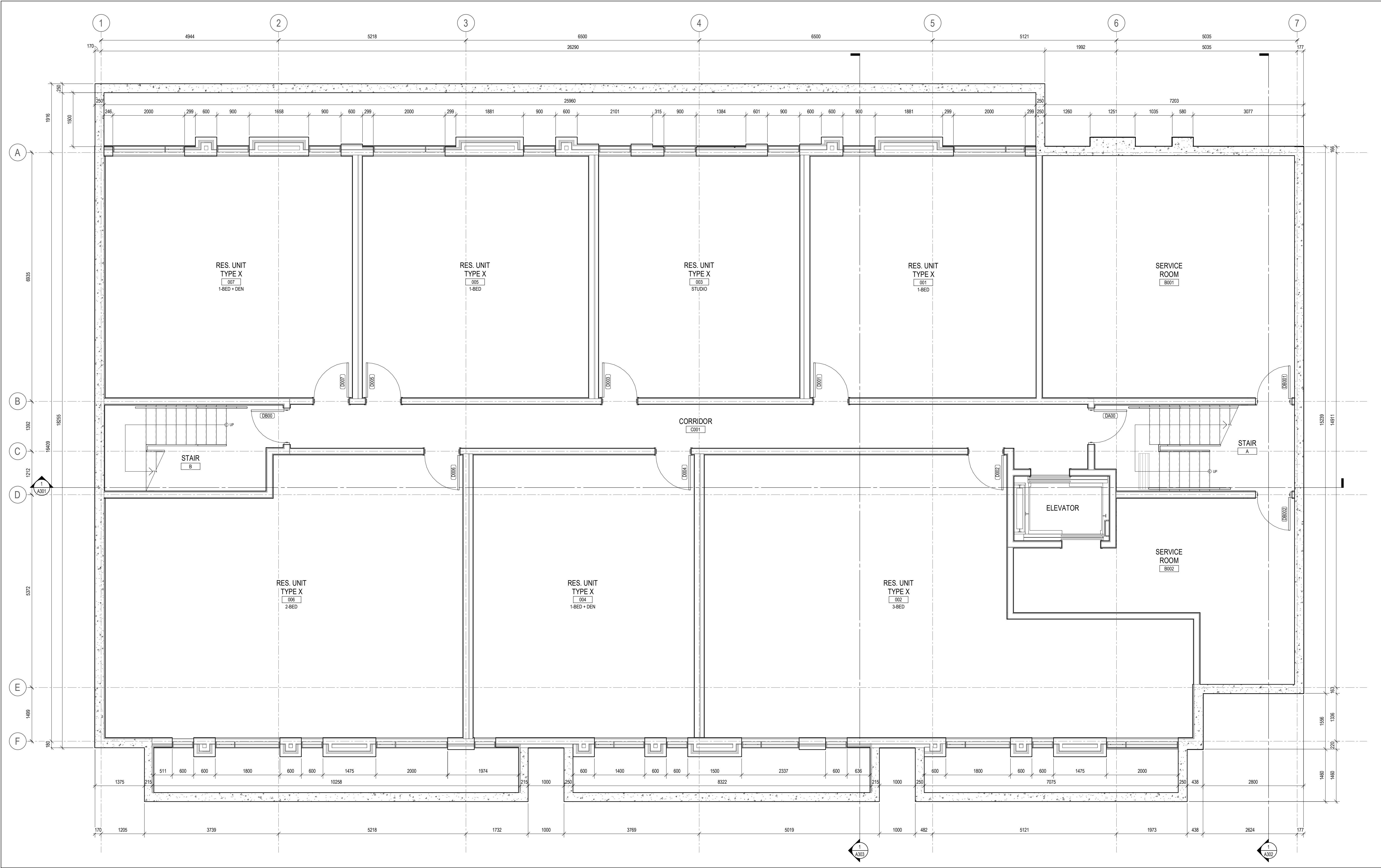
RESIDENTIAL UNIT SCHEDULE			
NUMBER	UNIT TYPE	BEDS	AREA
LEVEL 00			
001		1-BED	48.28 m²
002		3-BED	53.79 m²
003		STUDIO	42.49 m²
004		1-BED + DEN	54.09 m²
005		1-BED	48.01 m²
006		2-BED	81.64 m²
007		1-BED + DEN	53.27 m²

FLOOR/ROOF PLAN NOTES

- P1 WOOD LOUVRE PRIVACY PANEL
P2 CANOPY ABOVE
P3 MAILBOXES
P4 ROOF ACCESS HATCH

GENERAL ARCHITECTURAL NOTES:

