

Legend				
G	Good	Conflict	Remove due to conflict with construction.	
F	Fair	Remove	Remove due to tree health or invasive status.	
P	Poor	PROTECT	Protect trees as per contract details and specifications.	
VP	Very Poor			

APPROVED
By Geraldine Wildman at 7:07 pm, Dec 15, 2025



- ## CONSTRUCTION

- ## CITY DETAILS

Related details from City of Ottawa Standard Tender Documents
Volume No. 2 Standard Detail Drawings.

- F7. Tree Preservation Protection Fence

GENERAL

1. Read and interpret this drawing/ drawing set in conjunction with all the contract details and specifications, including related civil, utility, structural, architectural, mechanical, electrical, environmental, geotechnical, and survey information.
2. The Contractor is to determine the exact location, size, material, and elevation of all existing utilities prior to commencing construction. Protect and assume responsibility for all existing utilities regardless of being shown on the drawings.
3. It is essential to use the notes and details in conjunction with the specifications and plans.
4. Do not scale drawings. Work to dimensions only.
5. Protect all existing drainage and retained vegetation for the duration of construction according to the contract details and specifications.
6. Reinstall all areas and items damaged or disturbed, beyond the Limit of Work, because of construction activities, including but not limited to construction staging areas, haul roads, stockpiles, etc., to the satisfaction of the Consultant. Unless otherwise noted, Contractor is to reinstall all areas to pre-construction condition or better to the satisfaction of the Contract Administrator.

TREE PROTECTION

Implement the following protection measures for retained trees, both on site and on adjacent sites, prior to any work activity, including tree removal. Maintain tree protection fence in place and in good condition for the duration of site works:

1. The Landscape Architect or Certified Arborist is to determine the location of the tree protection fencing and detail it on any associated plans for the site (e.g. tree conservation report, tree disclosure report, etc.).
2. When the presence of a Landscape Architect or Certified Arborist, erect a fence at the critical root zone (CRZ) of trees. Diameter at breast height (DBH) is the trunk diameter measured at 1.3m height on the tree trunk. The CRZ is calculated as DBH x 10. Refer to the Tree Protection Fence design.
3. Refer to the Tree Protection Plan for fence location. City Forestry Staff are to approve both the plan and the installed fence prior to work commencement.
4. Do not place any material or equipment within 2m of the CRZ of any tree, including outcoushes.
5. When trees marked for removal, or posters to any tree.
6. Do not disturb, raise, or move the existing grade within the CRZ without approval.
7. Only tunnel or bore when digging within the CRZ of a tree. Hand work only where required within the CRZ; absolutely no machinery permitted.
8. Do not damage the root system, trunk, or branches, or any tree.
9. Do not extend hard surface or significantly change landscaping.
10. Ensure that exhaust fumes from all equipment are directed away from any tree canopy.
11. When trees marked for removal overlap with the CRZ of trees marked for preservation: cut roots at the edge of the CRZ and grind down stumps after tree removals, do not pull out stumps. Ensure there is not root pulling or disturbance of the ground within the CRZ.
12. Prior to work taking place, notify and consult the Landscape Architect and City Forestry Staff if roots must be cut. Roots 20mm or larger should be cut at right angles with clean, sharp horticultural tools without tearing, crushing, or pulling. Refer to City of Ottawa Specification S.P. F-8011 Tree Protection, Excavation of Root Zone.
13. When trees adjacent to the protected areas are observed, consult the Landscape Architect, before any work is conducted. Do not prune leaders. Do not prune more than 1/4 of crown.
14. Set up a water and fertilizing program, if trees are being affected by site works, to the satisfaction of the Landscape Architect.
15. If the Landscape Architect is to prescribe mitigation measures if the protected fenced area must be reduced to facilitate construction. Measures may include the placement of plywood, wood chips, or steel plating over the roots for protection. City Forestry Staff are to approve said measures prior to fence movement.
16. The City of Ottawa Forestry protects municipal trees and municipal natural areas in the City of Ottawa and trees on private property in the urban area of the City of Ottawa (2020-340).

NOTE:
THE POSITION OF ALL POLE LINES, CONDUITS,
WATERMAINS, SEWERS AND OTHER
UNDERGROUND AND OVERGROUND UTILITIES AND
STRUCTURES IS NOT NECESSARILY SHOWN ON
THE CONTRACT DRAWINGS, AND WHERE SHOWN,
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BEFORE STARTING WORK, DETERMINE THE EXACT
LOCATION OF ALL SUCH UTILITIES AND
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DAMAGE TO THEM.


Owner:
Bank & Dun Developments Inc.,
c/o Paul Paglialunga
209 Wicksteed Avenue, Suite 30
Toronto, ON, M4G 0B1
Phone: (416) 335-0090

DISCLAIMER:

The elements on this plan illustrate the design intent and general constructability of the proposed landscape which will support the associated development. This is to demonstrate how the canopy cover, urban design, health and climate change objectives of the Official Plan will be met through tree planting and site design. This drawing is for City review only and is not intended for construction. Final detailed design and construction documentation is to be provided with certified 'Issued for Construction' drawings and specifications prior to construction.

SCALE

1:400



0 4 8 12 16

FOR REVIEW ONLY



NOVATECH

Suite 200, 240 Michael Cowpland Drive
Ottawa, Ontario, Canada K2M 1P6

Telephone (613) 254-9643
Facsimile (613) 254-5867
Website www.novatech-eng.com

LOCATION
CITY OF OTTAWA
150 DUN SKIPPER DRIVE - RESIDENTIAL DEVELOPMENT

DRAWING NAME
TREE CONSERVATION PLAN

PROJECT No. _____

12410

122

REV #

124407 D TCF

C:\Temp\Ap\publish_10720\124107_L1-RES.dwg, L1 (landscape-res), Aug 26, 2025 - 3:28pm, tkade

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209 Wicksteed Avenue, Suite 30
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Phone: (416) 335-0390

Civil:
Novatech Engineers, Planners
& Landscape Architects,
240 Michael Cowpland Drive,
Ottawa, ON, K2M 1P6
Phone: 613.254.9643

Architect
PMA Architects
c/o Paul Pagnoulle
3070 Chemin Des Quatre-Bourgeois,
Quebec, QC G1W 2K4
Phone: (416) 851-8954

Surveyor:
J.D. Barnes Ltd.
62 Sheela Drive, Suite 103
Kanata, ON K2K 2A9
Phone: 613.731.7244

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1.	ISSUED FOR COORDINATION	JAN 13/25	SC

