

NOTE:  
THE POSITION OF ALL POLE LINES, CONDUITS,  
WATERMAINS, SEWERS AND OTHER  
UNDERGROUND AND OVERGROUND UTILITIES AND  
STRUCTURES IS NOT NECESSARILY SHOWN ON  
THE CONTRACT DRAWINGS, AND WHERE SHOWN,  
THE ACCURACY OF THE POSITION OF SUCH  
UTILITIES AND STRUCTURES IS NOT GUARANTEED.  
BEFORE STARTING WORK, DETERMINE THE EXACT  
LOCATION OF ALL SUCH UTILITIES AND  
STRUCTURES AND ASSUME ALL LIABILITY FOR  
DAMAGE TO THEM.

Owner:  
Bank & Dun Developments Inc,  
c/o Paul Paglialunga  
209 Wicksteed Avenue, Suite 30  
Toronto, ON M4C 2B1

**DISCLAIMER:**  
The elements on this plan illustrate the design intent, general constructability of the proposed landscape, will support the associated development. This is to demonstrate how the canopy cover, urban design and climate change objectives of the Official Plan are met through tree planting and site design. This draft is for City review only and is not intended for construction. Final detailed design and construction documentation will be provided with certified 'Issued for Construction' drawings and specifications prior to construction.

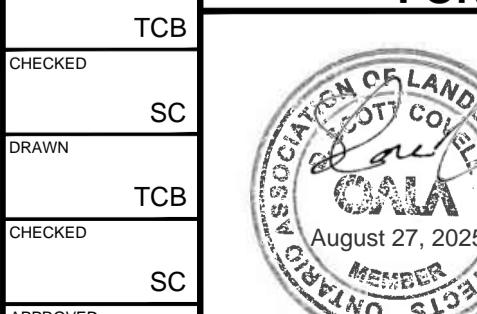
No.	Botanical Name	Common Name	DBH (cm)	CRZ (m)	Condition	Owner	Remarks	Recommendation
70	<i>Ulmus americana</i>	White Elm	37.0	3.70	F	Owner	bow in trunk,	PROTECT
71	<i>Acer saccharum</i>	Sugar Maple	10.0	1.00	F	Owner	intertwined with dead tree	PROTECT
72	<i>Acer saccharum</i>	Sugar Maple	12.0	1.20	G	Owner		PROTECT
73	<i>Acer saccharum</i>	Sugar Maple	41.0	4.10	P	Owner	Twin trunk, rot, dead tree fallen between two trunks, split trunks	Remove
74	<i>Acer saccharum</i>	Sugar Maple	32.0	3.20	G	Owner		Conflict
75	<i>Ulmus americana</i>	White Elm	60.0	6.00	F	Owner	Minor splitting	Conflict
76	<i>Acer saccharum</i>	Sugar Maple	37.0	3.70	G	Owner		Conflict
78	<i>Acer saccharum</i>	Sugar Maple	27.0	2.70	G	Owner		Conflict
79	<i>Thuja</i> sp.	Cedar	20.0	2.00	G	Owner		Conflict
80	<i>Quercus rubra</i>	Red Oak	10.0	1.00	G	City		PROTECT

Legend				
G	Good	<b>Conflict</b>	Remove due to conflict with construction.	
F	Fair	Remove	Remove due to tree health or invasive status.	
P	Poor	PROTECT	Protect trees as per contract details and specifications.	
VP	Very Poor			

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**GERALDINE WILDMAN  
MANAGER, DEVELOPMENT REVIEW SOUTH  
PLANNING, DEVELOPMENT AND BUILDING SERVICES  
DEPARTMENT. CITY OF OTTAWA**