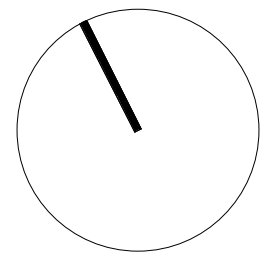
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1 FLOOR PLAN - BASEMENT / LEVEL 00
A100b SCALE: 1 : 50

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FLOOR PLAN - BASEMENT /
LEVEL 00

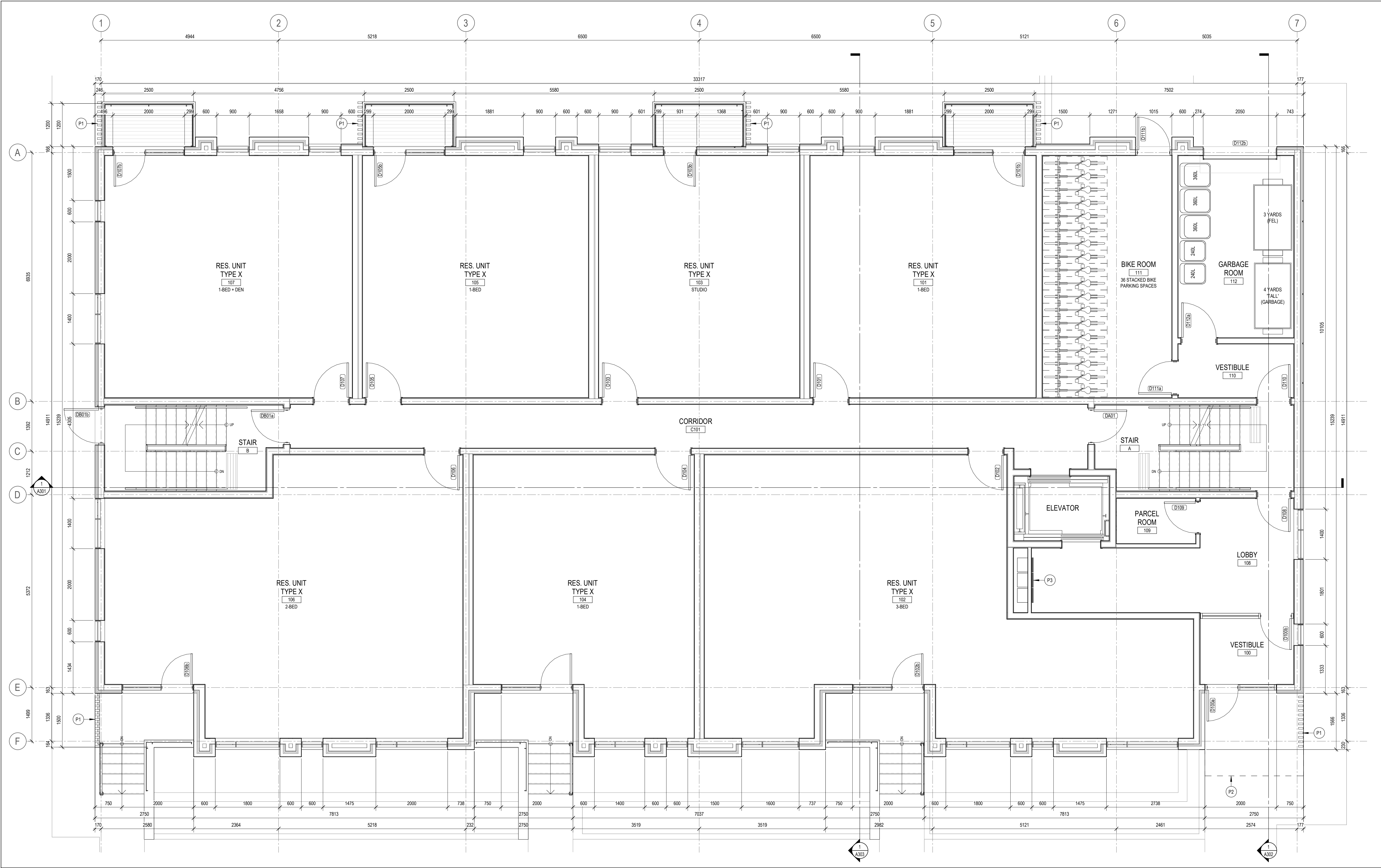
A100b

RESIDENTIAL UNIT SCHEDULE			
LEVEL 01	NUMBER	UNIT TYPE	AREA
	101	1-BED	48.28 m²
	102	3-BED	90.06 m²
	103	STUDIO	42.44 m²
	104	1-BED	49.83 m²
	105	1-BED	48.02 m²
	106	2-BED	78.07 m²
	107	1-BED + DEN	53.34 m²

