© Copyright of BBB Architects Toronto Inc. 2024. Not to be reproduced or distributed without written authorization of the copyright owner. Ω.

ŝ

 $\overline{}$ Ņ

5

ดั

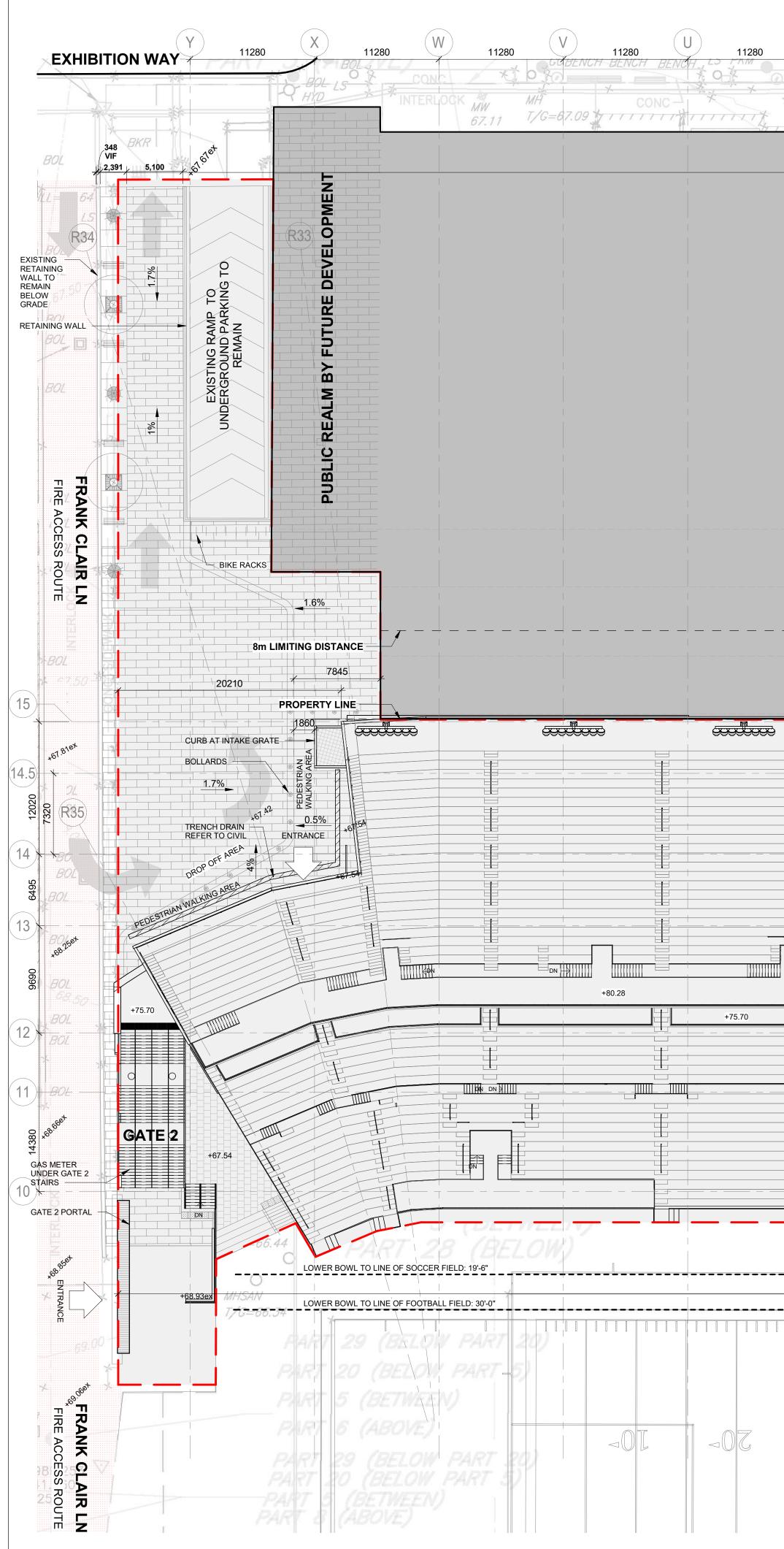
			19	BENED 4			L-t-T
		8					19
	8			AD	A MAN		Market Market Market
	. A. M.	ind	PAR' X			الملاطئة المسلم ا	
	8 19.74	z reigt -		PAUL		HULL CONTRACTOR	
o مرابع	ANDREW N	ICCREIGHT	<u>a</u>	PAULAS	RIN 1		EXHIBITIO
	IAGER, DEVELOPM IING, DEVELOPMEI				MARK A		EXHIBITIC
DEVE	LOPMENT DEPART	MENT, CITY O	OF OTTAWA				
APPR							
By Andre	w McCreight at 1:20 p	m, May 26, 2025					192
						Ix	145.10
_ \				SHIBITION WAY			
				XHIB	and the second	35	
X. Sert						NS PROPERTY LINE TO EXHIBITION WAY	FUTURE DF
				and the second s		N LINE T	EUTURE
						O EXHIBI	
		0000				TION WA	
		5,100	E			•	
		3	EXISTING RAMIP				
		BOL	Ra				
	SPUT STATES						A A A A A A A A A A A A A A A A A A A
A A A A A A A A A A A A A A A A A A A		VEHICULARIFIRE					
		10-67.5 PRIT			PROPERTY	INE	
				3			
BAN		12 Rep	MK CL	13340	PRO		
BANK ST		BILLES (SA)	COLES	20210	PRO.		
