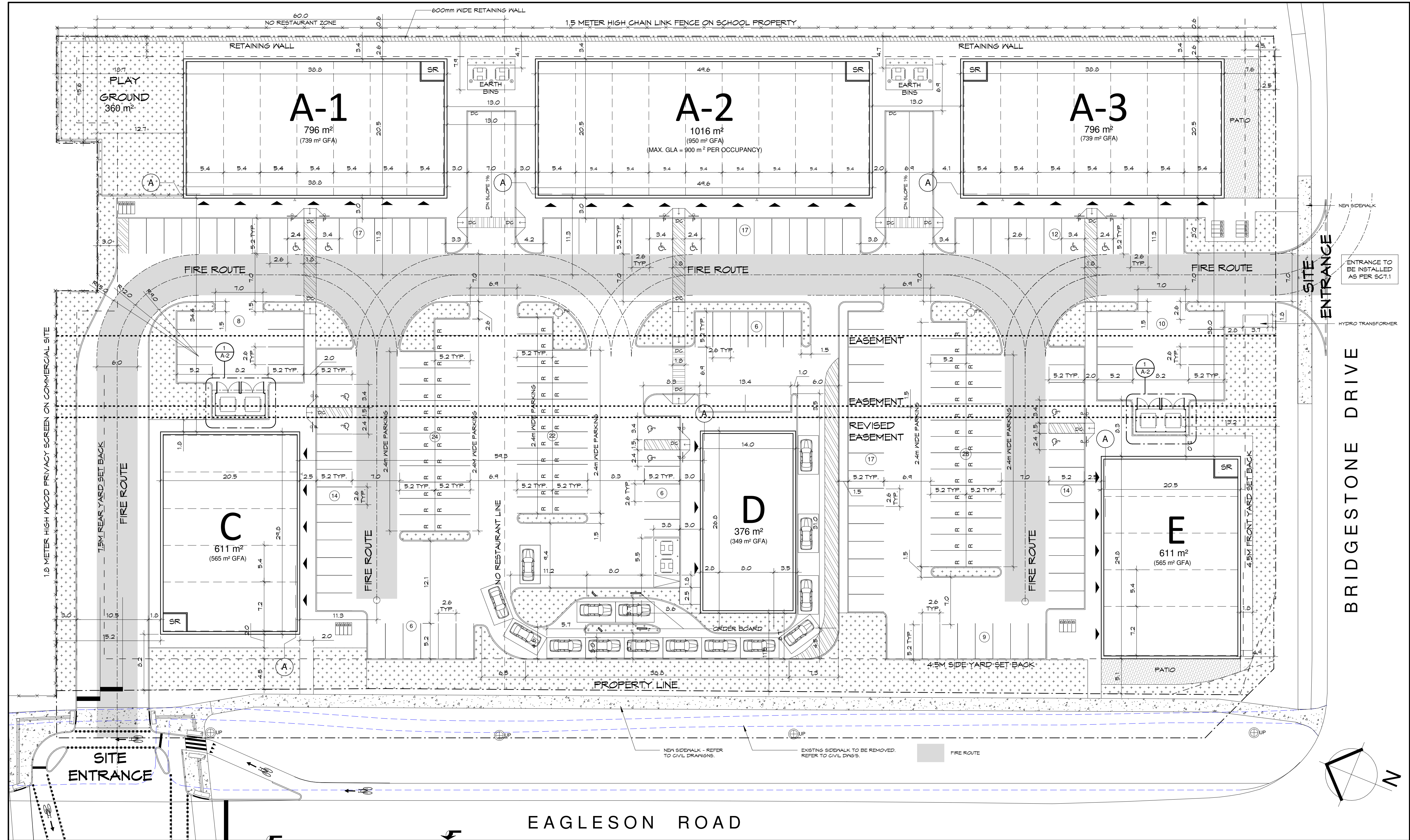


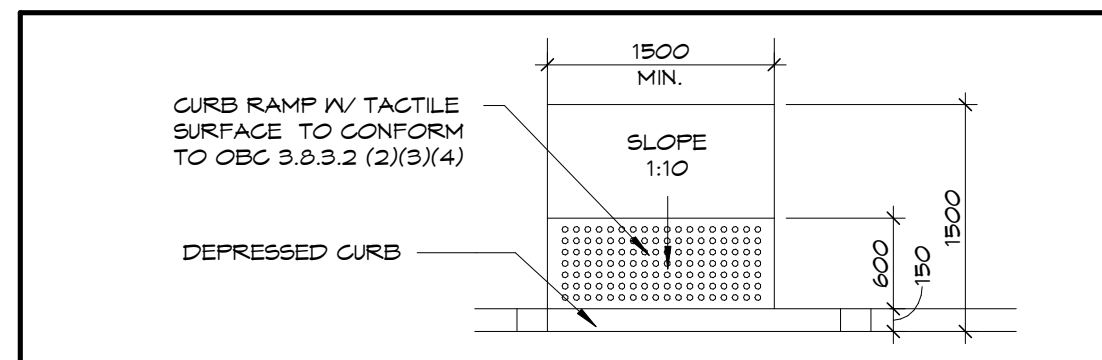


1 URBANDALE - EAGLESON SITE PLAN
A-1 SCALE: 1 : 300

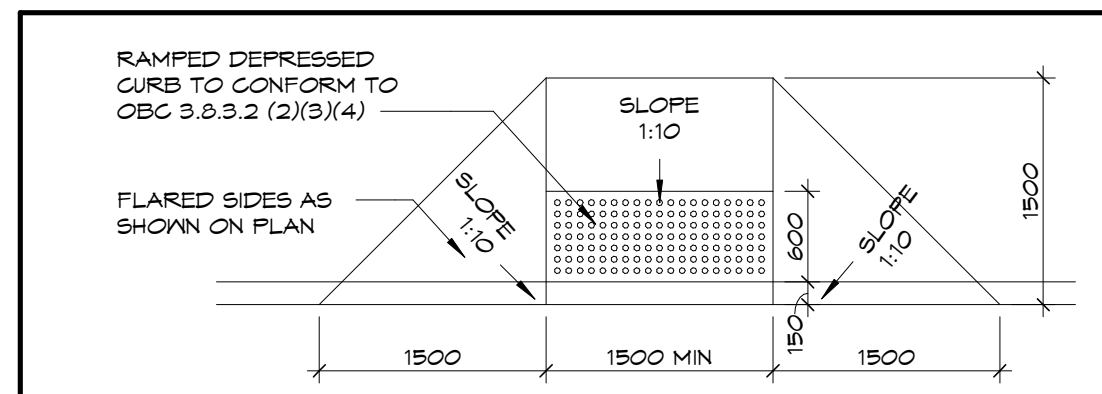
EAGLESON AND BRIDGESTONE PLAZA	
801 Eagleston Road Ottawa, Ontario	
OWNER / APPLICANT:	URBANDALE CORPORATION 2193 ARCH ST. OTTAWA, ON K1G 2H5
ARCHITECT:	DREDGE LEAHY ARCHITECTS INC. 11 HOLLAND AVE., SUITE 411 OTTAWA, ON K1Y 4R9
CIVIL ENGINEERING:	ARCADIS 333 PRESTON ST., SUITE 500 OTTAWA, ON K1S 5N4
PLANNING:	FOTENN 396 COOPER ST., SUITE 300 OTTAWA, ON K2P 2H7
M&E ENGINEERING:	JRP ENGINEERING 9 HOLLAND AVE., SUITE 411 OTTAWA, ON K1Y 4R9
LANDSCAPE ARCHITECT:	JAMES B. LENNOX & ASS. LANDSCAPE ARCHITECTS 3332 CARLING AVE. OTTAWA, ON K2H 5A8
SURVEYOR:	FAIRHALL MOFFATT & WOODLAND LTD. 600 TERRY FOX DRIVE, SUITE 100 KANATA, ON K2L 4B6
GEOTECHNICAL:	PATERSON GROUP 9 AURIGA DRIVE OTTAWA, ON K2E 7Y9

SITE PLAN NOTES:

- BOUNDARY INFORMATION TAKEN FROM SURVEY PREPARED BY FAIRHALL MOFFATT & WOODLAND LTD., REF. NO. 110-6 (RF) NP DATED JAN. 25, 2019.
- SNOW WILL BE REMOVED FROM SITE BY OWNER.
- MAXIMUM GLA OF BUILDING A-2 IS 900m² PER OCCUPANCY.