FLOOR/ROOF PLAN NOTES

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P2 CANOPY ABOVE
P3 MAILBOXES
P4 ROOF ACCESS HATCH

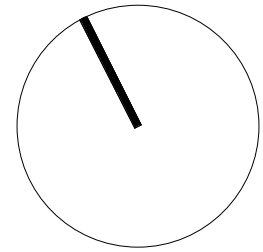
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1 FLOOR PLAN - ENTRY LEVEL / LEVEL 01
A101 SCALE: 1:50

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FLOOR PLAN - ENTRY LEVEL /
LEVEL 01

A101

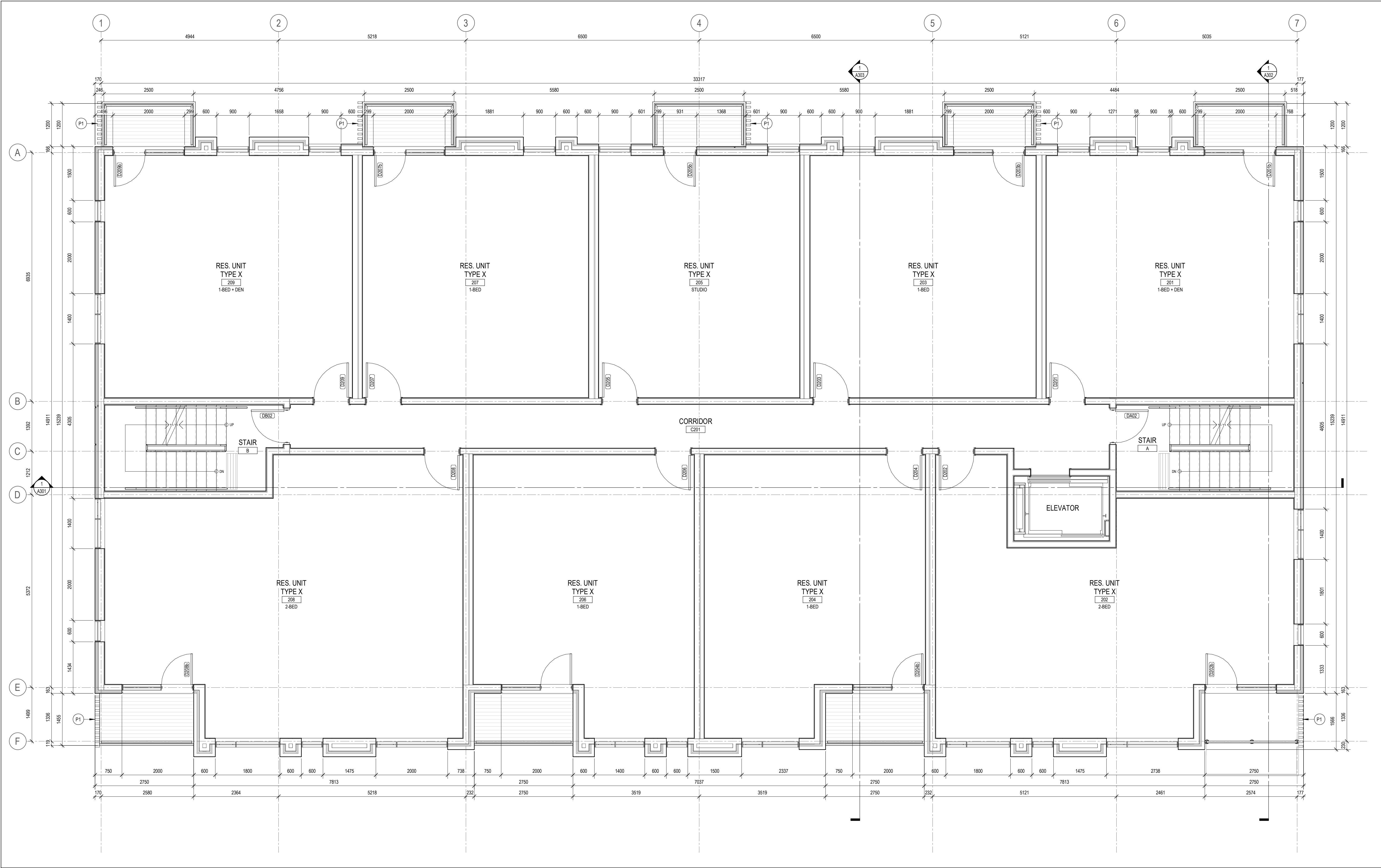
RESIDENTIAL UNIT SCHEDULE			
NUMBER	UNIT TYPE	BEDS	AREA
LEVEL 02			
201		1-BED + DEN	53.20 m²
202		2-BED	69.71 m²
203		1-BED	47.98 m²
204		1-BED	49.96 m²
205		STUDIO	42.44 m²
206		1-BED	49.96 m²
207		1-BED	48.01 m²
208		2-BED	77.51 m²
209		1-BED + DEN	53.31 m²