Proposed Planting: Ownership	Total
Private	41
City-Owned	9

SOIL AVAILABILITY CALCULATIONS :

Planting bed no.	Available Soil Area (sq m)	Available Soil Volume (cu m)	No. of trees proposed				Total No. of trees	Min. required Soil volume total (cu m)
			Small/Column (25m ²)	Medium (30m ²)	Large (35m ²)	Evergreen (30m ²)		
Planting bed 1	1185.2	1,185.2	3		7	5	15	395.0
Planting bed 2	94.9	94.9			1		1	35.0
Planting bed 3	113.6	113.6			2		2	60.0
Planting bed 4	198.4	198.4			3		3	90.0
Planting bed 5	25.0	25.0	1				1	25.0
Planting bed 6	55.4	55.4		2			2	50.0
Planting bed 7	56.4	56.4			1		1	35.0
Planting bed 8	17.4	17.4					0	0.0
Planting bed 9	130.4	130.4		1	1		2	55.0
Planting bed 10	25.8	25.8		1			1	30.0
Planting bed 11	144.5	144.5			1		1	35.0
Planting bed 12	37.2	37.2			1		1	35.0
Planting bed 13	81.0	81.0			1		1	35.0
Planting bed 14	17.2	17.2					0	0.0
Planting bed 15	28.6	28.6		1			1	30.0
Planting bed 16	28.4	28.4			1		1	35.0
Planting bed 17	743.4	743.4			6	8	14	380.0
Planting bed 18	177.4	177.4	2	2			4	90.0

Note: For all planting beds proposed, the available soil depth is considered to be 1m.

ESTIMATED CANOPY COVERAGE AT MATURITY

SIZE OF TREE	AVERAGE MATURE SPREAD	CANOPY COVERAGE PER TREE (m ²)	QUANTITY OF TREES	TOTAL CANOPY COVERAGE (m ²)
Deciduous - Small/Column (<7.5m tall)	7m	38	5	190
Deciduous - Medium (7.5-14m tall)	10m	79	5	393
Deciduous - Large (14m+ tall)	15m	177	27	4771
Coniferous	5m	20	13	255

PROPOSED TOTAL CANOPY COVERAGE (m²): 5609

TOTAL SITE AREA (m²): 10,010

EST. CANOPY COVERAGE (%): 56%

Area of a circle = $(\pi \times r) \times \pi$
Canopy coverage per tree calculation: (average mature spread/2) x (average mature spread/2) x π

G. Wildman

GERALDINE WILDMAN
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

APPROVED

By Geraldine Wildman at 7:08 pm, Dec 15, 2025

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	SPACING	NATIVE STATUS
Deciduous Trees (Right of Way)							
ARN	4	<i>Acer rubrum</i> 'Northwood'	Northwood Red Maple	50mm Cal	WB	As Shown	Native
MST	1	<i>Malus</i> 'Sugar Tyne'	Sugar Tyne Crabapple	50mm Cal	WB	As Shown	Native
QR	2	<i>Quercus rubra</i>	Red Oak	50mm Cal	WB	As Shown	Native
UAP	2	<i>Ulmus americana</i> 'Princeton'	Princeton Elm	50mm Cal	WB	As Shown	Native
Coniferous Trees							
LL	6	<i>Larix laricina</i>	Tamarack	200cm H	WB	As Shown	Native
PBA	3	<i>Pinus banksiana</i>	Jack Pine	200cm H	WB	As Shown	Native
TCS	4	<i>Tsuga canadensis</i>	Eastern Hemlock	200cm H	WB	As Shown	Native
Deciduous Trees							
ARD	4	<i>Acer rubrum</i> 'Red Rocket'	Red Rocket Red Maple	50mm Cal	WB	As Shown	Native
ARN	1	<i>Acer rubrum</i> 'Northwood'	Northwood Red Maple	50mm Cal	WB	As Shown	Native
AFAP	4	<i>Acer x freemanii</i> 'Autumn Fantasy'	Autumn Fantasy Maple	50mm Cal	WB	As Shown	Native
AFS	3	<i>Acer x freemanii</i> 'Sienna'	Sienna Glen Maple	50mm Cal	WB	As Shown	Native
GTS	2	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'	Shademaster Honeylocust	50mm Cal	WB	As Shown	Native
GYE	2	<i>Gymnocladus dioica</i> 'Espresso-JFS'	Espresso Kentucky Coffee Tree (Male)	50mm Cal	WB	As Shown	Native
MST	4	<i>Malus</i> 'Sugar Tyne'	Sugar Tyne Crabapple	50mm Cal	WB	As Shown	Native
QR	2	<i>Quercus rubra</i>	Red Oak	50mm Cal	WB	As Shown	Native
TAB	2	<i>Tilia americana</i> 'Boulevard'	Boulevard Linden	50mm Cal	WB	As Shown	Native
LAV	3	<i>Ulmus americana</i> 'Valley Forge'	Valley Forge Elm	50mm Cal	WB	As Shown	Native
UAP	1	<i>Ulmus americana</i> 'Princeton'	Princeton Elm	50mm Cal	WB	As Shown	Native
Coniferous Shrubs							
Pm	26	<i>Pinus mugo</i> 'Slowmound'	Slow mound Mugo Pine	3g	PT	As Shown	Native
Jvb	41	<i>Juniperus horizontalis</i> 'Wiltonii'	Blue Rug Juniper	30cm Spr	PT	As Shown	Native
Tof	7	<i>Thuja occidentalis</i> 'Fastigiata'	Pyramidal Cedar	80cm Sp	PT	As Shown	Native
Toh	13	<i>Thuja occidentalis</i> 'Holmstrup'	Holmstrup Cedar	175cm H	PT	As Shown	Native
Deciduous Shrubs							
Car	28	<i>Clethra alnifolia</i> 'Ruby Spice'	Ruby Spice Summersweet	50cm H	PT	80cm O.C	Native
Cs	12	<i>Cornus sericea</i>	Red Osier Dogwood	60cm H	PT	200cm O.C	Native
Cwb	16	<i>Cornus sanguinea</i> 'Winter Beauty'	Winter Beauty Dogwood	60cm H	PT	140cm O.C	Native
Lds	24	<i>Lonicera x brownii</i> 'Dropmore Scarlet'	Dropmore Scarlet Honey-suckle	2g	PT	As Shown	Native
Poj	27	<i>Physocarpus opulifolius</i> 'JEFAM'	Amber Jubilee Ninebark	60cm H	PT	100cm O.C	Native
Ple	68	<i>Potentilla fruticosa</i> 'Bella Bellissima' (HACHLIS)	Bella Bellissima Potentilla	40cm H	PT	As Shown	Non-native
Rag	54	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	60cm H	PT	As Shown	Native
Rd	11	<i>Rosa blanda</i>	Meadow Rose	60cm H	PT	As Shown	Native
Sd	5	<i>Salix discolor</i>	Pussy Willow	60cm H	PT	As Shown	Native
Perennials							
acnt	35	<i>Achillea millefolium</i> 'Terra Cotta'	Terra Cotta Yarrow	1g	PT	50cm O.C	Native
grns	415	<i>Geranium macrorrhizum</i> 'Spessart'	Spessart Cranesbill	9cm	PT	45cm O.C	Native
hk	239	<i>Hypericum kalimanianum</i>	St. John's Wort/Pot Of Gold	3g	PT	60cm O.C	Native
hpe	395	<i>Heuchera micrantha</i> 'Palace Purple'	Palace Purple Coral Bells	1g	PT	30cm O.C	Non-native
rlf	64	<i>Rudbeckia fulgida</i> 'Little Goldstar'	Little Goldstar Black-Eyed Susan	1g	PT	40cm O.C	Native
Ornamental Grasses							
caf	410	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	1g	PT	50cm O.C	Non-native
ag	100	<i>Carex grayi</i>	Morning Star Sedge	1g	PT	50cm O.C	Native
dc	121	<i>Deschampsia cespitosa</i>	Tufted Hair Grass	1g	PT	60cm O.C	Native
df	130	<i>Deschampsia flexuosa</i>	Wavy Hair Grass	1g	PT	50cm O.C	Native
pvn	35	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass	1g	PT	90cm O.C	Native