2 TYPICAL BARRIER-FREE RAMP DETAIL
A-1 SCALE: 1 : 50



3 TYPICAL BARRIER-FREE RAMP W/SIDES
A-1 SCALE: 1 : 50

SITE PLAN LEGEND	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
---	NEW CURB
---	NEW DEPRESSED CURB
▲	SITE / BUILDING ENTRANCE
▲	LAMP STANDARD
○	BOLLARD
□	ACCESSIBLE PARKING SIGN
□	FIRE ROUTE SIGN
□	STOP SIGN
□	ELECTRIC CAR CHARGING STATION
□	BICYCLE PARKING SPACE (2.0 x 1.0m)
□	ACCESSIBLE PARKING SPACE (TYPE A 5.4 x 5.2m) (TYPE B 2.4 x 5.2m)
□	STANDARD PARKING SPACE (2.6 x 5.2 m)
□	R - DENOTES REDUCED PARKING (2.4 x 5.2 m)
□	LANDSCAPED AREA
□	PAINTED LINES
□	EASEMENT AREA

ZONING COMPLIANCE TABLE		
Project: Eagleston and Bridgestone Plaza		
Address: 801 Eagleston Road, Ottawa, ON		
Zoning: L7 (226)		
Property Identification Number: 04742 - 4589		
Existing Lot Area: 17,172 m²		
Site Development Area Frontage: 93 m (along Bridgestone)		
Gross Floor Area (all buildings): 3,936 m²		
Legal Description:		
Part of Blocks AX and BX, Part of Bridgestone Drive (As Closed By-Law Inst. L7803175), Registered Plan M-183 and Part of Lot 28, Concession 6, (Rideau Front), Geographic Township of Nepean, City of Ottawa		
	REQUIRED	PROVIDED
Minimum Lot Area	no minimum	m²
Minimum Lot Width	no minimum	97 m
Minimum Front Yard Setback	4.5 m	4.9 m
Minimum Corner Side Yard Setback	4.5 m	6.4 m
Minimum Interior Side Yard Setback	no minimum	3.4 m
Minimum Rear Yard Setback abutting Residential	7.5 m	15.3 m
Maximum Building Height	12.5 m	6 m
Minimum width of landscaping abutting a Street	3 m	>3 m
Minimum width of landscaping abutting a Residential/Inst. zone	3 m	>3 m
Minimum width of landscaping around a parking lot	3 m	>3 m
Parking Requirements		
Parking Spaces for Shopping Centre - 3.6/100 m² GLA	142	210
Minimum queuing spaces for Drive-Thru	11	11
Barrier-free parking spaces	7	12
Bike Parking	16	20
Loading Spaces for Retail	0	0

Key Plan:
Plan C1:



RE - ISSUED FOR SITE PLAN APPLICATION 06 / 27 / 2025
ISSUED FOR SITE PLAN APPLICATION 01 / 22 / 2025

Issue: Date:
Prime Consultant: Expert-Consult: Expert-Consult:

DREDGE LEAHY ARCHITECTS INC.
411-11 Holland Ave.
Ottawa, ON K1Y 4S1
613.724.9865
dl-arch.ca

Sub Consultant: Expert-Consult:

Project: Project:
EAGLESON PLAZA

801 EAGLESON RD. KANATA, ON. K2M 0G7

Drawing: Dessin:
SITE PLAN

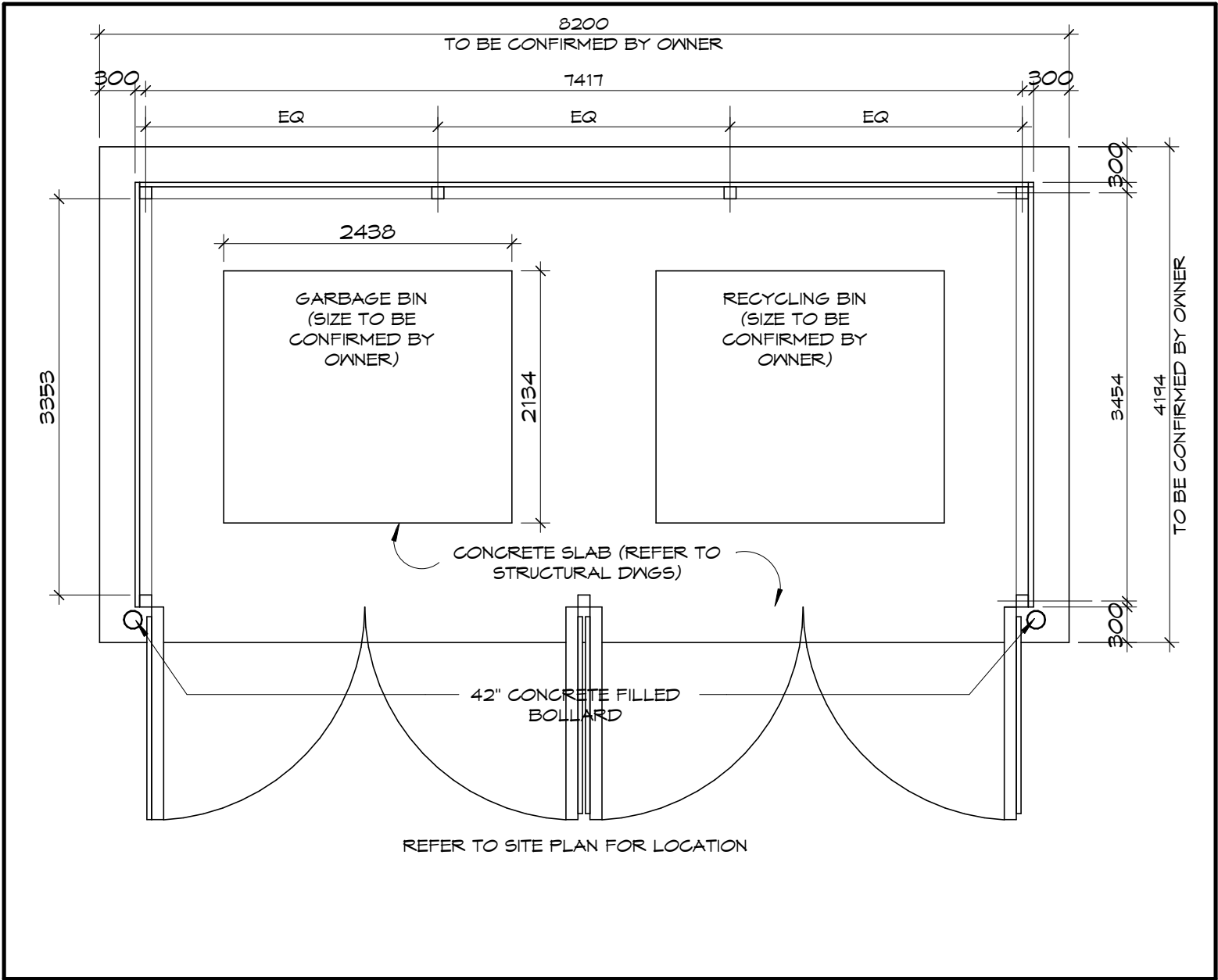
Drawn by: RD
Dessiné par: As indicated

Designed by: MD
Conçu par: JUN. 2025

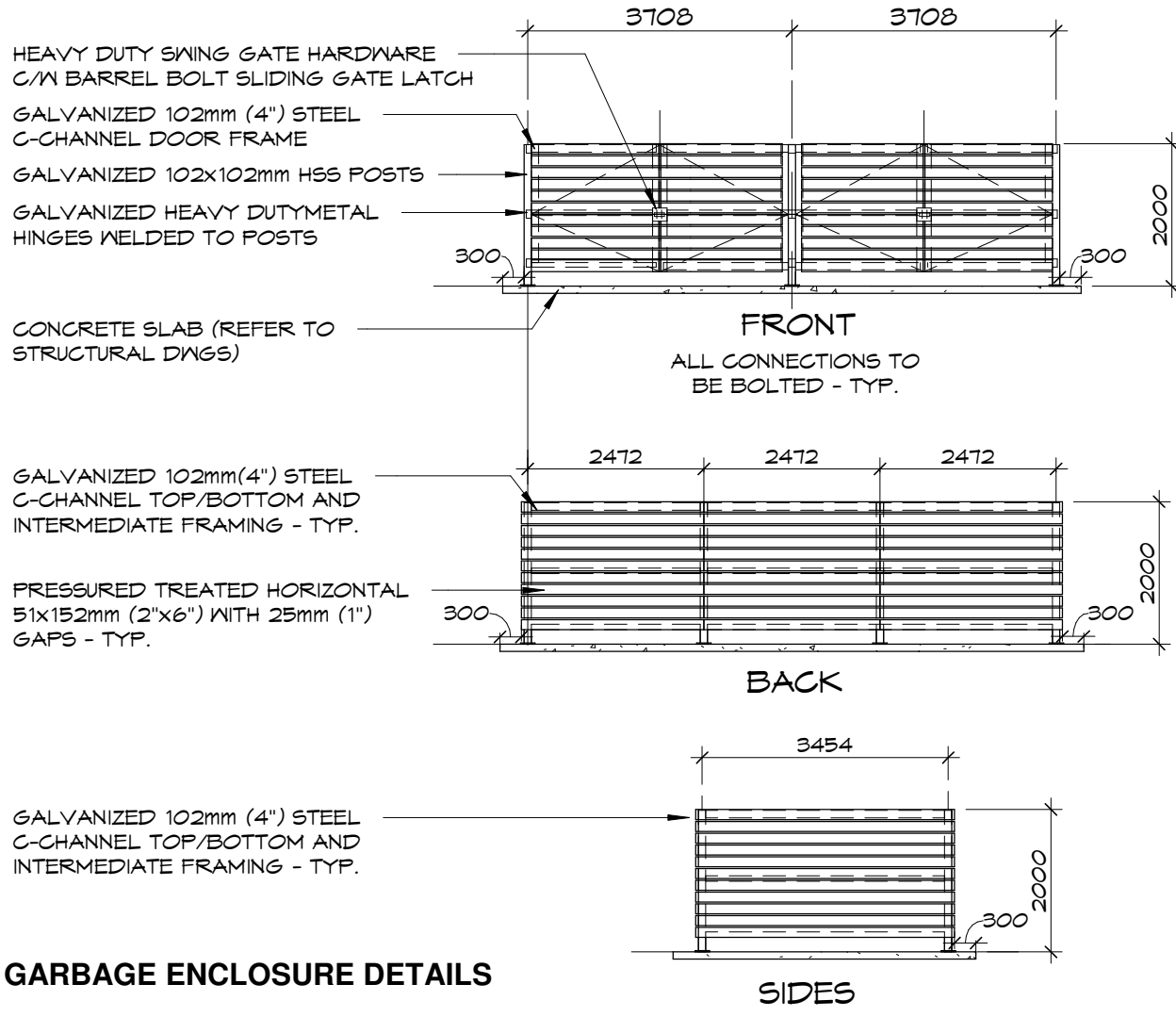
Approved by: MD
Approuvé par: Client Project No. No. du Projet du Client:

Seal: Soseau: Project No.: 1163-02
No. du Projet: No. de la feuille:

A-1



1 GARBAGE ENCLOSURE PLAN
A-2 SCALE: 1 : 50



2 GARBAGE ENCLOSURE ELEVATION
A-2 SCALE: 1 : 100

Client:



Key Plan:
Plan Clé:

T.N. = TRUE NORTH
P.N. = PROJECT
NORTH

P.N.
T.N.

RE - ISSUED FOR SITE PLAN APPLICATION	06 / 27 / 2025
ISSUED FOR SITE PLAN APPLICATION	01 / 22 / 2025
Issue:	Date:

Prime Consultant:
Expert-Conseil:

DREDGE
LEAHY

ARCHITECTS INC.

411-11 Holland Ave.
Ottawa, ON K1Y 4S1
613.724.9865

dl-arch.ca

Sub Consultant:
Expert-Conseil:

Project:
Projet:

EAGLESON PLAZA

801 EAGLESON RD. KANATA, ON. K2M 0G7

Drawing:
Dessin:

SITE DETAILS

Drawn by: Dessiné par:	Scale: Échelle:
RD	As indicated
Designed by: Conçu par:	Date:
MD	JUN. 2025
Approved by: Approuvé par:	Client Project No. No. du Projet du Client:
MD	
Seal: Sceau:	Project No.: No. du Projet:
	1163-02
	Sheet No.: No. de la feuille:
	A-2

PLAN # 19247

D07-12-25-0014