FLOOR/ROOF PLAN NOTES

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P2 CANOPY ABOVE
P3 MAILBOXES
P4 ROOF ACCESS HATCH

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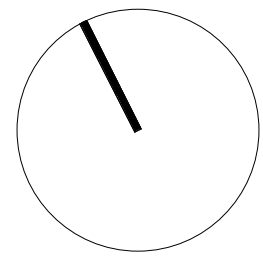
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1 FLOOR PLAN - LEVEL 02
A102 SCALE: 1:50

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FLOOR PLAN - LEVEL 02

A102

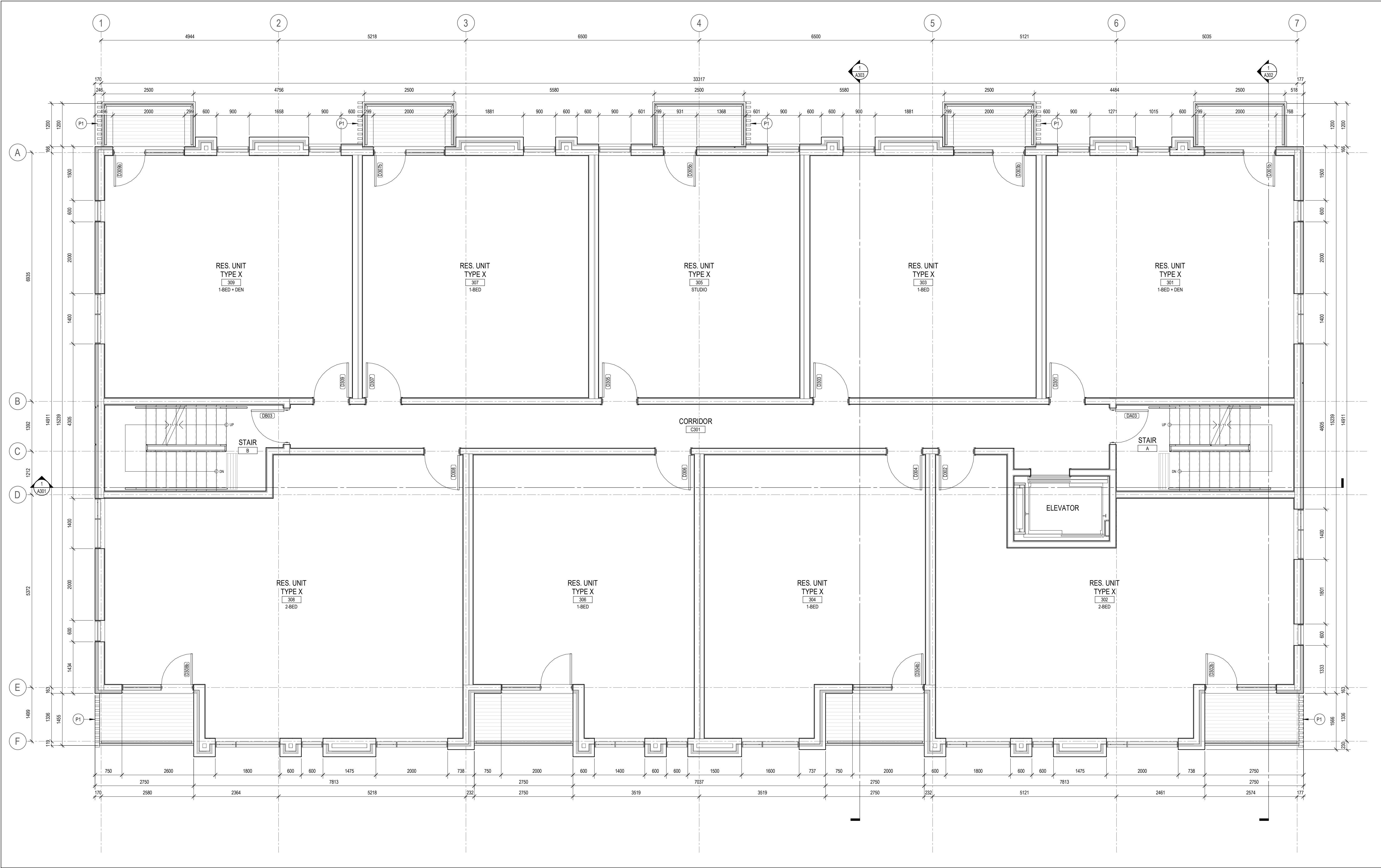
RESIDENTIAL UNIT SCHEDULE			
NUMBER	UNIT TYPE	BEDS	AREA
LEVEL 03			
301		1-BED + DEN	53.20 m²
302		2-BED	69.71 m²
303		1-BED	47.98 m²
304		1-BED	49.96 m²
305		STUDIO	42.44 m²
306		1-BED	49.96 m²
307		1-BED	48.01 m²
308		2-BED	77.51 m²
309		1-BED + DEN	53.31 m²