PRODUCT INFORMATION

Install products as per manufacturer specifications. Shop drawings required.

PAVER TYPE 1

Edge of pavers to receive edge restraint.

- Blu 60 Smooth by Techo-bloc
- Location: Patio Pavers
- Size: 60mm HD* - All sizes
- Pattern: Modular Pattern 01
- Colour: Greyed Nickel

PAVER TYPE 2

Edge of pavers to receive edge restraint.

- Westmount by Techo-Bloc
- Location: Walkway Pavers
- Pattern: Linear Pattern
- Colour: Shale Grey

PLANTER WALLS - TBD

SITE FURNITURE
Fasten all site furnishing to surface with stainless steel anti-vandal anchors.

- 200 Bike Racks by Maglin
- Product Number: MBR-0200-00005
- Mounting Type: Surface Mount
- Colour: Powdercoat Saffron Yellow RAL1017

LEGEND

3-D1

PROPERTY LIMIT

PROPOSED CONCRETE

PAVERS TYPE 1

PAVERS TYPE 2

RIVER STONE

PROPOSED DECIDUOUS TREE

PROPOSED CONIFEROUS TREE

PROPOSED SHRUBS

PERENNIALS

ORNAMENTAL GRASSES

SPECIES (SEE PLANT LIST)

QUANTITY

RETAINING WALLS

LANDSCAPE PLANTER WALLS

PROPOSED WOOD PRIVACY FENCE

PROPOSED CHAIN LINK FENCE

TREE PROTECTION FENCE, SEE 124107-R-TCR

TREE PROTECTION FENCE FOR COMMERCIAL DEVELOPMENT (BY OTHERS)

BIKE RACKS, SEE DETAIL D6

PICNIC BENCH

SEATING

BBQ ON CONCRETE PAD

BUILDING LINE

OVERHANG

LIMIT OF UNDERGROUND GARAGE

RAISED PLANTERS

- Set plants in raised planters on a bed of heavily compacted growing medium, at the bottom, to eliminate settlement.
- Backfill around the root ball with growing medium in 150mm lifts. Tamp and water each lift to eliminate air pockets or settlement.
- Growing medium to be:
 - 6 parts good quality topsoil
 - 2 parts well rotted horse or cow manure
 - 1 part peat moss
 - 1 lb. bonemeal per cubic yard soil
- Cover top of the planter surface with 75mm of shredded bark mulch.

GENERAL

- Read and interpret this drawing/ drawing set in conjunction with all the contract details and specifications, including related civil, utility, structural, architectural, mechanical, electrical, environmental, geotechnical, and survey information.
- The Contractor is to determine the exact location, size, material, and elevation of all existing utilities prior to commencing construction. Protect and assume responsibility for all existing utilities regardless of being shown on the drawings.
- It is essential to use the plans and details in conjunction with the specifications and notes.
- Do not scale drawings. Work to dimensions only.
- Protect all existing and retained vegetation for the duration of construction according to the contract details and specifications.
- Reinstate all areas and items damaged or disturbed, beyond the Limit of Work, because of construction activities, including but not limited to construction staging areas, haul roads, stockpile areas, etc. to the satisfaction of the Consultant. Unless otherwise noted, Contractor is to reinstate all areas to pre-construction condition or better to the satisfaction of the Contract Administrator.

PLANTING

- Plant material to be No. 1 Grade and is to comply with Canadian Standards for Nursery Stock (latest edition) published by the Canadian Nursery Landscape Association.
- Use structurally sound plant material with strong fibrous root system free of disease, defects, and injuries. Use trees with straight trunks, well and characteristically branched for species. Obtain approval from consultant of plant material at source prior to digging. All trees and shrubs to be container grown, potted, WB or BB, as indicated on Plant List. Bare root plants are only acceptable for certain species and as approved by the Landscape Architect.
- Plant material substitutions are not to be permitted without the written approval from the Consultant, with 48 hours notice, prior to shipping plant material.
- Plant locations are schematic / approximate only. Contractor is to stake out locations on site for approval by the Landscape Architect prior to installation. Contractor to report any discrepancies to the Landscape Architect prior to installation. Contractor will assume full responsibility if the Landscape Architect is not notified.
- Ensure trees are thoroughly watered following planting. Monitor material and ensure adequate moisture until acceptance.
- In heavy clay or poorly drained soils, set root ball with root collar 75-100mm higher than finished grade.
- Approved topsoil depths are as follows:
 - Plant Beds - 450mm continuous depth. Applies to shrubs, perennials, vines, and groundcovers.
 - Sod/Seed Areas - 100mm depth.
 - Reforestation - 300mm depth.
- Sod to be No. 1 Kentucky Bluegrass Sod grown from minimum mixture of 3 Kentucky Bluegrass cultivars. Quality and source are to comply with Canadian Standards for Nursery Stock, Section 17, (latest edition) published by the Canadian Nursery Landscape Nursery Landscape Association.
- Apply the following mineral fertilizer unless soil tests show other requirements:
 - Plant Beds - (8-32-16), i.e. 8% Nitrogen, 32% Phosphorus, 16% Potash per manufacturer specifications.
 - Sod Areas - (8-32-16), i.e. 8% Nitrogen, 32% Phosphorus, 16% Potash at a rate of 350kg/ha.
- Where applicable, for any plant areas with a mix of species/ cultivars notes, Contractor is to cluster like plants in groups of 3-5 and evenly distribute these in the noted area.