OE.79+		IRE F	COLES	20210			
BANK ST BANK ST		INC. SILVERIES	COESS ROUTE	20210	4 ²		
BANK ST BANK ST		IRE SULAR AND	COLES	20210			
BANK ST 02:30		PRE 2	COESS ROUTE	20210	4 ²		
BANK ST 0E:29+		PRE 2	COESS ROUTE	20210 x61	4 ²		
49. 		AND	COESS ROUTE	20210 x61	4 ²		
Project Information Review Date:		cial Plan Designation:	CCRUSS TROUT IL AST STREET	20210	4 ²		
Project Information Review Date: Municipal Address(es): Scope of Work:	945 & 1015 Bank Street Leg Site Plan Control application	cial Plan Designation:	Lansdowne Special District Plan 4R-26535	20210 +63.0.5eex	27 281 50 201 201 201 201 201 201 201 201 201 20		
Project Information Review Date: Municipal Address(es): Scope of Work: Existing Zoning Code:	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B By-	cial Plan Designation:	Lansdowne Special District Plan 4R-26535	20210 *50 *50 *50 *50 *50 *50 *50 *50 *50 *5	22 22 22 22 22 22 22 22 22 22 22 22 22		
Project Information Review Date: Municipal Address(es): Scope of Work: Existing Zoning Code: Schedule 1/1A Area:	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B By-	cial Plan Designation: pal Description:	Lansdowne Special District Plan 4R-26535	20210 *68.66ex	27 281 50 201 201 201 201 201 201 201 201 201 20		
Project Information Review Date: Municipal Address(es): Scope of Work:	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B By-	cial Plan Designation:	CCRESS TOLL A STARLE CRESS TOLL I A STARLE A STARLE	20210 *53 100 *68.66ex	42 42 42 42 42 467.54 467.54 40 40 40 40 40 40 40 40 40 4		
Project Information Review Date: Municipal Address(es): Scope of Work: Existing Zoning Code: Schedule 1/1A Area: Zoning Mechanism Minimum Lot Width Minimum Lot Area	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B By- Área X Ove L2C S258-A, S258-B Req. No minimum	cial Plan Designation: al Description: al North Stands N/A 8313.75 sqm	Creation of the second	20210 *53 100 *68.66ex	42 42 42 42 42 467.54 467.54 40 40 40 40 40 40 40 40 40 4		
Project Information Review Date: Municipal Address(es): Scope of Work: Existing Zoning Code: Schedule 1/1A Area: Zoning Mechanism Minimum Lot Width Minimum Lot Area Minimum Setback from Bank Street 176(I)(I)	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B Area X Ove L2C S258-A, S258-B Req. No minimum No minimum 3 m	cial Plan Designation: al Description: law Number: erlays Applicable: Proposed North Stands N/A 8313.75 sqm >3 m	Critics Houries Barbon Compliance Yes Yes Yes	20210 *53 100 *68.66ex	22 22 22 22 22 22 22 22 22 22 22 22 22		