FLOOR/ROOF PLAN NOTES

- P1 WOOD LOUVRE PRIVACY PANEL
P2 CANOPY ABOVE
P3 MAILBOXES
P4 ROOF ACCESS HATCH

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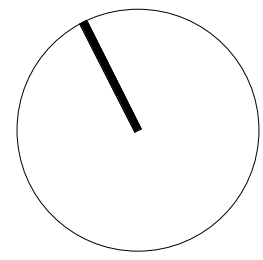
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1 FLOOR PLAN - LEVEL 03
A103 SCALE: 1:50

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FLOOR PLAN - LEVEL 03

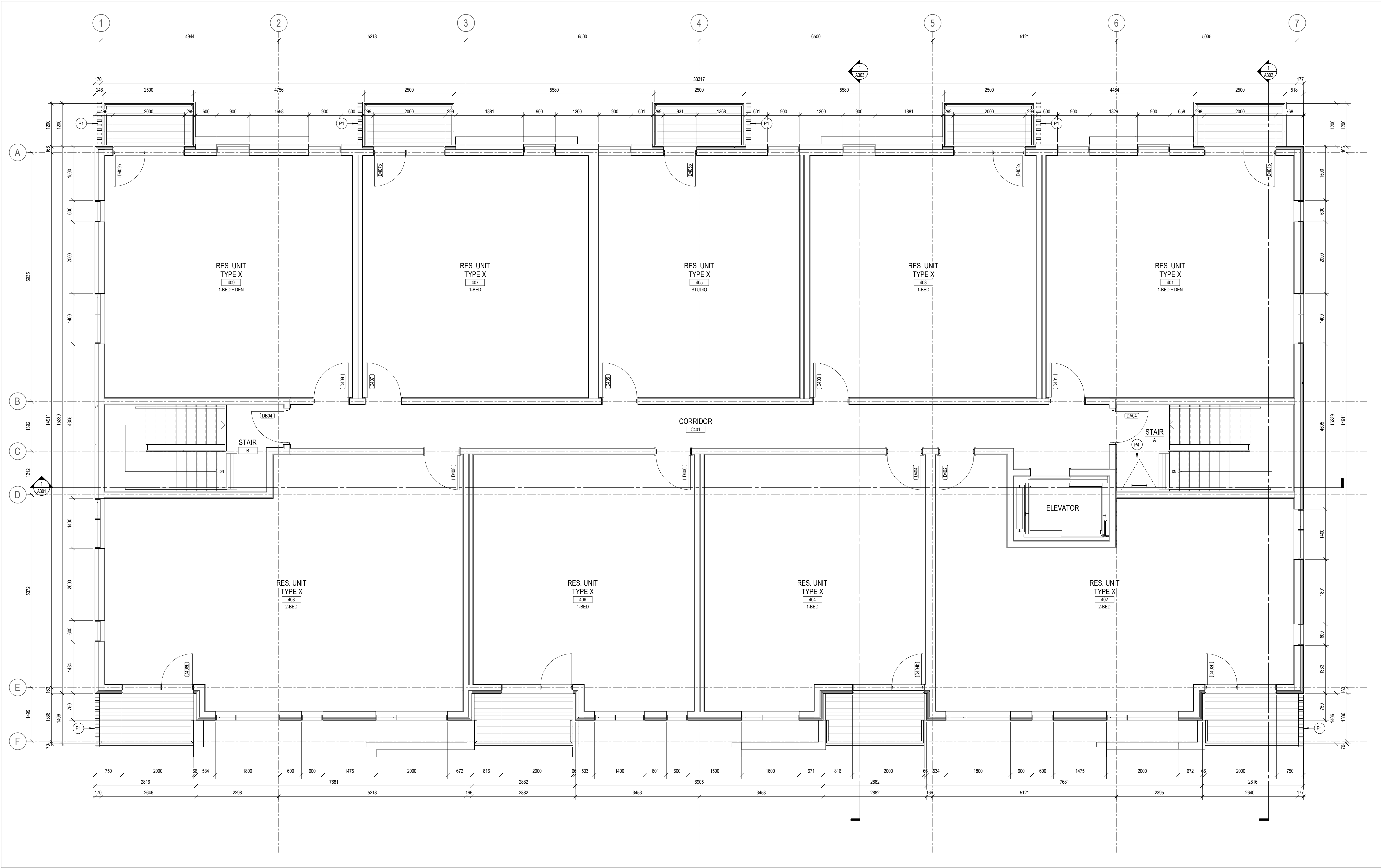
A103

RESIDENTIAL UNIT SCHEDULE			
NUMBER	UNIT TYPE	BEDS	AREA
LEVEL 04			
401		1-BED + DEN	52.79 m²
402		2-BED	63.36 m²
403		1-BED	47.46 m²
404		1-BED	46.68 m²
405		STUDIO	42.44 m²
406		1-BED	46.68 m²
407		1-BED	47.46 m²
408		2-BED	70.98 m²
409		1-BED + DEN	52.92 m²

FLOOR/ROOF PLAN NOTES

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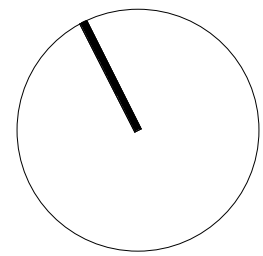
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A104 SCALE: 1 : 50