**APPROVED**  
By Geraldine Wildman at 7:07 pm, Dec 15, 2025



**FOR REVIEW ONLY**

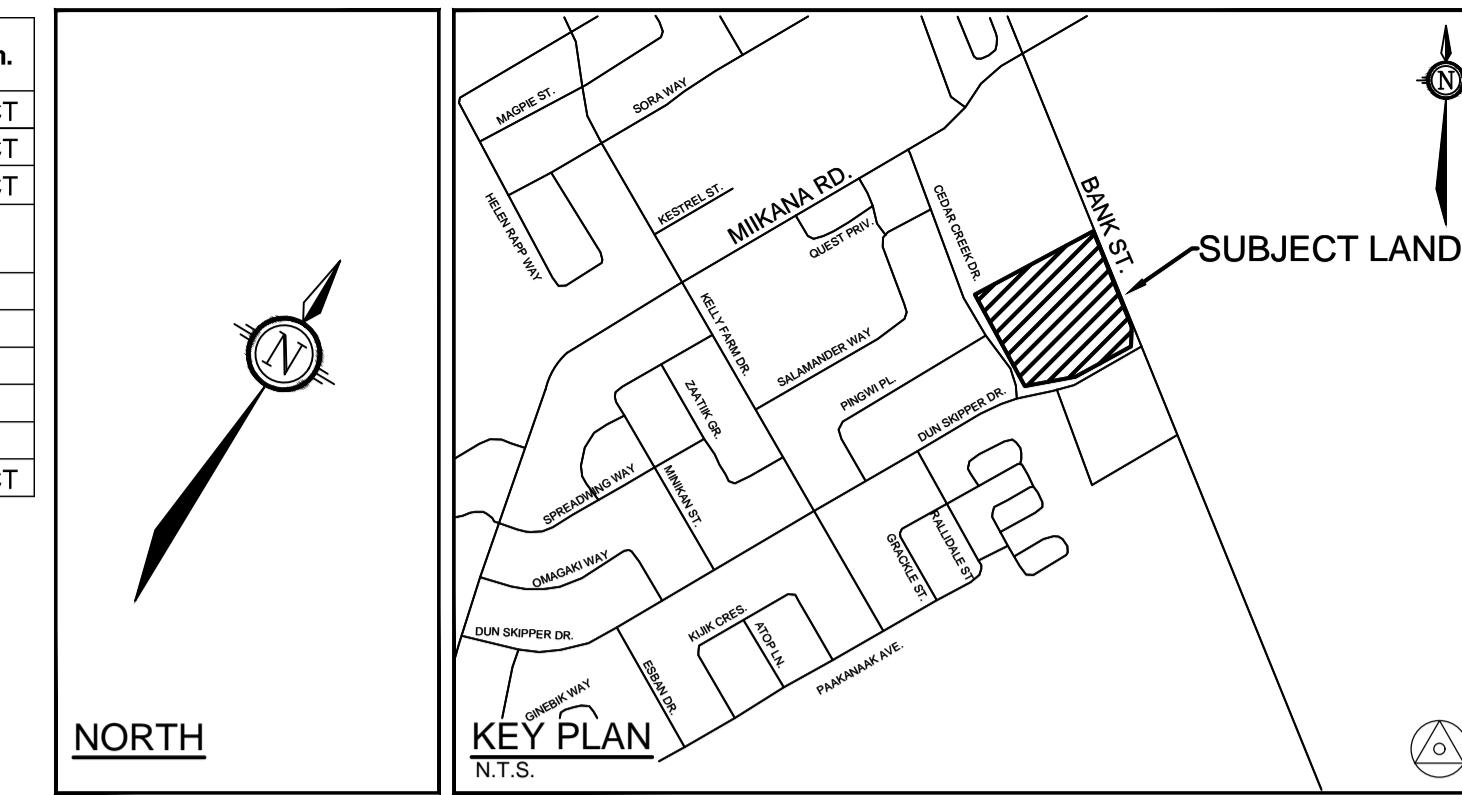
AT&CH

AT-CH  
s & Landscape Architects  
Michael Cowpland Drive  
Ottawa, Canada K2M 1P6  
(613) 254-9643  
(613) 254-5867

APPLICATION  
CITY OF OTTAWA  
20 DUN SKIPPED DRIVE - RESIDENTIAL DEVELOPMENT

**DRAWING NAME**  
**REE CONSERVATION PLAN**

4107  
/ # 3  
CR



## LEGEND

DETAIL SHEET # G. L <sub>1</sub> , L <sub>2</sub> , ETC.	NOVATECH OR CITY DETAIL NUMBER SEE LIST FOR CODE	
PROPERTY LIMIT		
EXISTING TREE TO REMAIN, SYMBOL SIZE REFLECTS CRZ		
EXISTING TREE TO REMOVE, SYMBOL SIZE REFLECTS CRZ		
TREE PROTECTION FENCE OR RESIDENTIAL DEVELOPMENT		
TREE PROTECTION FENCE OR COMMERCIAL DEVELOPMENT (BY OTHERS)		
EXISTING VEGETATION WITH DBH LESS THAN 10cm		
		<ol style="list-style-type: none"><li>1. Read and interpret this drawing/ drawing set in conjunction with all the contract details and specifications, including related civil, utility, structural, architectural, mechanical, electrical, environmental, geotechnical, and survey information.</li><li>2. The Contractor is to determine the exact location, size, material, and elevation of all existing utilities prior to commencing construction. Protect and assume responsibility for all existing utilities regardless of being shown on the drawings.</li><li>3. It is essential to use the plans and details in conjunction with the specifications and notes.</li><li>4. Do not scale drawings. Work to dimensions only.</li><li>5. Protect all existing and retained vegetation for the duration of construction according to the contract details and specifications.</li><li>6. Reinstate all areas and items damaged or disturbed, beyond the Limit of Work, because of construction activities, including but not limited to construction staging areas, haul roads, stockpile areas, etc. to the satisfaction of the Consultant. Unless otherwise noted, Contractor is to reinstate all areas to pre-construction condition or better to the satisfaction of the Contract Administrator.</li></ol>

## CONSTRUCTION

1. All general site information and conditions are compiled from Consultant field notes and plans provided by the Owner and are supplied for information purposes only. It is the responsibility of the Contractor to verify the accuracy of all the information obtained from this plan.
2. Together with all Subcontractors involved, the Contractor is to examine all surfaces or conditions relating to the work, in order to determine the acceptability of such surfaces or conditions for the work to commence. Notify the Contract Administrator in writing of conditions which could be detrimental to installation and do not commence work until instructed by the Contract Administrator. The commencement of work implies Contractor acceptance of the conditions.
3. Contractor to check and report any discrepancies before commencing work. No responsibility is borne by the Consultants for subsurface conditions.
4. Contractor to check and verify all dimensions and quantities on site and report any errors or omissions to the Consultant.
5. Contractor is responsible for all fees arising from the completion of works conveyed by these drawings, details, and specifications.
6. Carry out all construction in accordance with the most current provincial and municipal standards and specifications.
7. Contractor to coordinate all access and protect the public and users of the site with appropriate control fence and supervision throughout the construction period, to the satisfaction of the Consultant.
8. Contract Administrator is to approve access point(s) prior to mobilization.
9. A Contractor flagman is required to direct all deliveries of machinery or materials to the site.
10. Contractor to coordinate and schedule all work with other trades and contractors. Contractor is to notify Contract Administrator of any schedule difficulties.
11. Contractor responsible for the removal and off-site disposal of all materials as required to facilitate new construction. Store all items and materials identified by the Consultant for salvage at a location on site as identified by the Consultant. Excavate and remove from site any contaminated material. Dispose all contaminated material at a licensed landfill facility.
12. Maintain site in a clean and orderly state for the duration of construction; perform all work in accordance with the Occupational Health and Safety Act. Remove all excess materials, packaging, and debris from the site.
13. Contractor is responsible to take all necessary measures to control dust on the project site and to the satisfaction of the Contract Administrator.
14. Contractor is responsible for all layout for construction purposes.
15. Contractor is to protect all iron bars. Replace any disturbed bars by Owner at the Contractor expense.
16. The Contractor is to notify the Contract Administrator upon completion of the required works to schedule an inspection for acceptance.

