

NO.	DESCRIPTION	DATE
4	ISSUED FOR SITE PLAN APPROVAL	2024/12/19
3	ISSUED FOR 90% DD - CLASS B ESTIMATE	2024/11/29
2	ISSUED FOR 50% DD	2024/10/18
1	ISSUED FOR DD PROGRESS SET	2024/10/04

NO.	DESCRIPTION	DATE
1	REVISIONS/ ISSUES	

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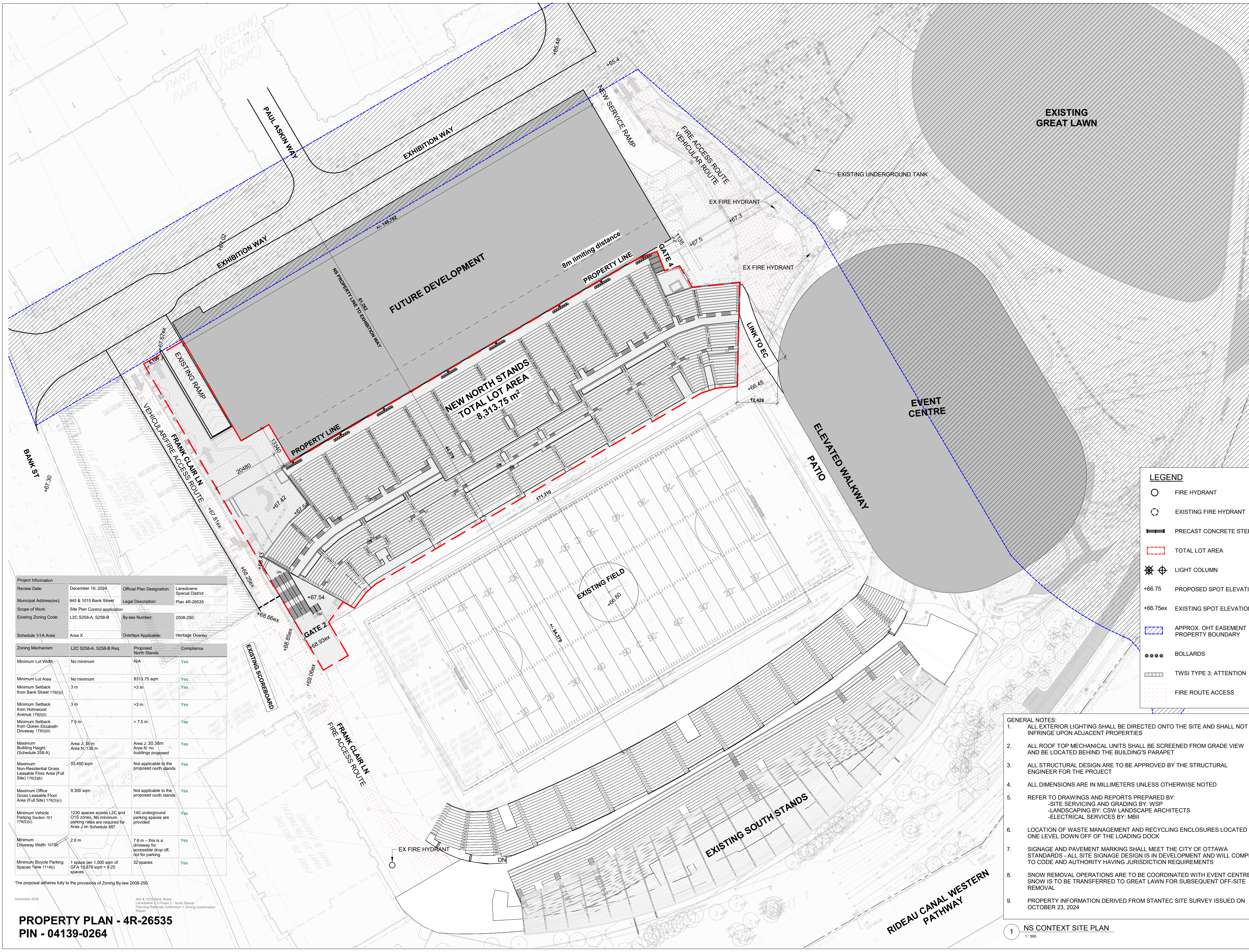
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DRAWN	MM
DATE	24/11/29
CHECKED	TF