Project Information Review Date: Municipal Address(es): Scope of Work: Existing Zoning Code: Schedule 1/1A Area: Zoning Mechanism Minimum Lot Area Minimum Lot Area Minimum Setback from Bank Street 176(I)(I) Minimum Setback from Holmwood Avenue 176(I)(II)	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B Area X Ove L2C S258-A, S258-B Req. No minimum No minimum 3 m 3 m 3 m	cial Plan Designation: al Description: law Number: erlays Applicable: Proposed North Stands N/A 8313.75 sqm >3 m	Critics Heritage Overlay Lansdowne Special District Plan 4R-26535 2008-250; Heritage Overlay Compliance Yes Yes Yes Yes	20210 *68.66ex	A2 499.89 499.89 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.69 400.69 40		
Project Information Review Date: Municipal Address(es): Scope of Work: Existing Zoning Code: Schedule 1/1A Area: Zoning Mechanism Minimum Lot Width Minimum Lot Area Minimum Setback from Bank Street 176(I)(i) Minimum Setback from Holmwood Avenue 176(I)(ii) Minimum Setback from Queen Elizabeth	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B Area X Ove L2C S258-A, S258-B Req. No minimum No minimum 3 m	cial Plan Designation: al Description: law Number: erlays Applicable: Proposed North Stands N/A 8313.75 sqm >3 m	Critics Houries Barbon Compliance Yes Yes Yes	20210 *53 100 *68.66ex	A2 499.89 499.89 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.69 400.69 40		
Project Information Review Date: Municipal Address(es): Scope of Work: Existing Zoning Code: Schedule 1/1A Area: Zoning Mechanism Minimum Lot Width Minimum Lot Area Minimum Setback from Bank Street 176(I)(I) Minimum Setback from Holmwood	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B Area X Ove L2C S258-A, S258-B Req. No minimum No minimum 3 m 3 m 3 m	cial Plan Designation: al Description: law Number: erlays Applicable: Proposed North Stands N/A 8313.75 sqm >3 m	Critics Heritage Overlay Lansdowne Special District Plan 4R-26535 2008-250; Heritage Overlay Compliance Yes Yes Yes Yes	20210 *53 100 *68.66ex	A2 499.89 499.89 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.69 400.69 40	TIRE FRAME	
Project Information Review Date: Municipal Address(es): Scope of Work: Existing Zoning Code: Schedule 1/1A Area: Zoning Mechanism Minimum Lot Width Minimum Lot Width Minimum Setback from Bank Street 176(I)(i) Minimum Setback from Holmwood Avenue 176(I)(ii) Minimum Setback from Queen Elizabeth Driveway 176(I)(iii) Maximum Building Height (Schedule 258-A) Maximum Non-Residential Gross	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B Area X Over L2C S258-A, S258-B Req. No minimum No minimum 3 m 3 m 7.5 m	cial Plan Designation: al Description: al Description: al N/A Proposed North Stands N/A > 3 m > 3 m > 7.5 m Area J: 30.38m Area N: no	Correstination of the second s	20210 *53 100 *68.66ex	A2 499.89 499.89 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.69 400.69 40	TIRE FRAME	