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FLOOR PLAN - LEVEL 04

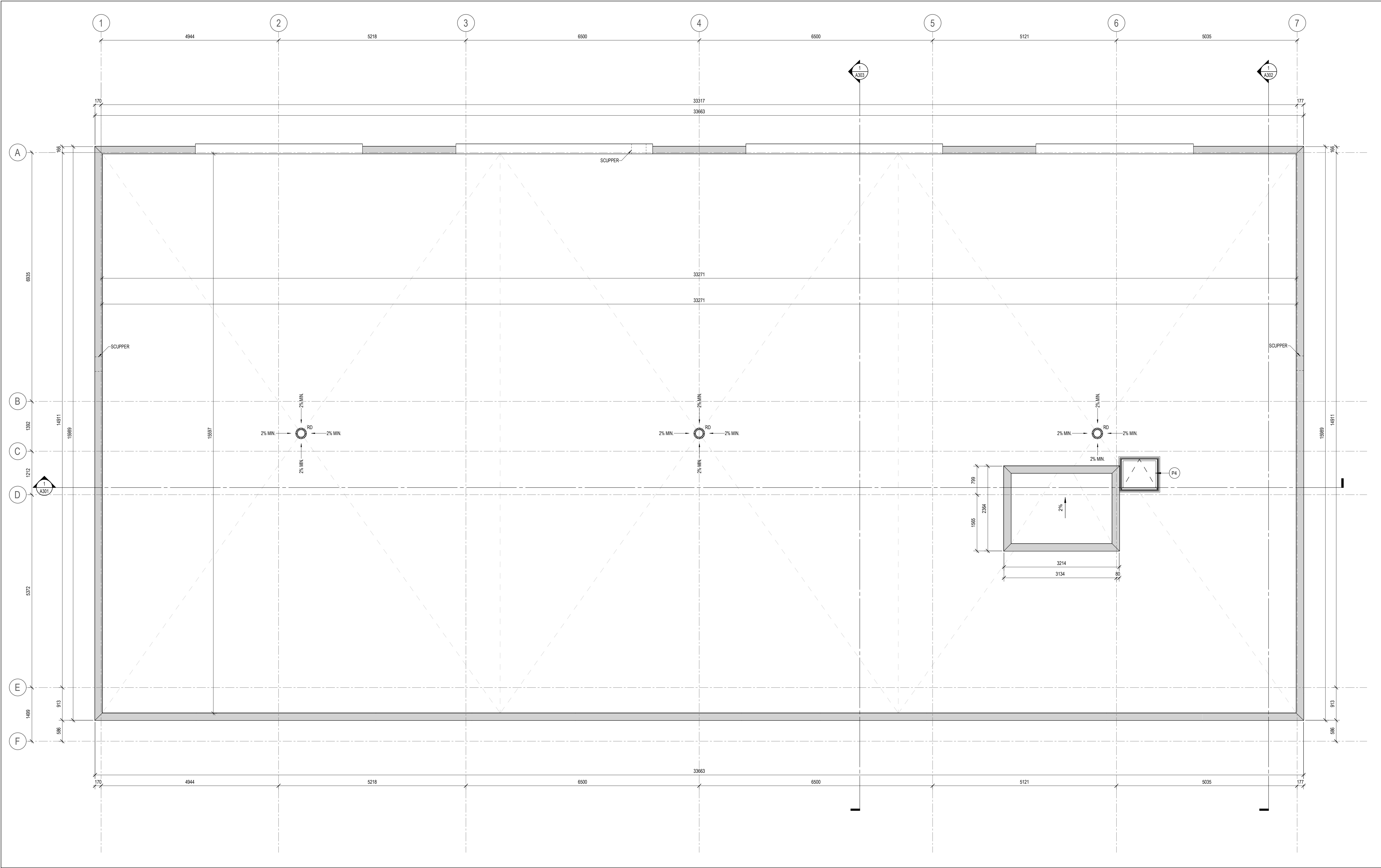
A104

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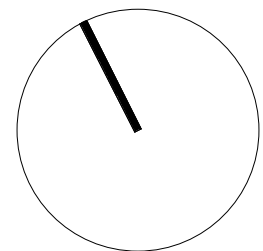
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1 ROOF PLAN
A105 SCALE: 1:50

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ROOF PLAN

A105

ELEVATION NOTES

CLADDING LEGEND

- 1 ALUMINUM PANEL
DARK GREY
- 2 ALUMINUM PANEL
BLACK
- 3 ALUMINUM PLANKS
GREY WOODGRAIN FINISH
- 4 ALUMINUM LOUVRE SYSTEM
GREY WOODGRAIN FINISH
- 5 STONE MASONRY
LIGHT GREY
- 6 ALUMINUM AND GLASS RAILING
- 7 PARAPET - LIGHT GREY
- 8 PARAPET - DARK GREY

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SOUTH ELEVATION

A201

ELEVATION NOTES

CLADDING LEGEND

- 1 ALUMINUM PANEL
DARK GREY
- 2 ALUMINUM PANEL
BLACK
- 3 ALUMINUM PLANKS
GREY WOODGRAIN FINISH
- 4 ALUMINUM LOUVRE SYSTEM
GREY WOODGRAIN FINISH
- 5 STONE MASONRY
LIGHT GREY
- 6 ALUMINUM AND GLASS RAILING
- 7 PARAPET - LIGHT GREY
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1	ISSUED FOR COORDINATION	2024-11-14

ISSUE RECORD



project1
studio

Project1 Studio Incorporated
[613.884.3939] [mail@project1studio.ca]