**LANSDOWNE 2.0  
 EVENT CENTRE,  
 NORTH SIDE STANDS  
 AND PUBLIC REALM  
 ENHANCEMENTS**  
 1015 Bank st, Ottawa, ON K1S 5J3

DWG TITLE  
**SITE PLAN CONTEXT**

SCALE	As indicated	DWG. NO.	NS-A1-001
PROJ. NO.	2008.3		



Project Information			
Review Date:	December 19, 2024	Official Plan Designation:	Lansdowne Special District
Municipal Address(es):	945 & 1015 Bank Street	Legal Description:	Plan 4R-26535
Scope of Work:	Site Plan Control application	By-law Number:	2008-250
Existing Zoning Code:	L2C S258-A, S258-B	Overlays Applicable:	Heritage Overlay
Schedule 1/1A Area:	Area X		
Zoning Mechanism			
Zoning Mechanism	L2C S258-A, S258-B Req	Proposed North Stands	Compliance
Minimum Lot Width	No minimum	N/A	Yes
Minimum Lot Area	No minimum	8313.75 sqm	Yes
Minimum Setback from Bank Street 176(0)	3 m	>3 m	Yes
Minimum Setback from Holmwood Avenue 176(0)	3 m	>3 m	Yes
Minimum Setback from Queen Elizabeth Driveway 176(0)	7.5 m	> 7.5 m	Yes
Maximum Building Height (Schedule 258-A)	Area J: 38 m Area N: 138 m	Area J: 30.38m Area N: no buildings proposed	Yes
Maximum Non-Residential Gross Leasable Floor Area (Full Site) 176(3)(a)	33,450 sqm	Not applicable to the proposed north stands	Yes
Maximum Office Gross Leasable Floor Area (Full Site) 176(3)(c)	9,300 sqm	Not applicable to the proposed north stands	Yes
Minimum Vehicle Parking Section 101 176(3)(g)	1230 spaces across L2C and O1S zones. NO minimum parking rates are required for Area J on Schedule 487.	140 underground parking spaces are provided.	Yes
Minimum Driveway Width 107(0)	2.6 m	7.6 m - this is a driveway for accessible drop off, not for parking	Yes
Minimum Bicycle Parking Spaces Table 111A(i)	1 space per 1,500 sqm of GFA 10,879 sqm = 9.25 spaces	32 spaces	Yes

The proposal adheres fully to the provisions of Zoning By-law 2008-250.