Project Information Review Date: Municipal Address(es): Scope of Work: Existing Zoning Code: Schedule 1/1A Area: Zoning Mechanism Minimum Lot Width Minimum Lot Width Minimum Setback from Bank Street 176(I)(i) Minimum Setback from Holmwood Avenue 176(I)(ii) Minimum Setback from Queen Elizabeth Driveway 176(I)(iii) Maximum Building Height (Schedule 258-A) Maximum Non-Residential Gross Leasable Floor Area (Full Site) 176(3)(b)	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B By- Area X Ove L2C S258-A, S258-B Req. No minimum No minimum 3 m 3 m 7.5 m Area J, 38 m Area N, 138 m 33,450 sqm 33,450 sqm	cial Plan Designation: al Description: al Description: al N/A Proposed North Stands N/A 8313.75 sqm >3 m >3 m >3 m >7.5 m Area J: 30.38m Area N: no buildings proposed Not applicable to the proposed north stands	Creation of the second	20210 *53 100 *68.66ex	A2 499.89 499.89 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.69 400.69 40		
Project Information Review Date: Municipal Address(es): Scope of Work: Existing Zoning Code: Schedule 1/1A Area: Zoning Mechanism Minimum Lot Width Minimum Lot Width Minimum Setback from Bank Street 176(I)(i) Minimum Setback from Holmwood Avenue 176(I)(ii) Minimum Setback from Holmwood Avenue 176(I)(iii) Minimum Setback from Holmwood Avenue 176(I)(iii) Minimum Setback from Holmwood Avenue 176(I)(iii) Minimum Setback from Queen Elizabeth Driveway 176(I)(iii) Maximum Building Height (Schedule 258-A) Maximum Non-Residential Gross Leasable Floor Area (Full	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B By- Area X Ove Ove L2C S258-A, S258-B Req. No minimum No minimum No minimum 3 m 7.5 m Area J, 38 m Area N, 138 m Area N, 138 m	cial Plan Designation: al Description: law Number: erlays Applicable: Proposed North Stands N/A 8313.75 sqm >3 m >3 m >3 m >7.5 m Area J: 30.38m Area N: no buildings proposed	Critics Harting And	20210 *53 100 *68.66ex	A2 499.89 499.89 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.69 400.69 40	TIRE FRAME	
Project Information Review Date: Municipal Address(es): Scope of Work: Existing Zoning Code: Schedule 1/1A Area: Zoning Mechanism Minimum Lot Width Minimum Lot Width Minimum Setback from Bank Street 176(I)(I) Minimum Setback from Holmwood Avenue 176(I)(II) Minimum Setback from Queen Elizabeth Driveway 176(I)(III) Maximum Building Height (Schedule 258-A) Maximum Non-Residential Gross Leasable Floor Area (Full Site) 176(3)(b) Maximum Office Gross Leasable Floor Area (Full Site) 176(3)(c)	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B By- Area X Over L2C S258-A, S258-B Req. No minimum No minimum 3 m 3 m 7.5 m Area J, 38 m Area N, 138 m 33,450 sqm 9,300 sqm 1230 spaces across L2C and O1S zones. No minimum	cial Plan Designation: al Description: al Description: al Description: al NA broposed North Stands NA 8313.75 sqm >3 m >3 m >3 m >7.5 m Area J: 30.38m Area N: no buildings proposed Not applicable to the proposed north stands Not applicable to the proposed north stands	Critics Harting And	20210 *53 100 *68.66ex	A2 499.89 499.89 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.69 400.69 40	TIRE FRAME	