CITY DETAILS

Related details from City of Ottawa Standard Tender Documents Volume No. 2 Standard Detail Drawings.

- SC4. Typical Concrete Sidewalk in Boulevard
- SC5. Sidewalk Construction Joints

NOVATECH DETAILS

Found on Sheet L2.

- D1. Standard Deciduous Tree Planting
- D2. Standard Coniferous Tree Planting
- D3. Shrub and Perennial Planting
- D4. Shrub and Perennial Planting with Granular
- D5. Shrub and Perennial Planting on slab
- D6. Wood Screen Detail
- D7. Bike Layout
- D8. River stone Detail
- D9. Paving Detail

PRELIMINARY

LOCATION
CITY OF OTTAWA
150 DUN SKIPPER DRIVE - RESIDENTIAL DEVELOPMENT

DRAWING NAME
LANDSCAPE PLAN

PROJECT No.

124107

REV

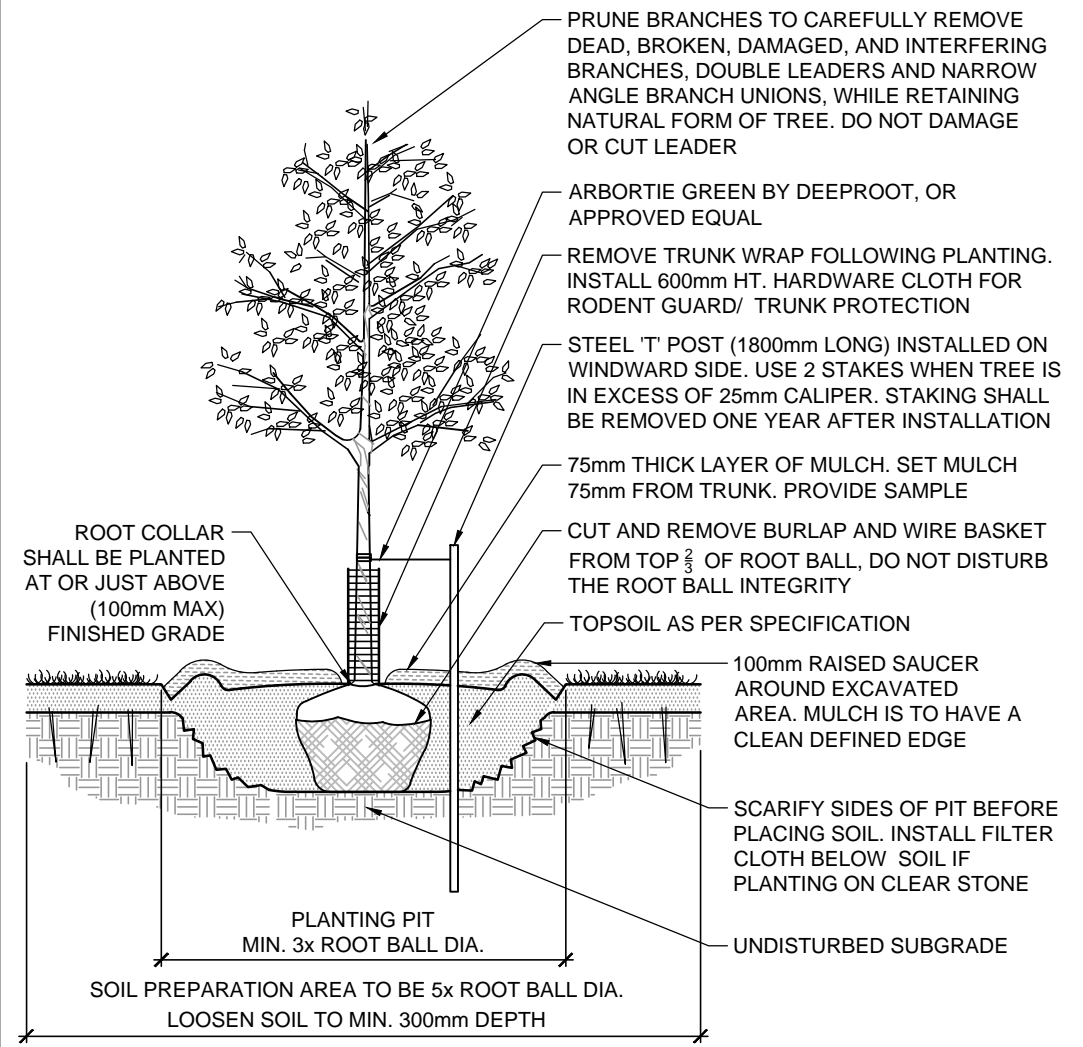
REV # 4

DRAWING No.