Implement the following protection measures for retained trees, both on site and on adjacent sites, prior to any work activity, including tree removal. Maintain tree protection fence in place and in good condition for the duration of site works:

1. The Landscape Architect or Certified Arborist is to determine the location of the tree protection fencing and detail it on any associated plans for the site (e.g. tree conservation report, tree disclosure report, etc.).
2. Under the guidance of a Landscape Architect or Certified Arborist, erect a fence at the critical root zone (CRZ) of trees. Diameter at breast height (DBH) is the trunk diameter measured at 1.3m height on the tree trunk. The CRZ is calculated as DBH x 10. Refer to the Tree Protection Fence detail.
3. Refer to the Tree Protection Plan for fence location. City Forestry Staff are to approve both the plan and the installed fence prior to work commencement.
4. Do not place any material or equipment within 2m of the CRZ of any tree, including outhouses.
5. Do not attach any signs, notices, or posters to any tree.
6. Do not disturb, raise, or lower the existing grade within the CRZ without approval.
7. Only tunnel or bore when digging within the CRZ of a tree. Hand work only where required within the CRZ; absolutely no machinery permitted.
8. Do not damage the root system, trunk, or branches, or any tree.
9. Do not extend hard surface or significantly change landscaping.
10. Ensure that exhaust fumes from all equipment are directed away from any tree canopy.
11. When trees marked for removal overlap with the CRZ of trees marked for preservation: cut roots at the edge of the CRZ and grind down stumps after tree removals, do not pull out stumps. Ensure there is not root pulling or disturbance of the ground within the CRZ.
12. Prior to work taking place, notify and consult the Landscape Architect and City Forestry Staff if roots must be cut. Roots 20mm or larger should be cut at right angles with clean, sharp horticultural tools without tearing, crushing, or pulling. Refer to City of Ottawa Specification S.P. F-8011 Tree Protection, Excavation of Root Zone.
13. If damaged or objectionable branches are observed, consult the Landscape Architect, before any work is conducted. Do not prune leaders. Do not prune more than 1/4 of crown.
14. Set up a water and fertilizing program, if trees are being affected by site works, to the satisfaction of the Landscape Architect.
15. The Landscape Architect is to prescribe mitigation measures if the protected fenced area must be reduced to facilitate construction. Measures may include the placement of plywood, wood chips, or steel plating over the roots for protection. City Forestry Staff are to approve said measures prior to fence movement.

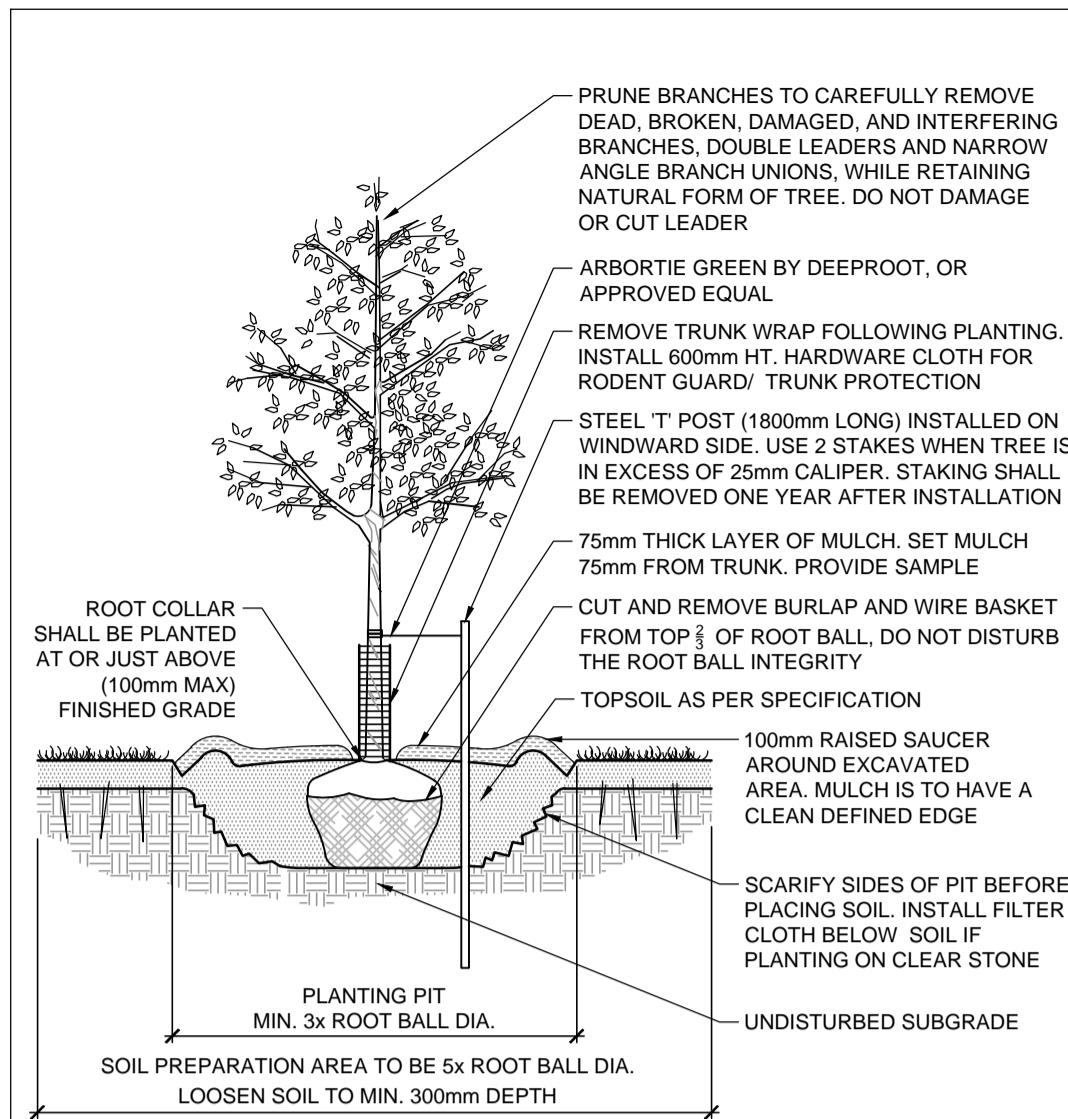
## CITY DETAILS

Related details from City of Ottawa Standard Tender Documents  
Volume No. 2 Standard Detail Drawings.