Project Information Review Date: Municipal Address(es): Scope of Work: Existing Zoning Code: Schedule 1/1A Area: Zoning Mechanism Minimum Lot Width Minimum Lot Width Minimum Setback from Bank Street 176(I)(II) Minimum Setback from Bank Street 176(I)(II) Minimum Setback from Queen Elizabeth Driveway 176(I)(III) Maximum Building Height (Schedule 258-A) Maximum Non-Residential Gross Leasable Floor Area (Full Site) 176(3)(b) Maximum Office Gross Leasable Floor Area (Full Site) 176(3)(c) Minimum Vehicle Parking Section 101 176(5)(c)	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B By- Area X Ove L2C S258-A, S258-B Req. No minimum No minimum 3 m 3 m 3 m 7.5 m Area N, 138 m 33,450 sqm 9,300 sqm 1230 spaces across L2C and O1S zones. No minimum parking rates are required for Area J on Schedule 487.	cial Plan Designation: al Description: law Number: erlays Applicable: Proposed North Stands N/A 8313.75 sqm >3 m >3 m >3 m >7.5 m Area J: 30.38m Area N: no buildings proposed Not applicable to the proposed north stands Not applicable to the proposed north stands Not applicable to the proposed north stands Not applicable to the proposed north stands	Control and a second se	20210 *53 100 *68.66ex	A2 499.89 499.89 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.69 400.69 40	TIRE FRAME	
Project Information Review Date: Municipal Address(es): Scope of Work: Existing Zoning Code: Schedule 1/1A Area: Zoning Mechanism Minimum Lot Width Minimum Lot Width Minimum Setback from Bank Street 176(I)(I) Minimum Setback from Holmwood Avenue 176(I)(II) Minimum Setback from Queen Elizabeth Driveway 176(I)(III) Maximum Building Height (Schedule 258-A) Maximum Non-Residential Gross Leasable Floor Area (Full Site) 176(3)(b) Maximum Office Gross Leasable Floor Area (Full Site) 176(3)(c)	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B By- Area X Over L2C S258-A, S258-B Req. No minimum No minimum 3 m 3 m 7.5 m Area J, 38 m Area N, 138 m 33,450 sqm 9,300 sqm 1230 spaces across L2C and O1S zones. No minimum	cial Plan Designation: al Description: al Description: al Description: al NA broposed North Stands NA 8313.75 sqm >3 m >3 m >3 m >7.5 m Area J: 30.38m Area N: no buildings proposed Not applicable to the proposed north stands Not applicable to the proposed north stands	Critics Hartinger Overlay Lansdowne Special District Plan 4R-26535 2008-250; Heritage Overlay Compliance Yes Yes Yes Yes Yes Yes Yes Yes Yes Ye	20210 *53 100 *68.66ex	A2 499.89 499.89 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.69 400.69 40	TIRE FRAME	