124107-R-L1

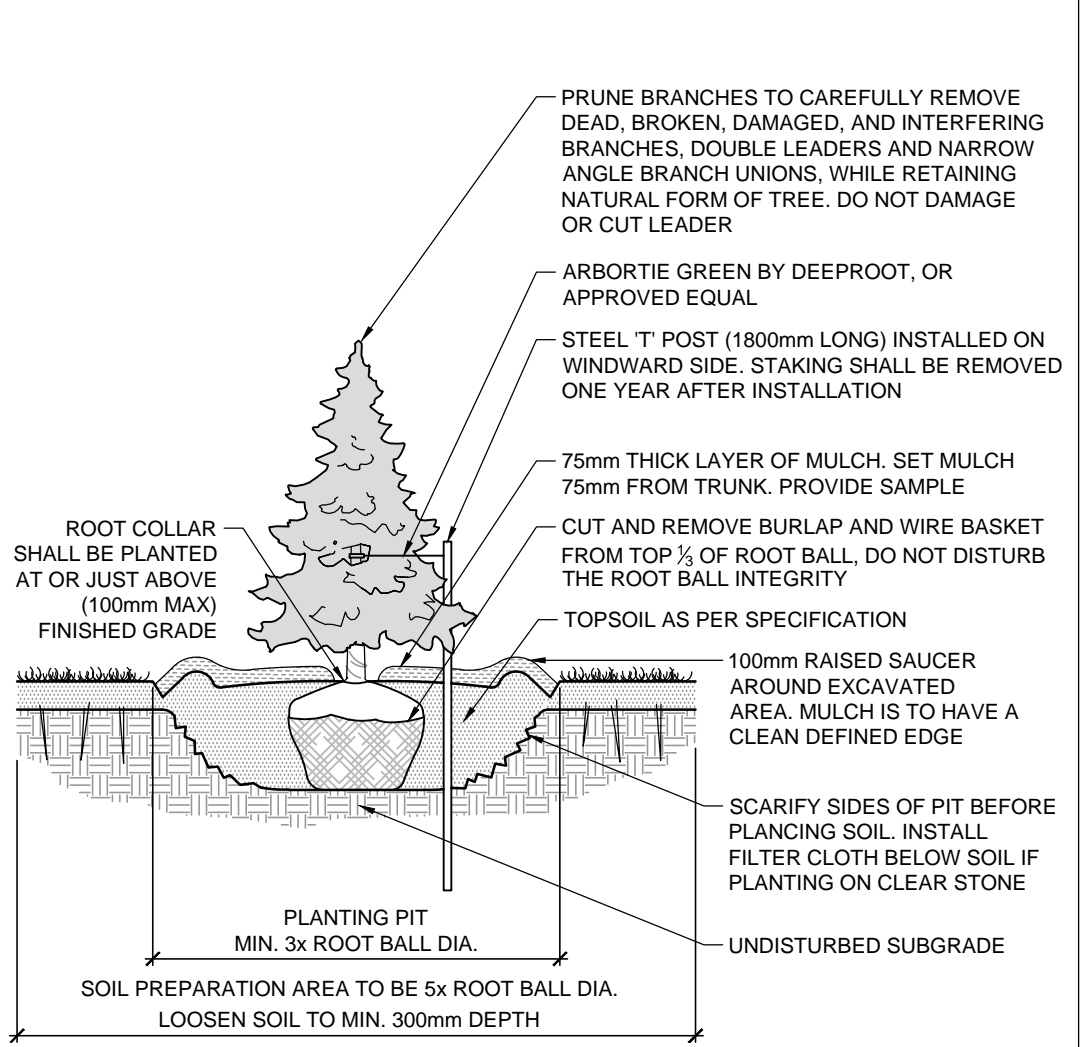
PLANS/2-DWG - 06/09/2025

#19311



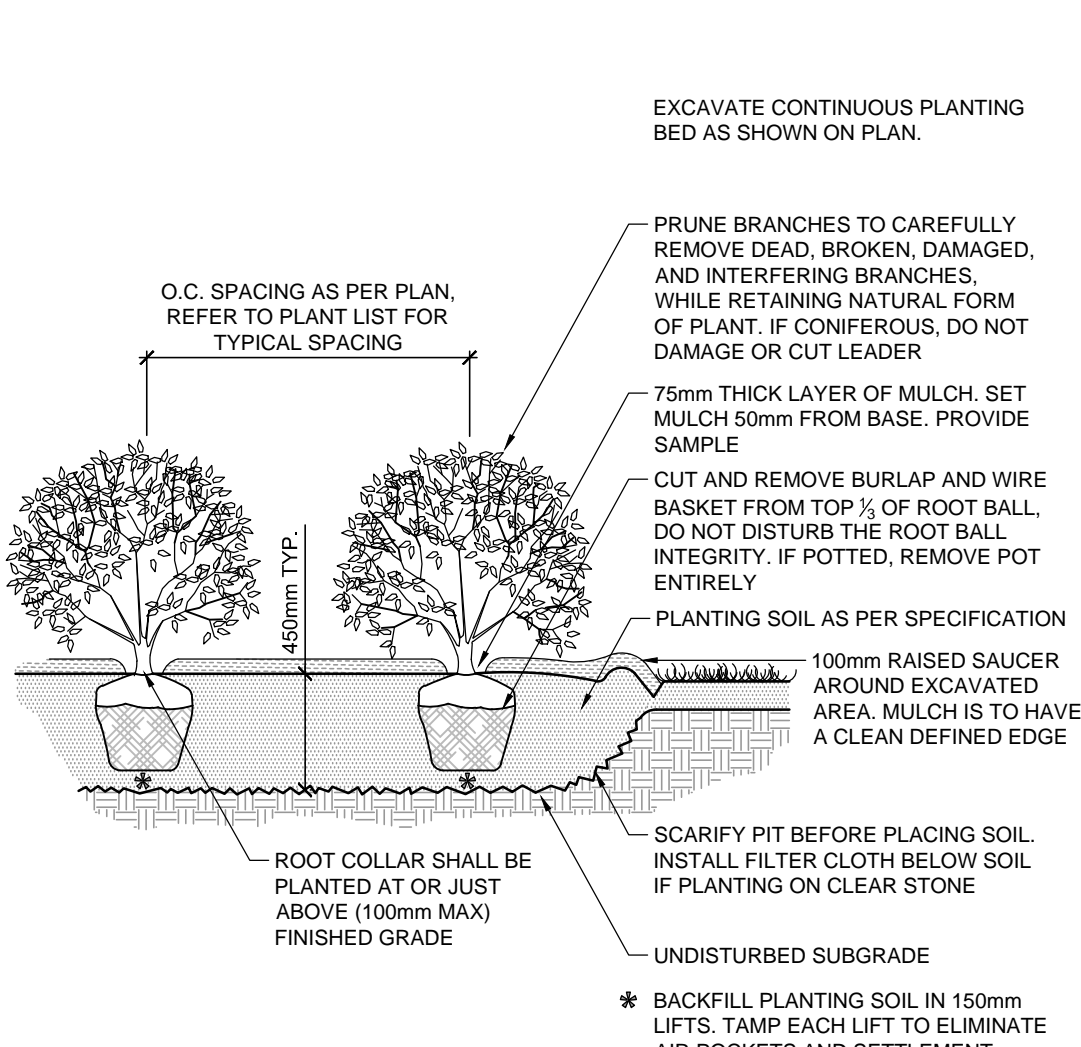
STANDARD DECIDUOUS TREE PLANTING

D1



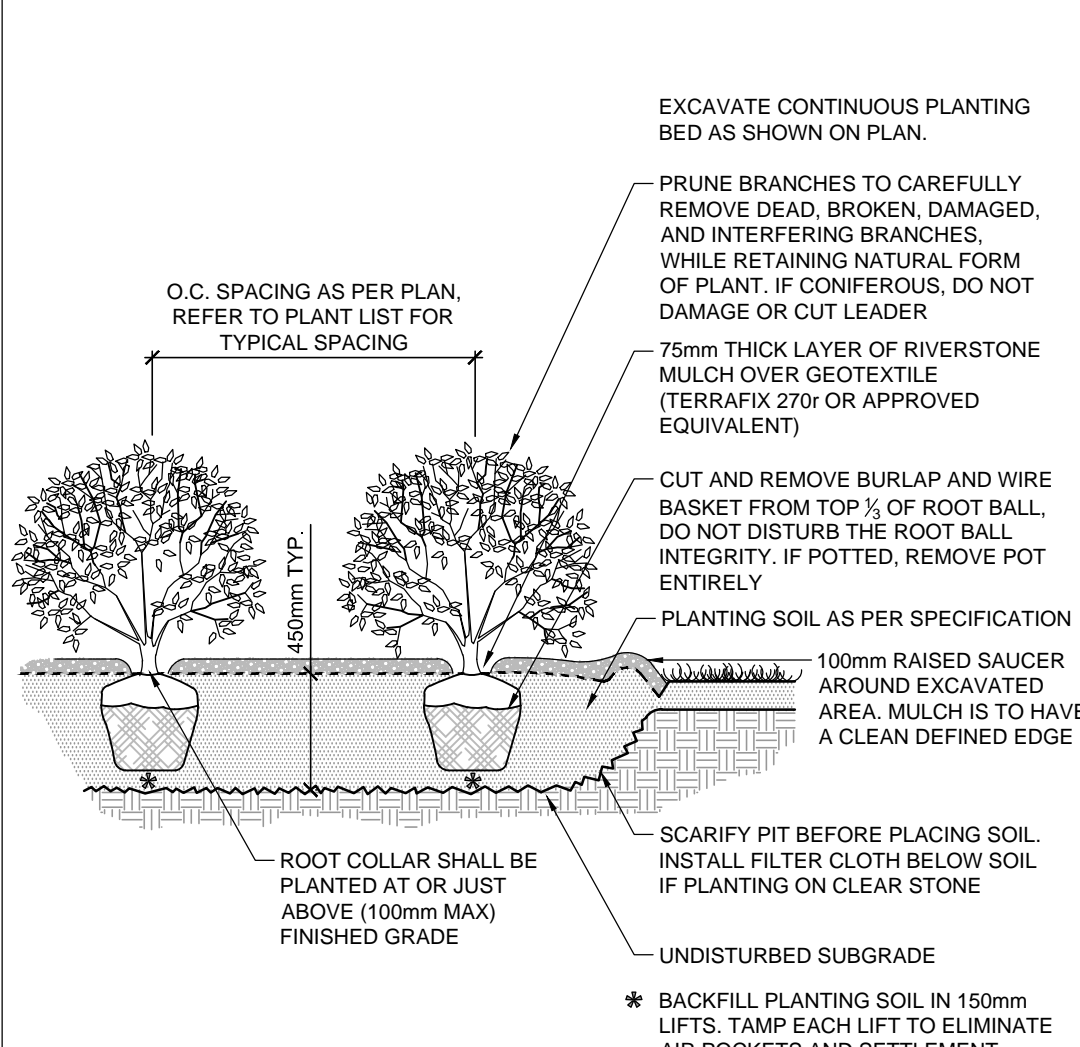
STANDARD CONIFEROUS TREE PLANTING

D2



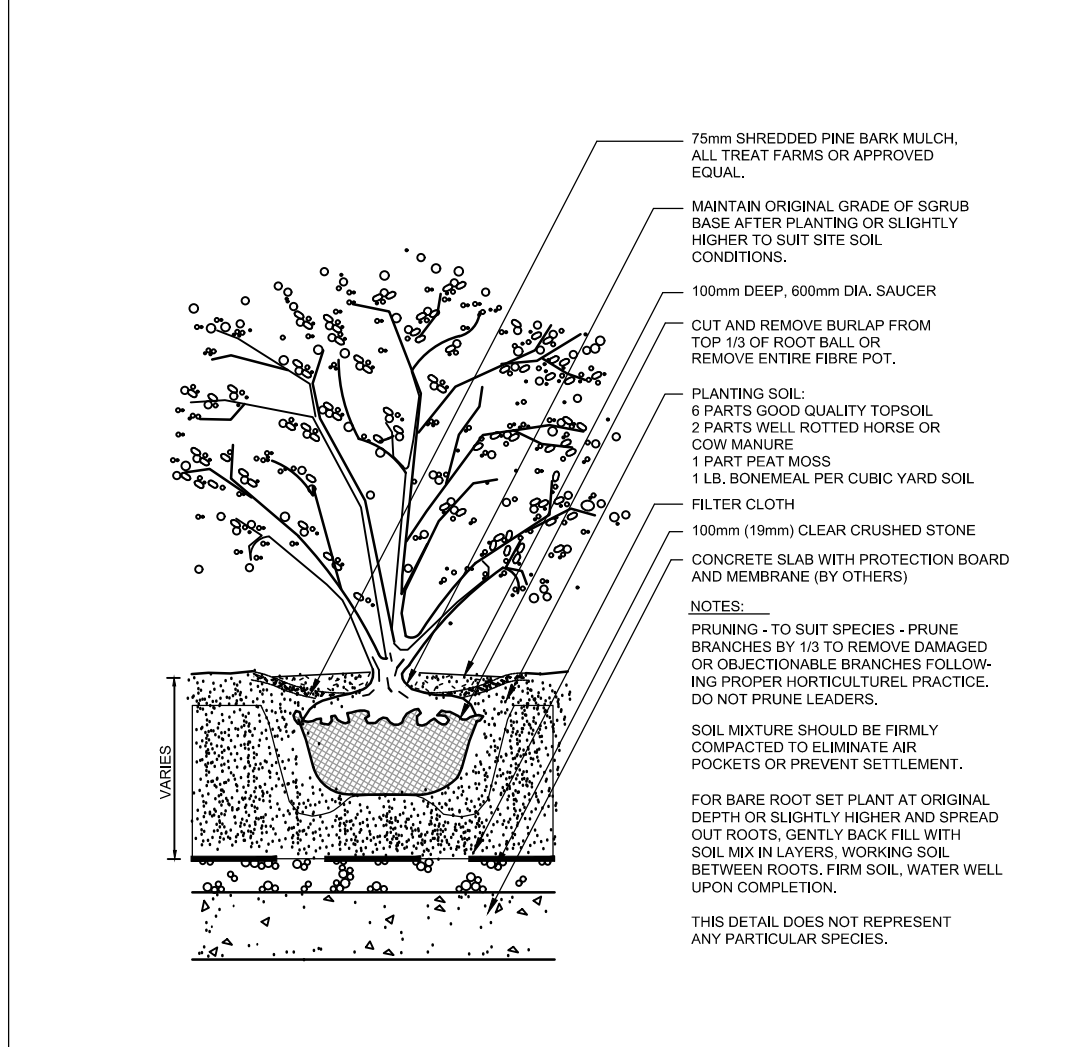
SHRUB AND PERENNIAL PLANTING