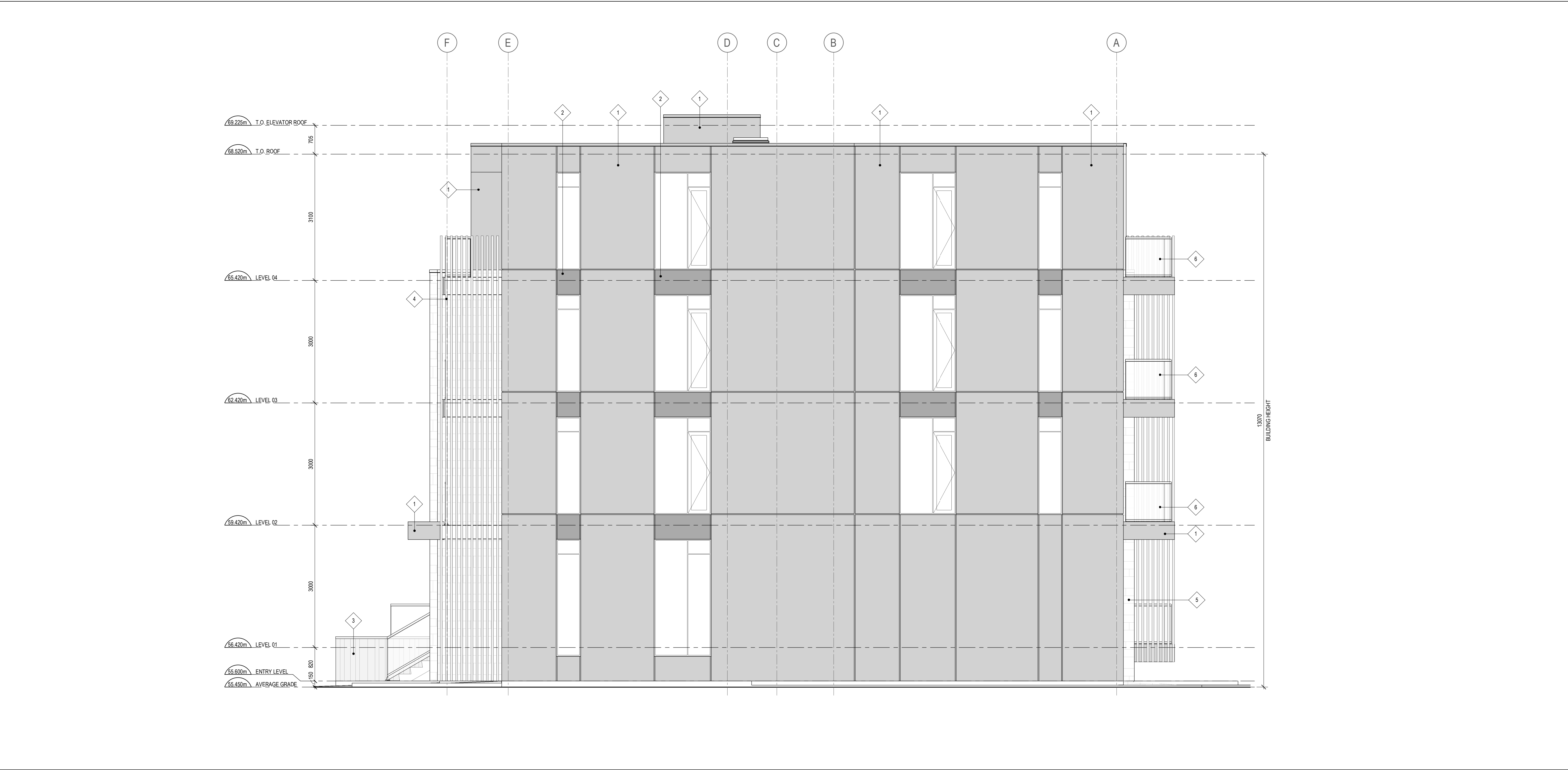
73 ST-CECILE ST

73-83 St-Cecile Street
Ottawa, ON
K1L 5L4

PROJ	SCALE	DRAWN	REVIEWED
2415	NOTED	BH	RMK

EAST ELEVATION

A202



1 EAST ELEVATION
A202 SCALE: 1 : 50

ELEVATION NOTES

CLADDING LEGEND

- 1 ALUMINUM PANEL
DARK GREY
- 2 ALUMINUM PANEL
BLACK
- 3 ALUMINUM PLANKS
GREY WOODGRAIN FINISH
- 4 ALUMINUM LOUVRE SYSTEM
GREY WOODGRAIN FINISH
- 5 STONE MASONRY
LIGHT GREY
- 6 ALUMINUM AND GLASS RAILING
- 7 PARAPET - LIGHT GREY
- 8 PARAPET - DARK GREY

GENERAL ARCHITECTURAL NOTES:

1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
3. Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
6. These documents are not to be used for construction unless specifically noted for such purpose.

6	REISSUED FOR SITE PLAN CONTROL	2025-02-04
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K1L 5L4

PROJ	SCALE	DRAWN	REVIEWED
2415	NOTED	BH	RMK

NORTH ELEVATION

A203

ELEVATION NOTES

CLADDING LEGEND

- 1 ALUMINUM PANEL
DARK GREY
- 2 ALUMINUM PANEL
BLACK
- 3 ALUMINUM PLANKS
GREY WOODGRAIN FINISH
- 4 ALUMINUM LOUVRE SYSTEM
GREY WOODGRAIN FINISH
- 5 STONE MASONRY
LIGHT GREY
- 6 ALUMINUM AND GLASS RAILING
- 7 PARAPET - LIGHT GREY
- 8 PARAPET - DARK GREY

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PROJ	SCALE	DRAWN	REVIEWED
2415	NOTED	BH	RMK

WEST ELEVATION

A204