Project Information Review Date: Municipal Address(es): Scope of Work: Existing Zoning Code: Schedule 1/1A Area: Zoning Mechanism Minimum Lot Width Minimum Lot Width Minimum Setback from Bank Street 176(I)(i) Minimum Setback from Holmwood Avenue 176(I)(ii) Minimum Setback from Queen Elizabeth Driveway 176(I)(iii) Maximum Building Height (Schedule 258-A) Maximum Non-Residential Gross Leasable Floor Area (Full Site) 176(3)(b) Maximum Office Gross Leasable Floor Area (Full Site) 176(3)(c) Minimum Vehicle Parking Section 101 176(5)(c)	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B By- Area X Ove L2C S258-A, S258-B Req. No minimum No minimum 3 m 3 m 3 m 7.5 m Area N, 138 m 33,450 sqm 9,300 sqm 1230 spaces across L2C and O1S zones. No minimum parking rates are required for Area J on Schedule 487.	cial Plan Designation: al Description: al Description: al Number: al Numbe	Control and a second se	20210 *53 100 *68.66ex	A2 499.89 499.89 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.69 400.69 40	TIRE FRAME	
Project Information Review Date: Municipal Address(es): Scope of Work: Existing Zoning Code: Schedule 1/1A Area: Zoning Mechanism Minimum Lot Width Minimum Lot Area Minimum Setback from Bank Street 176(I)(I) Minimum Setback from Holmwood Avenue 176(I)(II) Minimum Setback from Queen Elizabeth Driveway 176(I)(III) Maximum Building Height (Schedule 258-A) Maximum Non-Residential Gross Leasable Floor Area (Full Site) 176(3)(b) Maximum Office Gross Leasable Floor Area (Full Site) 176(3)(c) Minimum Vehicle Parking Section 101 176(5)(c)	945 & 1015 Bank Street Leg Site Plan Control application L2C S258-A, S258-B By- Area X Ove L2C S258-A, S258-B Req. No minimum No minimum 3 m 3 m 7.5 m Area N, 138 m 33,450 sqm 9,300 sqm 1230 spaces across L2C and O1S zones. No minimum parking rates are required for Area J on Schedule 487. 2.6 m 1 space per 1,500 sqm of GFA 13,879 sqm = 9.25	cial Plan Designation: al Description: al Description:	Critics Plan 4R-26535 2008-250; Heritage Overlay Yes Yes Yes Yes Yes Yes Yes Yes Yes	20210 *53 100 *68.66ex	A2 499.89 499.89 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.68 499.69 400.69 40	TIRE FRAME	



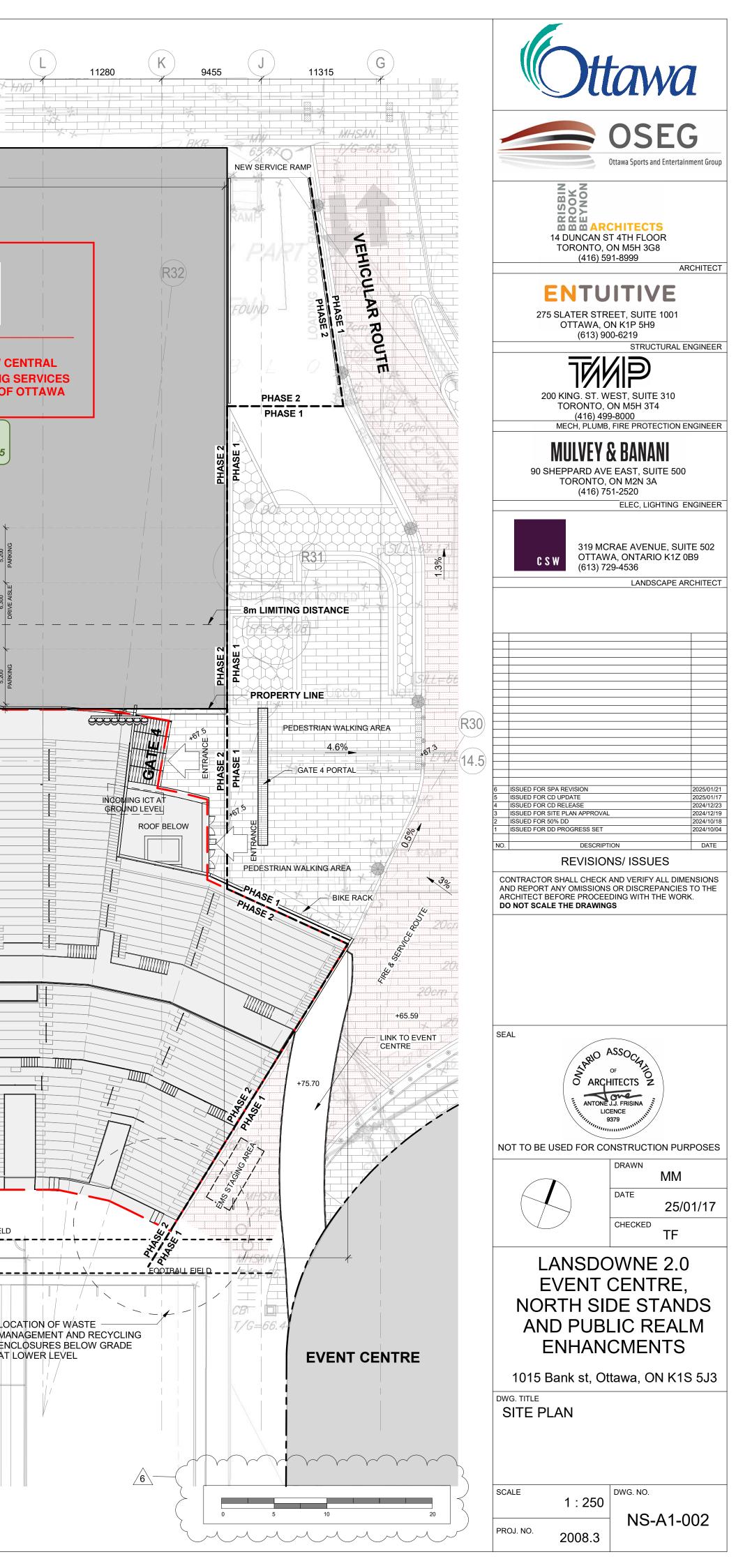
/////				//		
					Ott	awa
						OSEG
	EXISTING GREAT LAWN				RISBIN ROOK EYNON	DN M5H 3G8
				1/////////////////////////////////////	ENTU 275 SLATER STR OTTAWA, C (613) 90	ITIVE EET, SUITE 1001 N K1P 5H9
					200 KING. ST. W TORONTO, 0 (416) 499	STRUCTURAL ENGINEER
					90 SHEPPARD AVE TORONTO, (416) 75	S BANANI E EAST, SUITE 500 ON M2N 3A
						RAE AVENUE, SUITE 502 A, ONTARIO K1Z 0B9 9-4536 LANDSCAPE ARCHITECT
				VIIII		
					7 ISSUED FOR SPA REVISION	2025/01/21
		<u>LEGE</u> O	<u>ND</u> FIRE HYDRANT		6 ISSUED FOR CD UPDATE 5 ISSUED FOR CD RELEASE 4 ISSUED FOR SITE PLAN APPROVAL 3 ISSUED FOR 90% DD - CLASS B ES	2025/01/17 2024/12/23 2024/12/19
		0	EXISTING FIRE HYDRANT		2 ISSUED FOR 50% DD 1 ISSUED FOR DD PROGRESS SET NO. DESCRIPT	2024/10/18 2024/10/04 ION DATE
			PRECAST CONCRETE STEPS		CONTRACTOR SHALL CHECK AND REPORT ANY OMISSIONS	
		[]]]	TOTAL LOT AREA (37,300 m ²)		ARCHITECT BEFORE PROCEE DO NOT SCALE THE DRAWING	DING WITH THE WORK.