D3



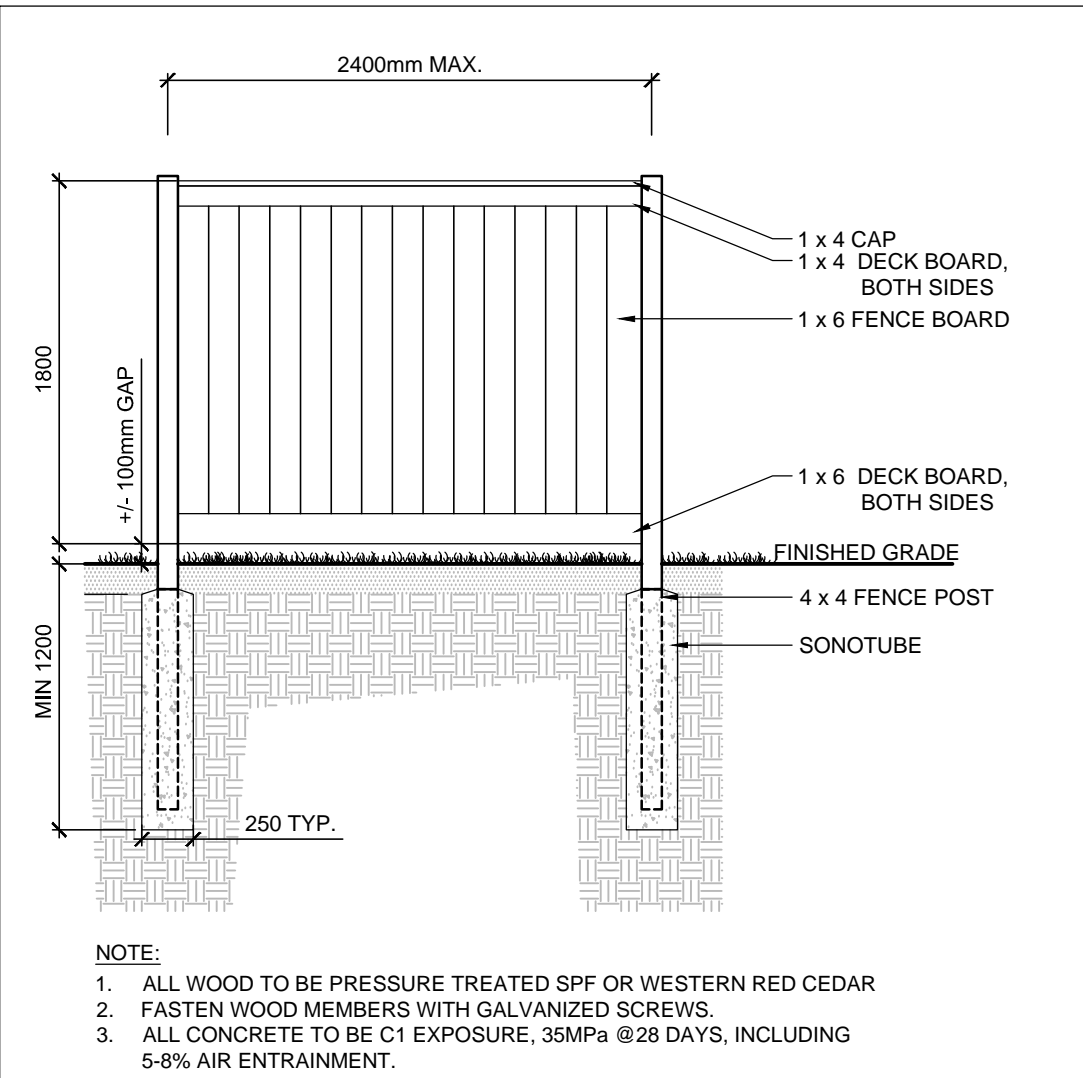
SHRUB AND PERENNIAL PLANTING WITH RIVERSTONE

D4



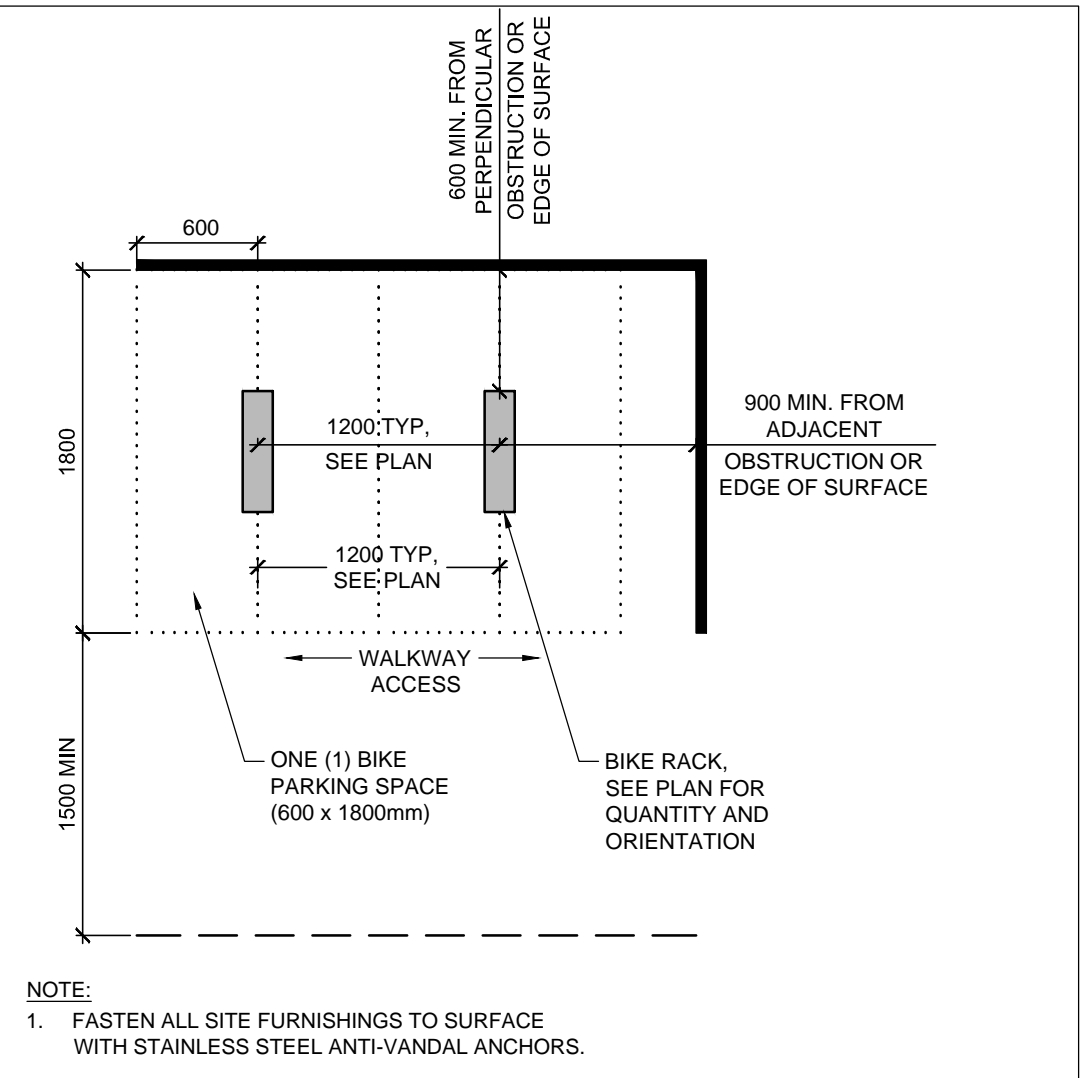
SHRUB AND PERENNIAL PLANTING ON SLAB

D5



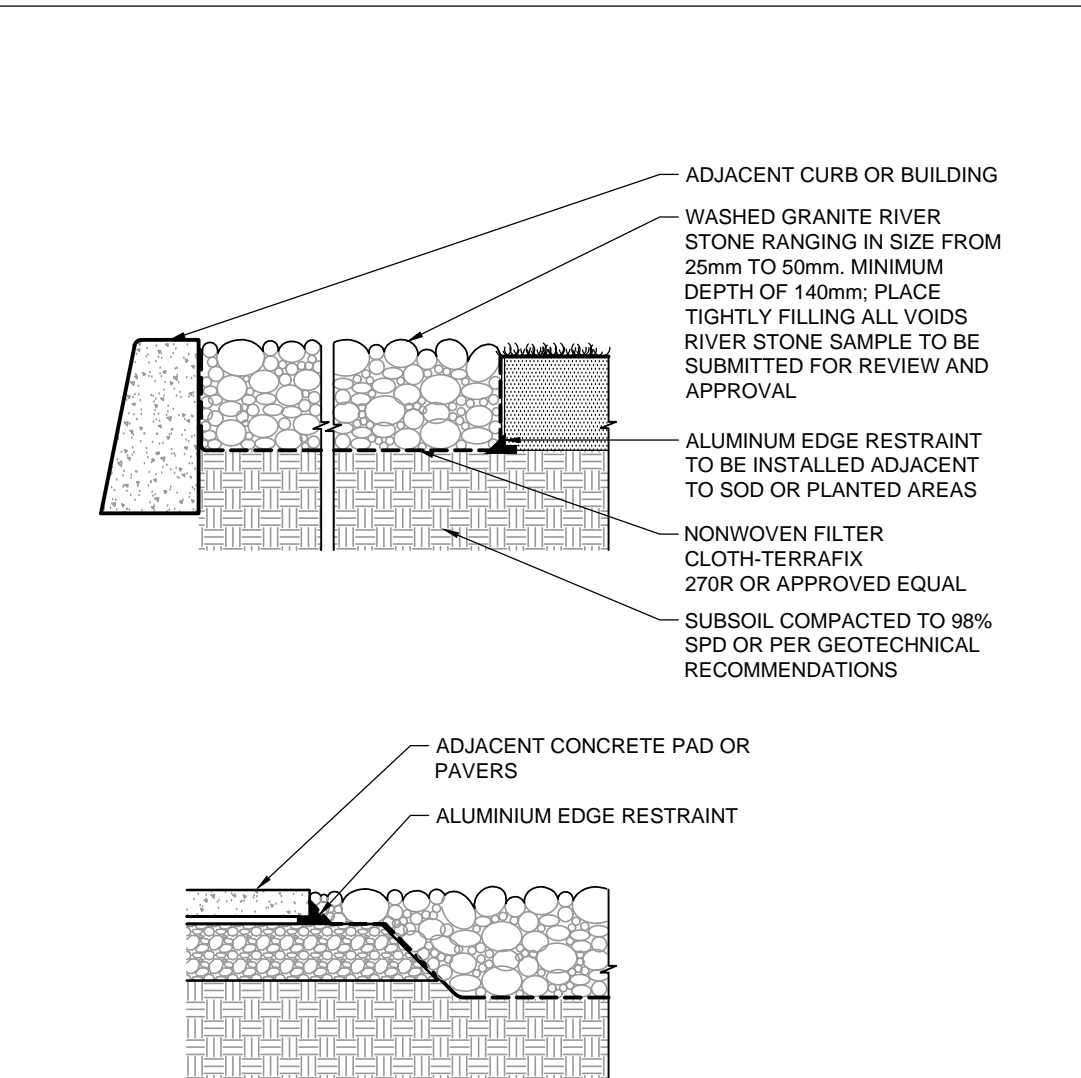
WOOD SCREEN DETAIL

D6



BIKE LAYOUT

D7



RIVERSTONE

D8

G Wildman

GERALDINE WILDMAN
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Geraldine Wildman at 7:08 pm, Dec 15, 2025

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SCALE	DESIGN
	TCB
	CHECKED
	SC
	DRAWN
	TCB
	CHECKED
	SC
	APPROVED
	SC

FOR REVIEW ONLY

NOVATECH Engineers, Planners & Landscape Architects Suite 200, 240 Michael Cowpland Drive Ottawa, Ontario, Canada K2M 1P6 Telephone (613) 254-9643 Facsimile (613) 254-5867 Website www.novatech-eng.com

LOCATION CITY OF OTTAWA 150 DUN SKIPPER DRIVE - RESIDENTIAL DEVELOPMENT	PROJECT No. 124107
DRAWING NAME LANDSCAPE DETAILS	REV REV # 4
	DRAWING No. 124107-R-L2