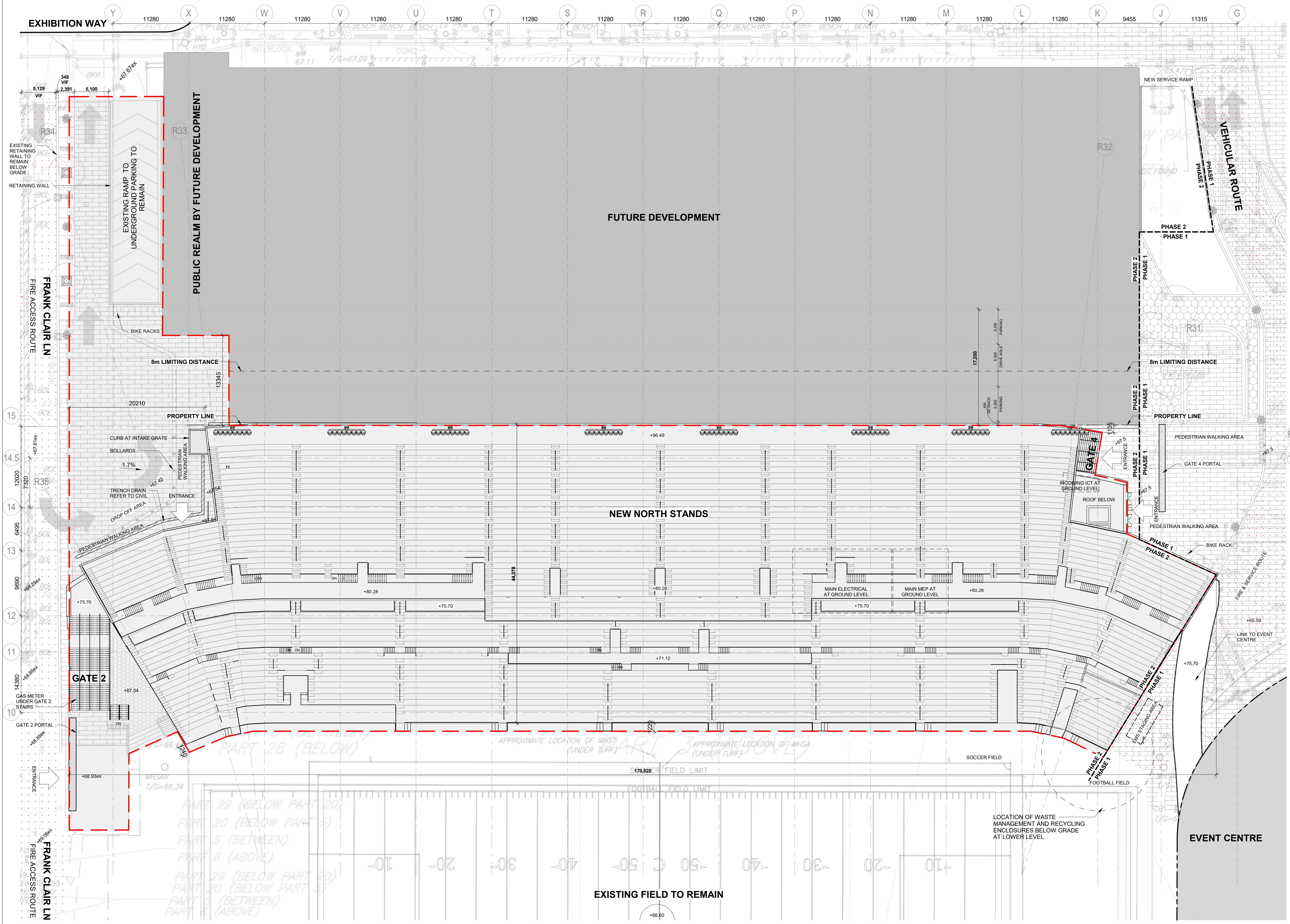
December 2024

945 & 1015 Bank Street  
 Lansdowne 2.0 Phase 2, North Stands  
 Planning Review/Assessment - Zoning Confirmation Report

**PROPERTY PLAN - 4R-26535  
 PIN - 04139-0264**

- GENERAL NOTES:
- ALL EXTERIOR LIGHTING SHALL BE DIRECTED ONTO THE SITE AND SHALL NOT INFRINGE UPON ADJACENT PROPERTIES
  - ALL ROOF TOP MECHANICAL UNITS SHALL BE SCREENED FROM GRADE VIEW AND BE LOCATED BEHIND THE BUILDING'S PARAPET
  - ALL STRUCTURAL DESIGN ARE TO BE APPROVED BY THE STRUCTURAL ENGINEER FOR THE PROJECT
  - ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED
  - REFER TO DRAWINGS AND REPORTS PREPARED BY:  
 -SITE SERVICING AND GRADING BY: WSP  
 -LANDSCAPING BY: CSW LANDSCAPE ARCHITECTS  
 -ELECTRICAL SERVICES BY: MBII
  - LOCATION OF WASTE MANAGEMENT AND RECYCLING ENCLOSURES LOCATED ONE LEVEL DOWN OFF OF THE LOADING DOCK
  - SIGNAGE AND PAVEMENT MARKING SHALL MEET THE CITY OF OTTAWA STANDARDS - ALL SITE SIGNAGE DESIGN IS IN DEVELOPMENT AND WILL COMPLY TO CODE AND AUTHORITY HAVING JURISDICTION REQUIREMENTS
  - SNOW REMOVAL OPERATIONS ARE TO BE COORDINATED WITH EVENT CENTRE. SNOW IS TO BE TRANSFERRED TO GREAT LAWN FOR SUBSEQUENT OFF-SITE REMOVAL
  - PROPERTY INFORMATION DERIVED FROM STANTEC SITE SURVEY ISSUED ON OCTOBER 23, 2024

1 NS CONTEXT SITE PLAN  
 1:500



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REFER TO NS-A1-001 FOR GENERAL NOTES AND DRAWING LEGEND



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 MECH. PLUMB. FIRE PROTECTION ENGINEER

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**C S W**  
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 LANDSCAPE ARCHITECT