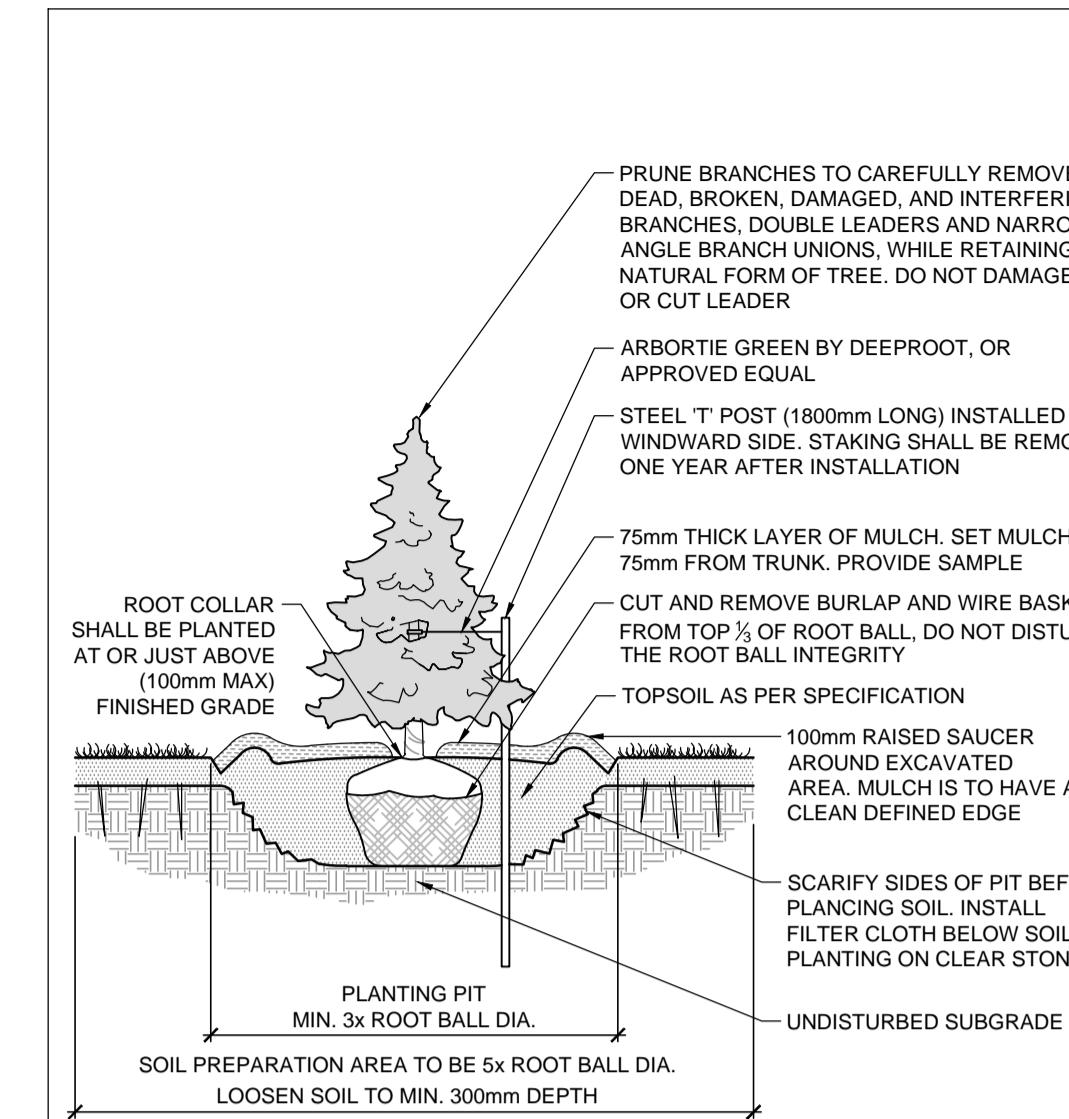
## E7 Tree Preservation Protection Fence

:\Temp\AcP\Pub\10720124107\_TCR-Resi.dwg, TCR-Residential, Aug 26, 2025 - 3:11pm, tbarkale

