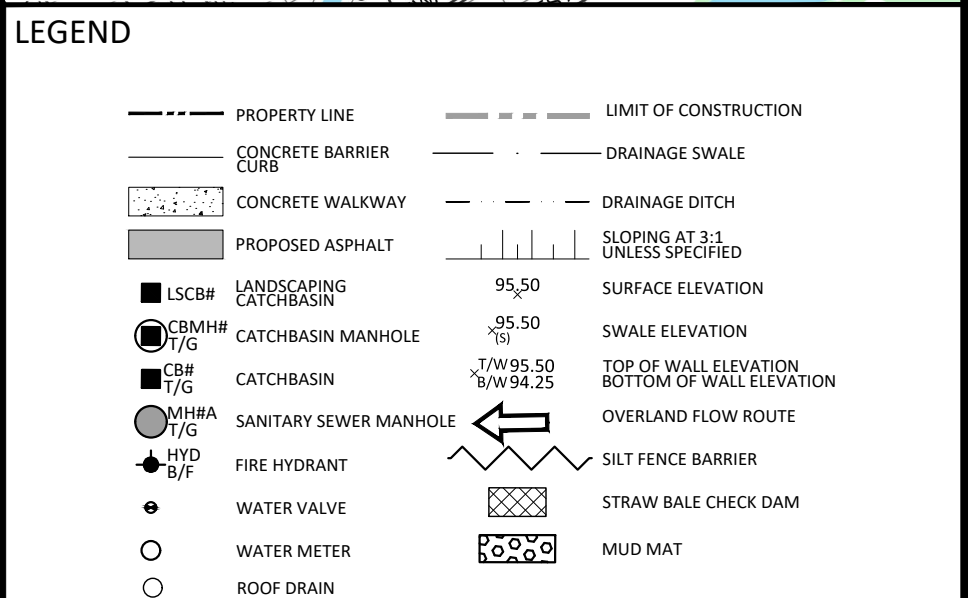



1. THE ORIGINAL TOPOGRAPHY, GRADE, ELEVATION AND LOCATION OF ALL EXISTING UTILITIES AND INFORMATION FOR PURPOSES ONLY, AND IMPLY NO GUARANTEE OF ACCURACY, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE INFORMATION.
2. THIS PLAN IS NOT A CADASTRAL SURVEY SHOWING LEGAL PROPERTY BOUNDARIES AND EASEMENTS. THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN DERIVED FROM CORNER EVIDENCE FILED IN THE LAND AND REVENUE SURVEYING LOG. (JOB NO. 432.75) AND CANNOT BE RELIED UPON TO CORROBORATE OR COMPLETE. THE PRECISE LOCATION OF ANY PROPERTY CORNER OR EASEMENT LINE THEREON CAN ONLY BE DETERMINED BY AN UP-TO-DATE LAND TITLES AND A SUBSEQUENTLY CONDUCTED SURVEY TO BE PERFORMED AND CERTIFIED BY AN ONTARIO LAND SURVEYOR.
3. THE CONTRACTOR IS TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY BEFORE COMMENCING CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAND.
5. THE CONTRACTOR IS TO DETERMINE THE EXIST LOCATION, DEPTH, MATERIAL AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND MAINTAIN ALL EXISTING UTILITIES. THE CONTRACTOR IS TO EITHER SHOW OR NOT SHOW ON THESE DRAWINGS. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
6. RESTORE ALL TRENCHES AND SURFACES OF PUBLIC ROAD ALLOWANCES TO CONDITION EQUAL OR BETTER THAN ORIGINAL CONDITION AND TO THE SATISFACTION OF THE CITY AUTHORITY.
7. EXCAVATE AND DISPOSE OF ALL EXCESS EXCAVATED MATERIAL, SUCH AS ASPHALT, CURBING AND DEBRIS, OFF SITE AS DIRECTED BY THE ENGINEER AND THE CITY.
8. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER. ALL EXCESS MATERIAL TO BE DISPOSED, OR TO BE OFF SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRANSPORTATION, INCLUDING THE SUPPLY, INSTALLATION, AND REMOVAL OF ANY NECESSARY SIGNAGE, DELIMITATORS, MARKERS AND BARRIERS.
9. DO NOT ALTER GRADING OF THE SITE WITHOUT PRIOR APPROVAL OF THE ENGINEER/CITY.
10. ALL ROADWAY, PARKING LOT, AND GRADING WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
11. CONTACT THE CITY FOR INSPECTION OF ROUGH GRADING OF PARKING LOTS, ROADWAYS AND LANDSCAPED AREAS PRIOR TO TOPSOILING. ANY DISCREPANCIES OR DIFFERENCES NOTED SHALL BE RECTIFIED TO THE CITY'S SATISFACTION PRIOR TO TOPSOILING. ALL PLANTING OF ANY ASPHALT, TOPSOIL, SEED & MULCH AND/OR SOD.
12. ALL DIMENSIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION, IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS NOTIFIED BY THE ENGINEER/CITY.
13. ELECTRICAL, GAS, TELEPHONE AND TELEVISION SERVICE. THE CONTRACTOR IS TO PROVIDE THE FOLLOWING:
 - ELECTRICAL SERVICE - HULL CANTON, ONTARIO
 - GAS SERVICE - HULL CANTON, ONTARIO
 - TELEPHONE SERVICE - HULL CANTON, ONTARIO
 - TELEVISION SERVICE - HULL CANTON, ONTARIO
14. INSTALLATION TO BE IN ACCORDANCE WITH CURRENT CODES AND STANDARDS OF APPROVAL AGENCIES HYDRO ONTARIO, BELL AND THE CITY.
15. CONTRACTOR TO ENSURE ALL APPLICABLE OPS SPECIFICATIONS ARE FOLLOWED DURING CONSTRUCTION
16. PROPOSED CURB TO BE CONCRETE BARRIER CURB UNLESS OTHERWISE NOTED.
17. THIS PLAN MUST BE READ IN CONJUNCTION WITH THE GEOTECHNICAL INVESTIGATION.



03	ISSUED FOR SUBMISSION	12/10/2024
02	ISSUED FOR RE-ZONING	08/28/2023
01	ISSUED FOR REVIEW	08/24/2023
No.	Revisions	Date

SCALE 1 : 100



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Drawing Title:

SITE REMOVALS PLAN

Scale: 1:100	Project Number: CCO-24-0450
Drawn By: R.P.	
Checked By: A.B.	Drawing Number: REM
Designed By: R.P.	