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**LANSDOWNE 2.0  
 EVENT CENTRE,  
 NORTH SIDE STANDS  
 AND PUBLIC REALM  
 ENHANCEMENTS**  
 1015 Bank st, Ottawa, ON K1S 5J3

DWG. TITLE: SITE PLAN

SCALE: 1 : 250  
 PROJ. NO.: 2008.3  
 DWG. NO.: NS-A1-002



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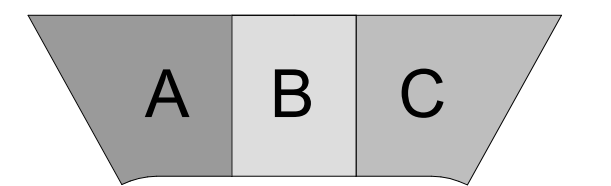
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EVENT CENTRE,  
NORTH SIDE STANDS  
AND PUBLIC REALM  
ENHANCMENTS**

1015 Bank st, Ottawa, ON K1S 5J3

DWG. TITLE  
**AERIAL RENDERING**

SCALE	DWG. NO.
PROJ. NO.	NS-A1-020



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LANDSCAPE ARCHITECT

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 NORTH SIDE STANDS  
 AND PUBLIC REALM  
 ENHANCMENTS**

1015 Bank st, Ottawa, ON K1S 5J3

DWG TITLE  
 RENDERING - EAST

SCALE

DWG. NO.

PROJ. NO. 2008.3

NS-A1-021



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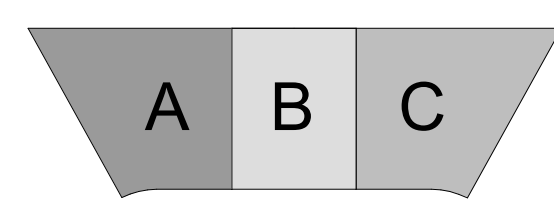
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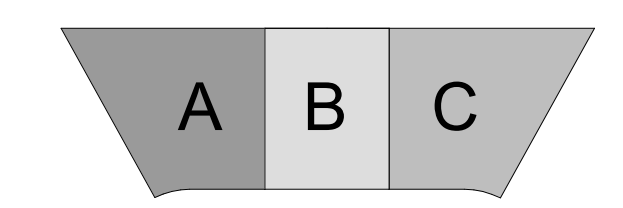
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 PROJ. NO. 2008.3



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DWG. TITLE  
 RENDERING - FIELD VIEW