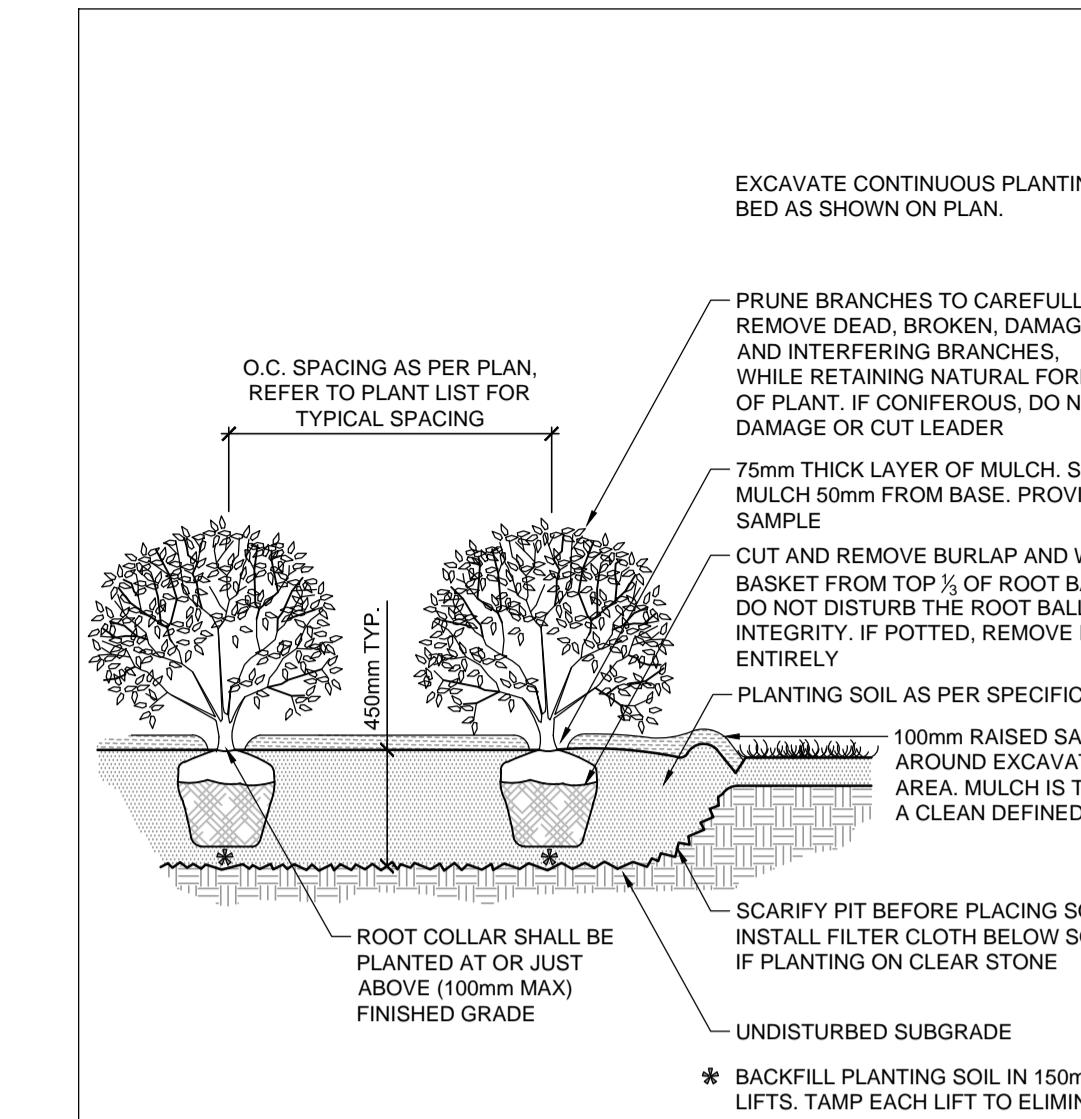




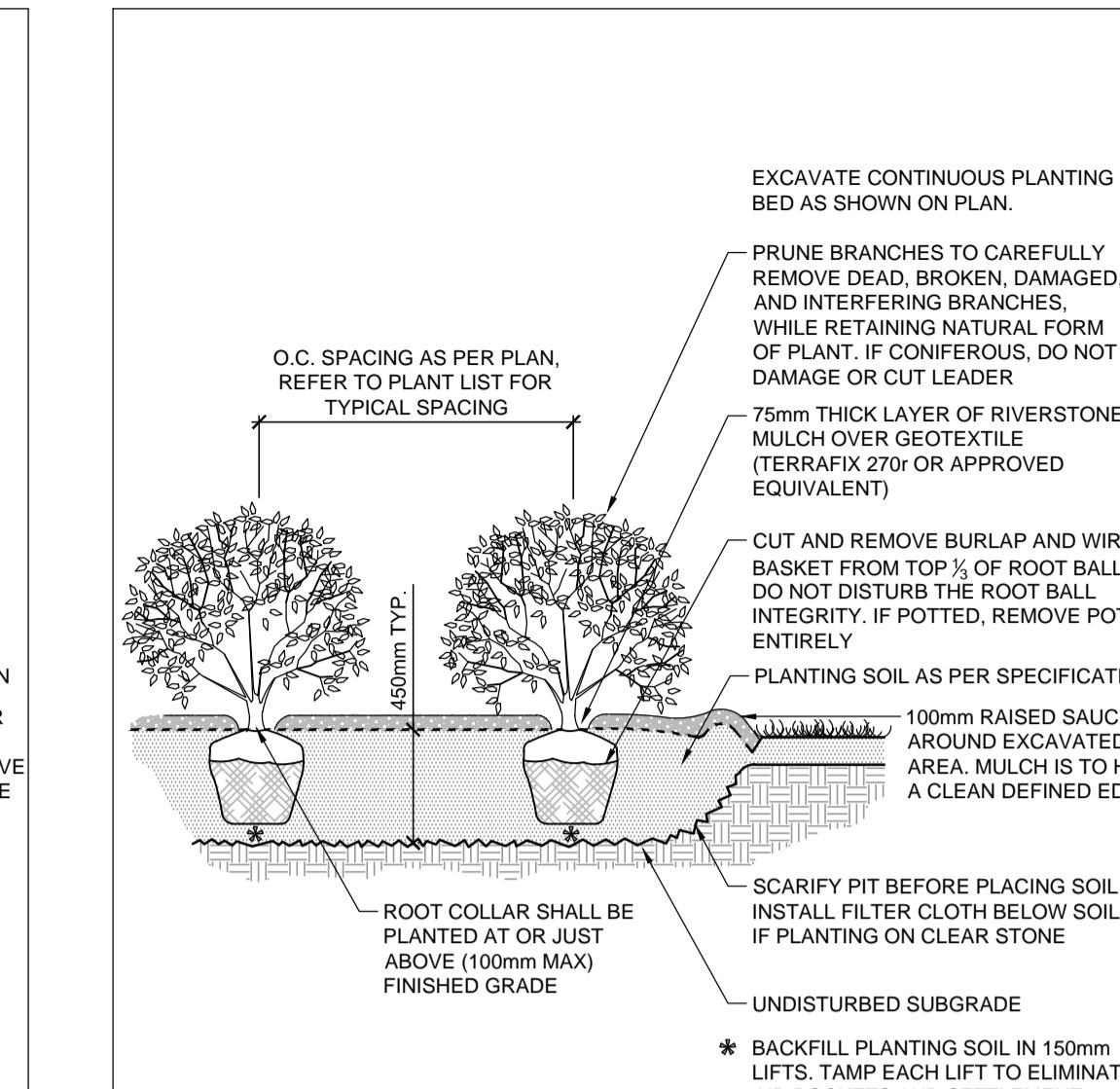
STANDARD DECIDUOUS TREE PLANTING D1



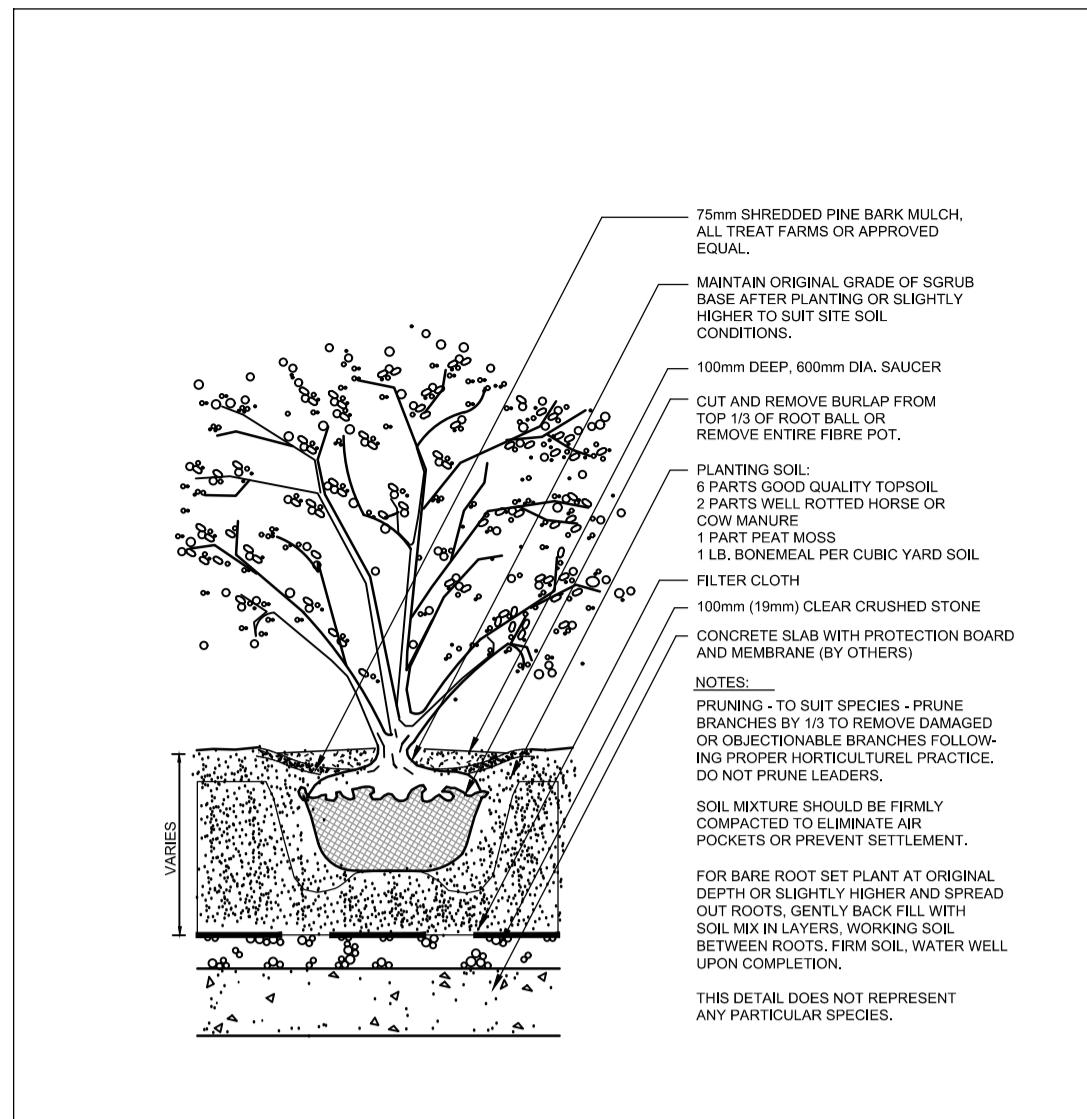
STANDARD CONIFEROUS TREE PLANTING D2



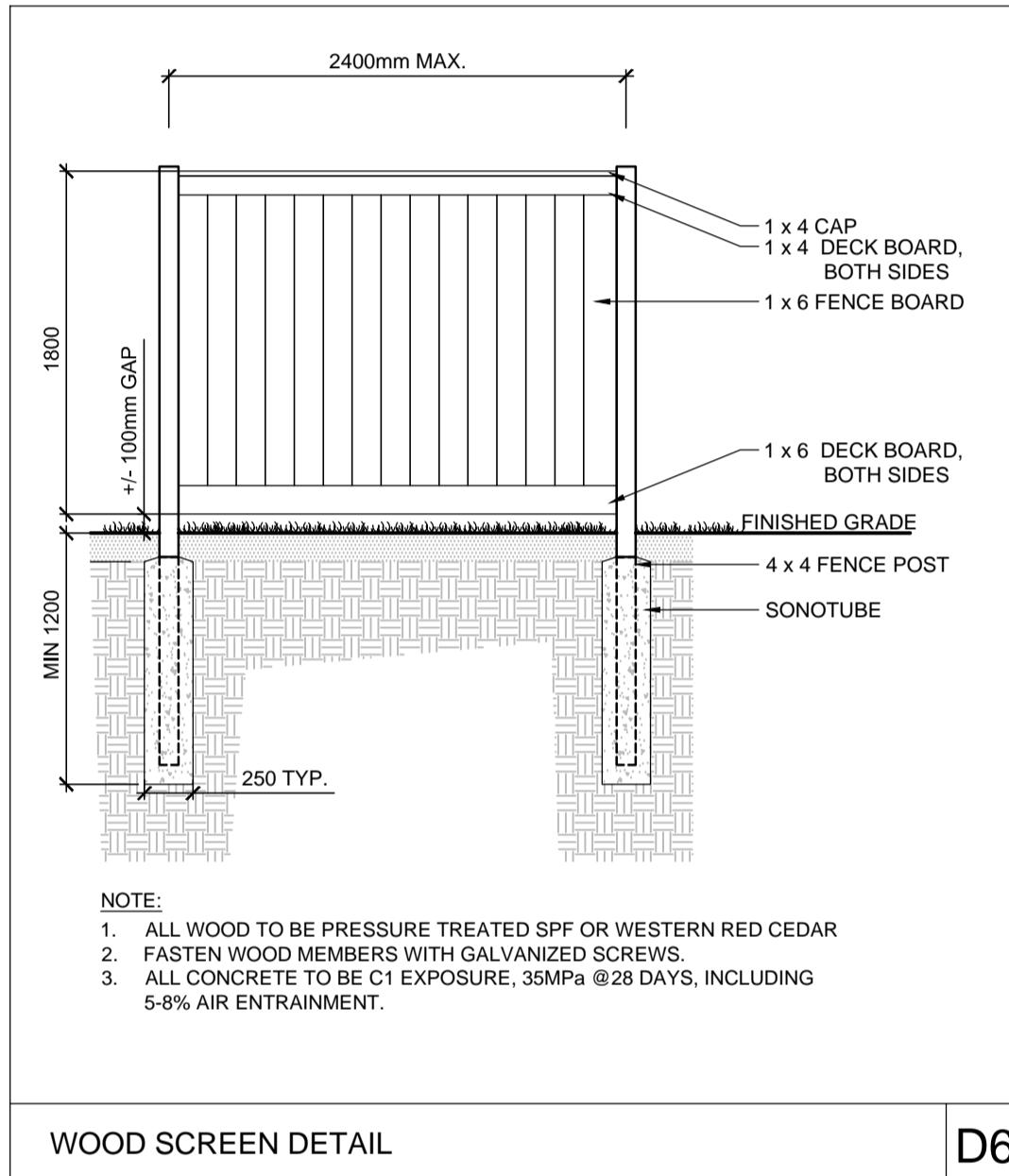
SHRUB AND PERENNIAL PLANTING D3



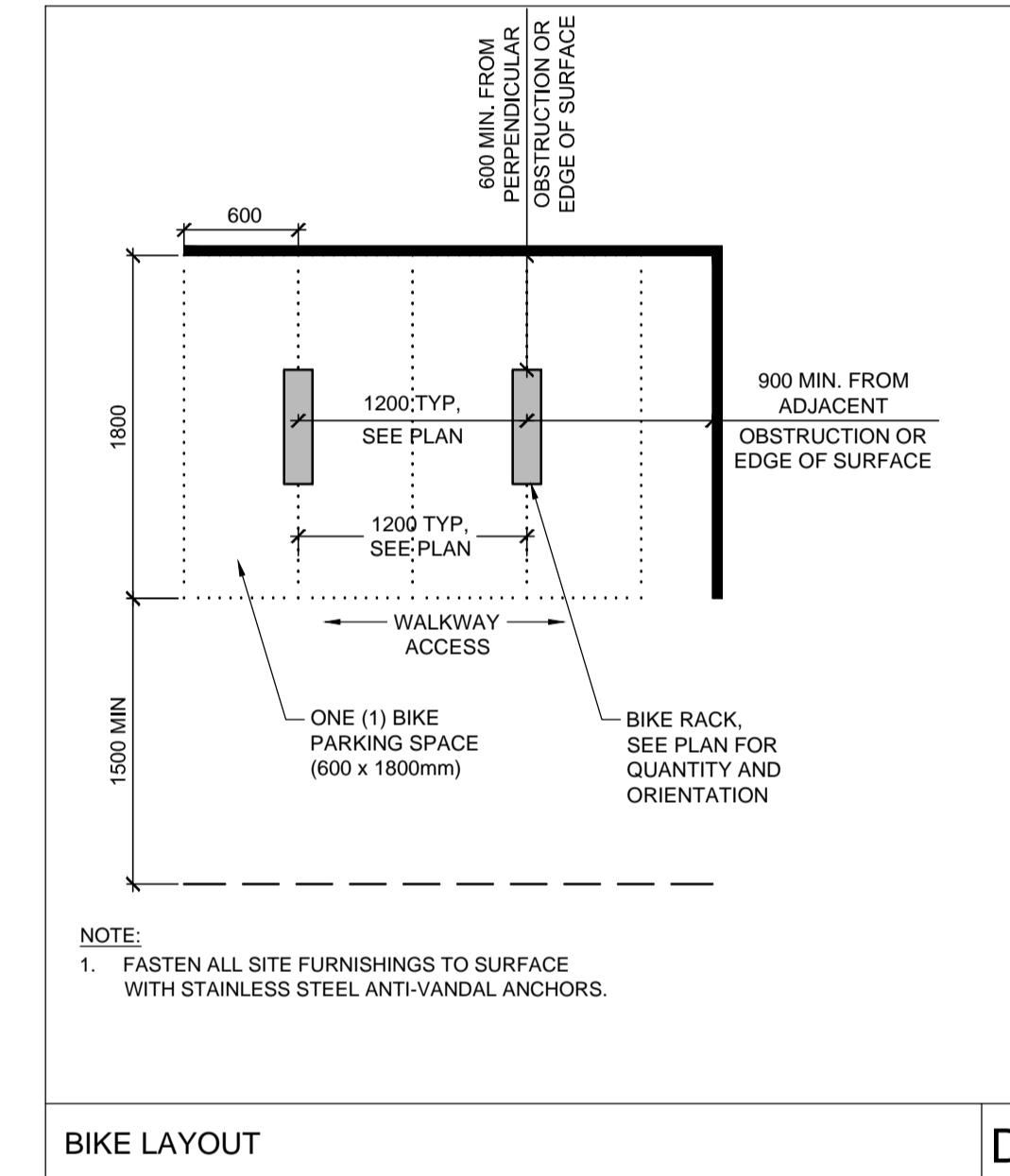
SHRUB AND PERENNIAL PLANTING WITH RIVERSTONE D4