		╈ᡇ	LIGHT COLUMN			
15911		+66.75	PROPOSED SPOT ELEVATION	1		
+ 150		+66.75ex	EXISTING SPOT ELEVATION			
+	+		APPROX. OHT EASEMENT PROPERTY BOUNDARY		SEAL	ASSOCIA
+		0000	BOLLARDS			ASSOCIATION OF ITECTS Z
			TWSI TYPE 3: ATTENTION		ANTONE IIII LIC	JJ. FRISINA ENCE 379
		· · · · · · · · · · · · · · · · · · ·	FIRE ROUTE ACCESS		NOT TO BE USED FOR CO	
GENEF 1.	RAL NOTES: ALL EXTERIOR LIGHTING SHALL BE DIREC INFRINGE UPON ADJACENT PROPERTIES					DATE
2.	ALL ROOF TOP MECHANICAL UNITS SHAL AND BE LOCATED BEHIND THE BUILDING	L BE SCRE				25/01/17 ^{СНЕСКЕД} ТF
3.	ALL STRUCTURAL DESIGN ARE TO BE AP ENGINEER FOR THE PROJECT	PROVED B	Y THE STRUCTURAL		LANSDO	WNE 2.0
4. 5.	ALL DIMENSIONS ARE IN MILLIMETERS UP REFER TO DRAWINGS AND REPORTS PR -SITE SERVICING AND GRADING B -LANDSCAPING BY: CSW LANDSCA -ELECTRICAL SERVICES BY: MBII	EPARED B' 8Y: WSP	Y :		NORTH SII AND PUBI	CENTRE, DE STANDS LIC REALM
6.	LOCATION OF WASTE MANAGEMENT AND ONE LEVEL DOWN OFF OF THE LOADING		NG ENCLOSURES LOCATED			CMENTS tawa, ON K1S 5J3
7.	SIGNAGE AND PAVEMENT MARKING SHAI STANDARDS - ALL SITE SIGNAGE DESIGN TO CODE AND AUTHORITY HAVING JURIS	I IS IN DEV	ELOPMENT AND WILL COMPLY		DWG. TITLE SITE PLAN CON	
8.	SNOW REMOVAL OPERATIONS ARE TO B SNOW IS TO BE TRANSFERRED TO GREA REMOVAL	T LAWN FO	OR SUBSEQUENT OFF-SITE			