SCALE \_\_\_\_\_ DWG. NO. NS-A1-023  
 PROJ. NO. 2008.3

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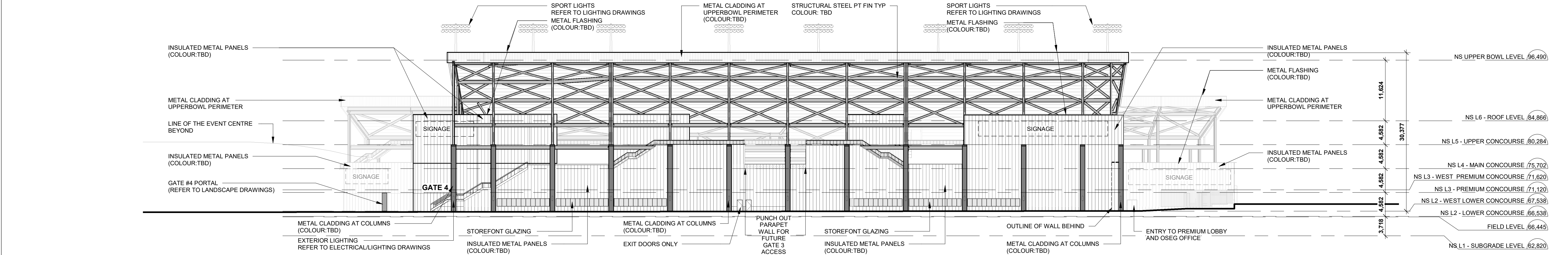
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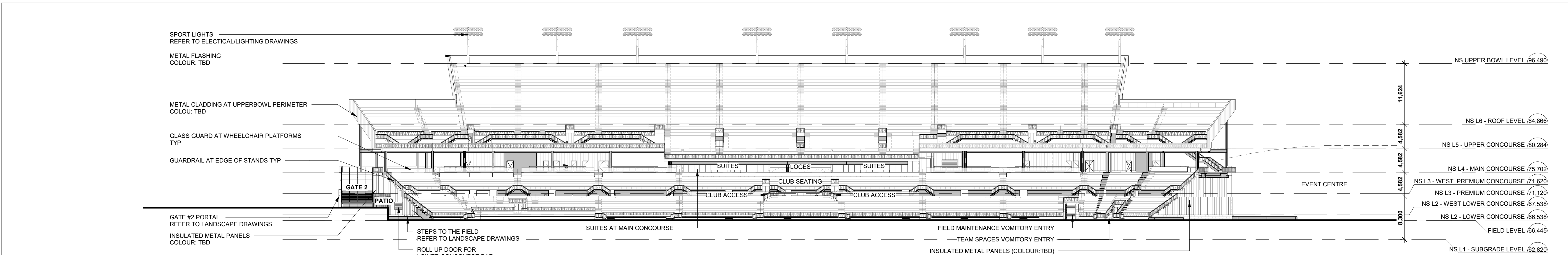
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DWG TITLE  
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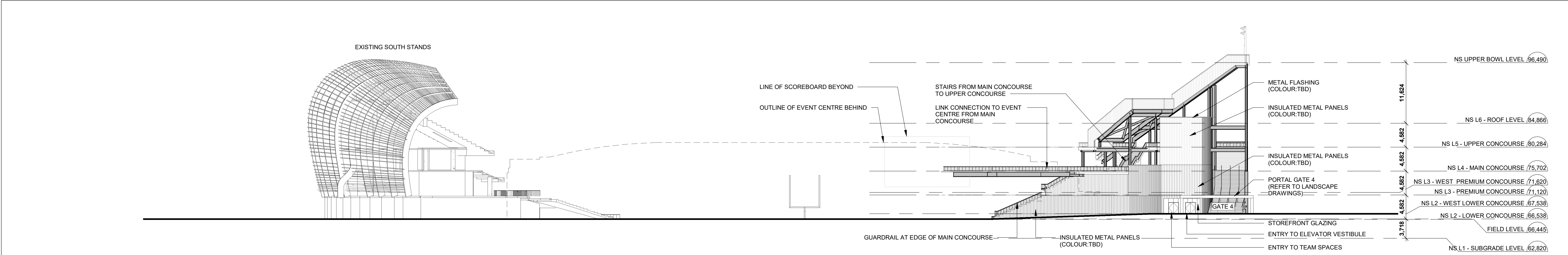
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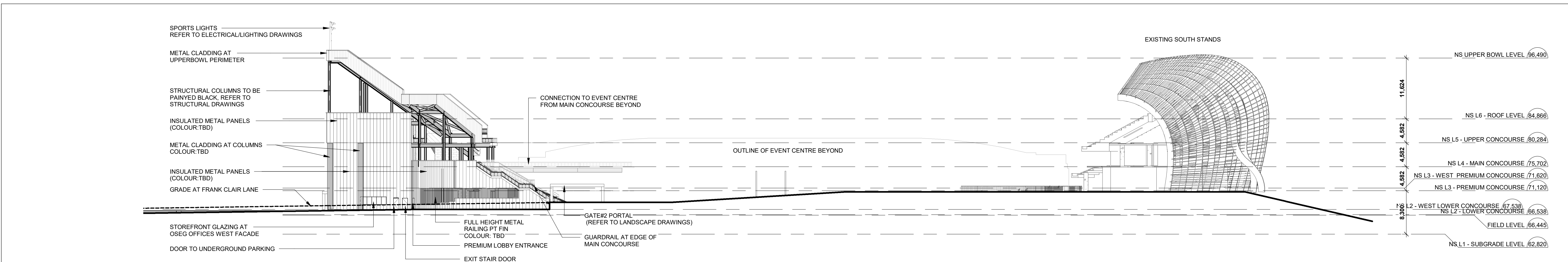
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1:400



3 NORTH STANDS - SOUTH ELEVATION DD - SPA  
1:400



2 NORTH STANDS - EAST ELEVATION DD - SPA  
1:400



1 NORTH STANDS - WEST ELEVATION DD - SPA  
1:400

REFER TO NS-A1-001 FOR GENERAL NOTES AND DRAWING LEGEND