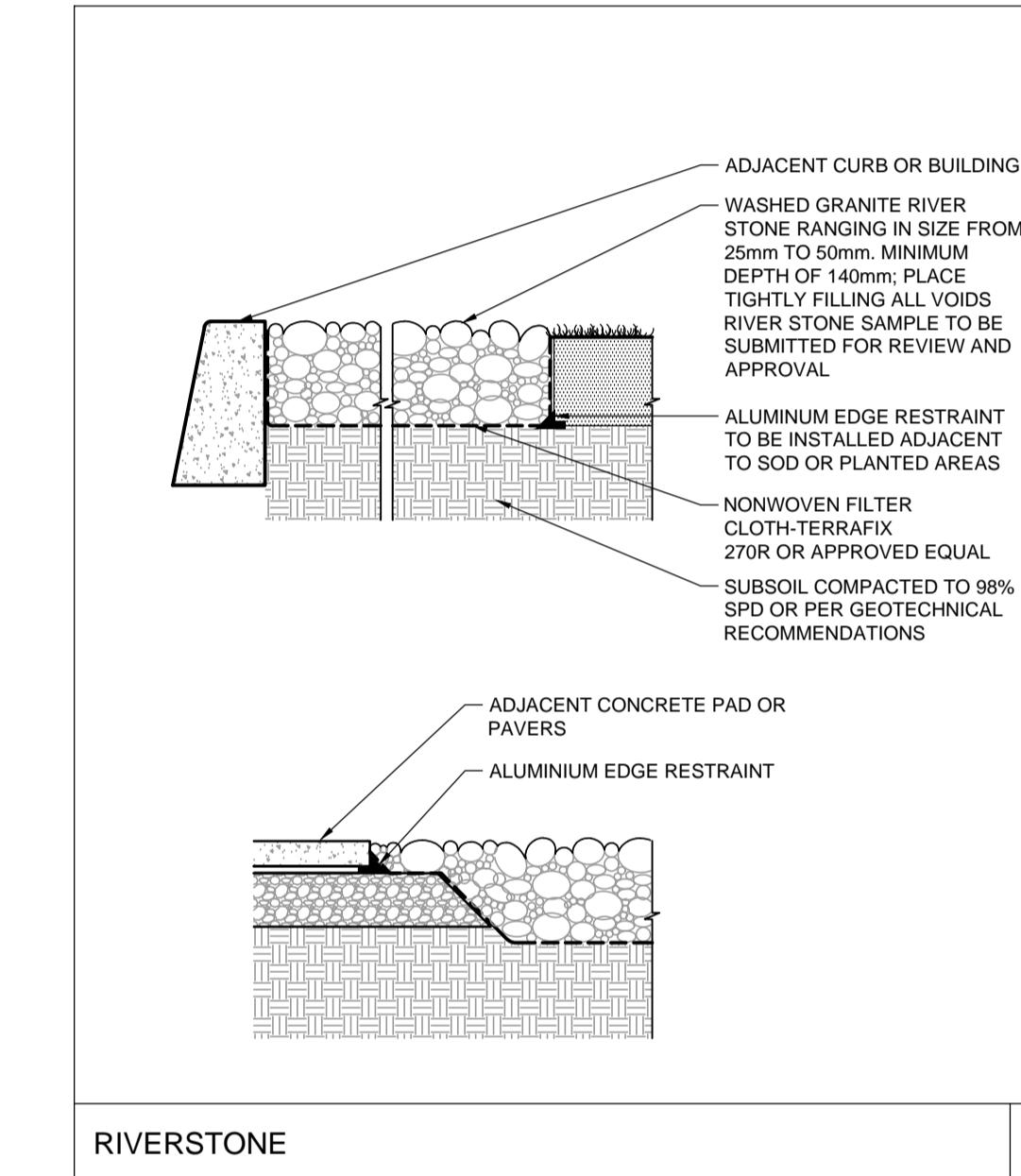
SHRUB AND PERENNIAL PLANTING ON SLAB D5



WOOD SCREEN DETAIL D6



BIKE LAYOUT D7



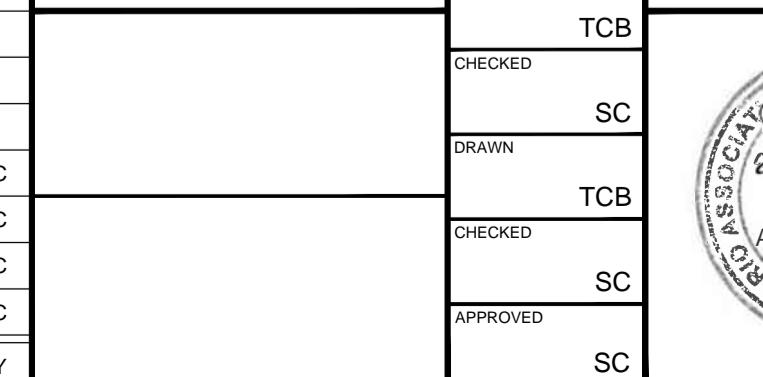
RIVERSTONE D8

*G. Wildman*  
GERALDINE WILDMAN  
MANAGER, DEVELOPMENT REVIEW SOUTH  
PLANNING, DEVELOPMENT AND BUILDING SERVICES  
DEPARTMENT, CITY OF OTTAWA

APPROVED  
By Geraldine Wildman at 7:08 pm, Dec 15, 2025

No.	REVISION	DATE	BY
4.	REVISED AS PER CITY COMMENTS	AUG 27/25	SC
3.	REVISED AS PER CITY COMMENTS	APR 11/25	SC
2.	ISSUED FOR SPC APPLICATION	JAN 17/25	SC
1.	ISSUED FOR COORDINATION	JAN 13/25	SC

SCALE	DESIGN	FOR REVIEW ONLY
TCB CHECKED SC	TCB DRAWN TCB	
	CHECKED SC	
	APPROVED SC	



August 27, 2025

NOVATECH  
Engineers, Planners & Landscape Architects  
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Ottawa, Ontario, Canada K2M 1P6  
Telephone (613) 254-9643  
Facsimile (613) 254-5867  
Website www.novatech-eng.com

LOCATION CITY OF OTTAWA 150 DUN SKIPPER DRIVE - RESIDENTIAL DEVELOPMENT	PROJECT No. 124107
DRAWING NAME LANDSCAPE DETAILS	REV REV 4
DRAWING No. 124107-R-L2	DRAWING No. 124107