9.	PROPERTY INFORMATION DERIVED FROM OCTOBER 23, 2024				SCALE As indicated	DWG. NO.
	NS CONTEXT SITE PLAN				PROJ. NO. 2008.3	NS-A1-001

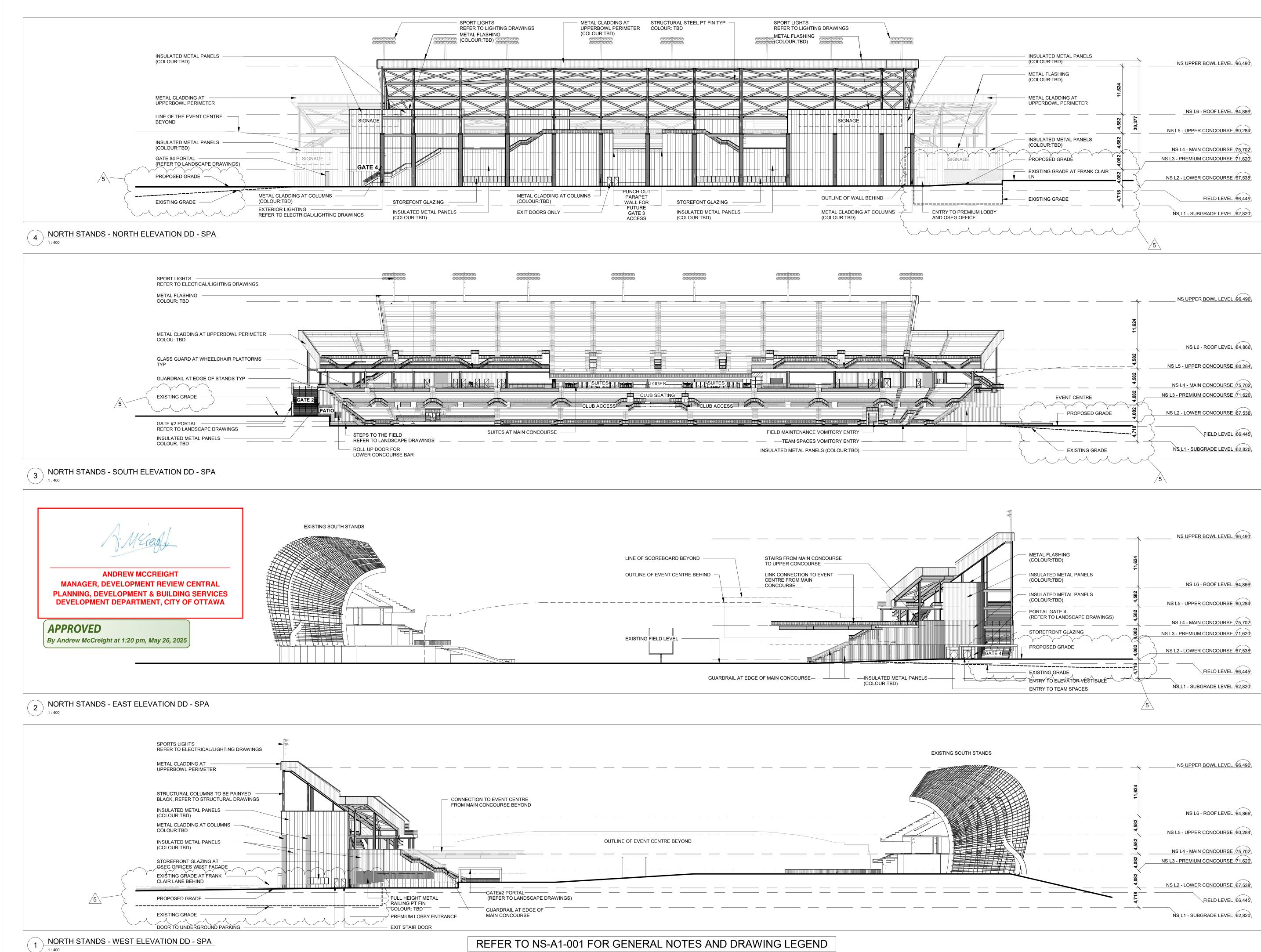


РЕОТТЕВ: 2025-01-21 5:55:42 РМ



Т	11280 S	11280 R 11280	BENCH BENCHBER LS BR	N 11280 R BENCH BENCH	11280 M 11280
× 1		+ the state of the	大冊愛之堂		R + + + + + + + + + + + + + + + + + + +
			PMENT		ANDREW MCCREIGHT ANAGER, DEVELOPMENT REVIEW C NNING, DEVELOPMENT & BUILDING VELOPMENT DEPARTMENT, CITY OF
					Prew McCreight at 1:20 pm, May 26, 2025
	44.378 44.378 44.378 1				
				MAIN ELECTRICAL AT GROUND LEVEL	MAIN MEP AT GROUND LEVEL +80.28
	E ~0	EXISTING FIELD TO F	S OF	08-08	
REFE	R TO NS-A1	-001 FOR GENERAL NO	TES AND DRAWING I	LEGEND	

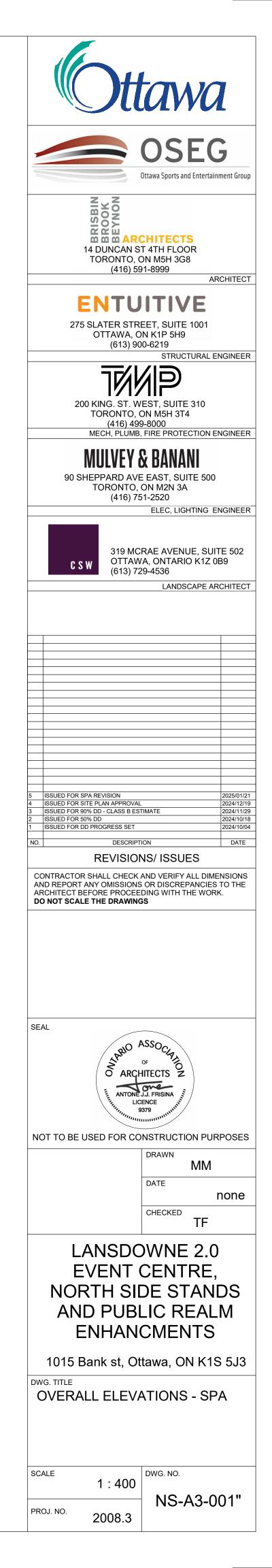




202 writ 56 ort . Ω ~ Ņ ò \sim ъ, с

60

02



]		NS UPPER BOWL LEVEL 96,490
	METAL FLASHING (COLOUR:TBD)	11,624	
	INSULATED METAL PANELS (COLOUR:TBD)		NS L6 - ROOF LEVEL 84,866
	INSULATED METAL PANELS (COLOUR:TBD)	4,582	NS L5 - UPPER CONCOURSE 80,284
	PORTAL GATE 4 (REFER TO LANDSCAPE DRAWINGS)	4,582	NS L4 - MAIN CONCOURSE 75,702
		4,082	NS L3 - PREMIUM CONCOURSE 71,620
TE 4	PROPOSED GRADE	4,082	NS L2 - LOWER CONCOURSE 67,538
 .		4,718	FIELD LEVEL 66,445
	ENTRY TO ELEVATOR VESTIBULE		NS_L1 - SUBGRADE LEVEL 62,820
			5