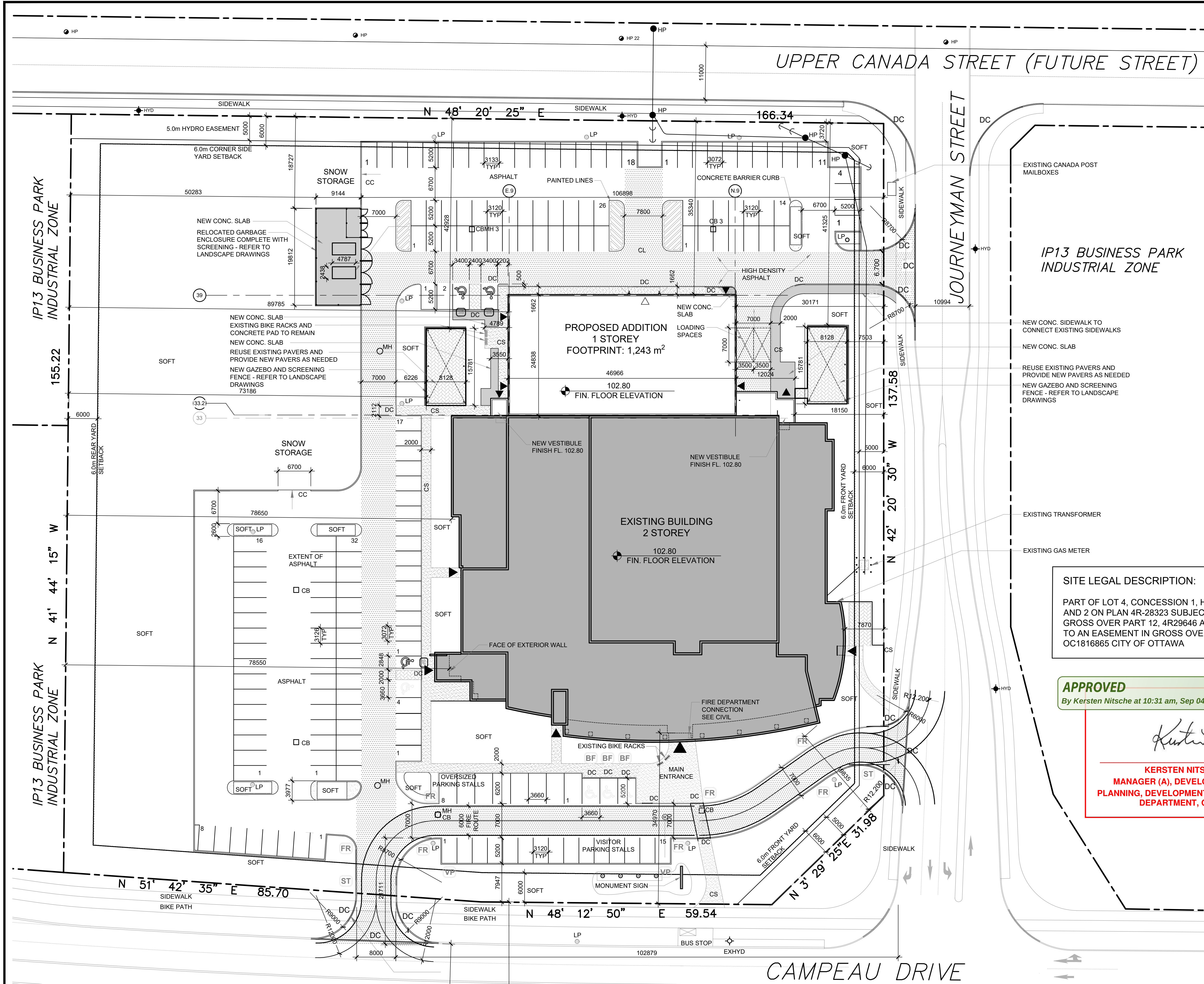
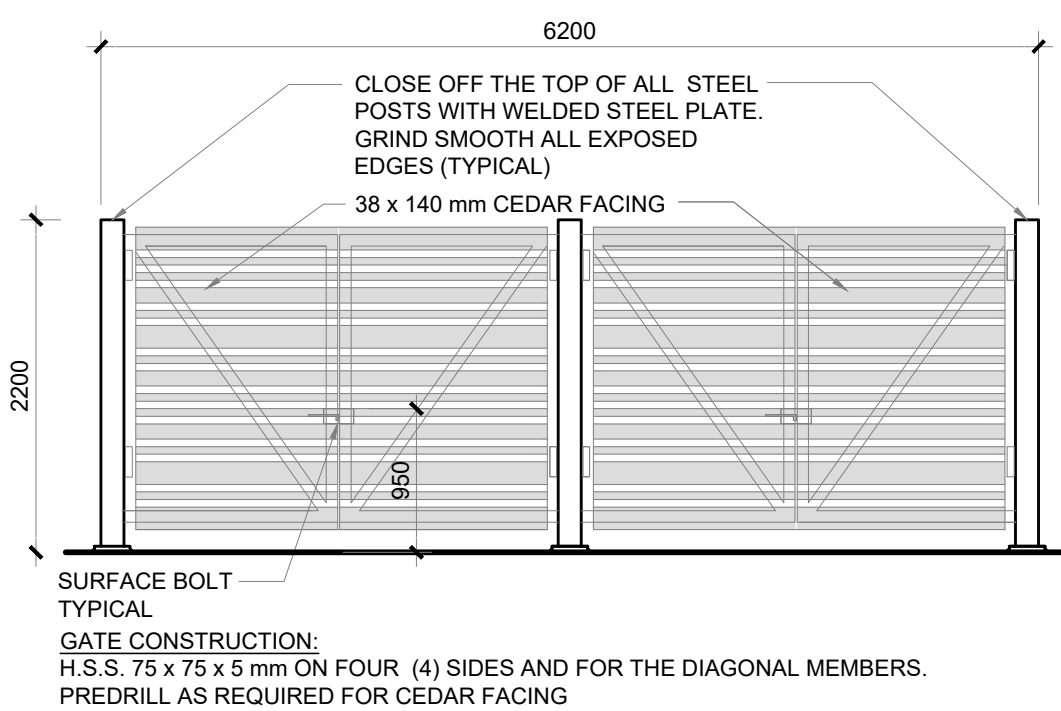
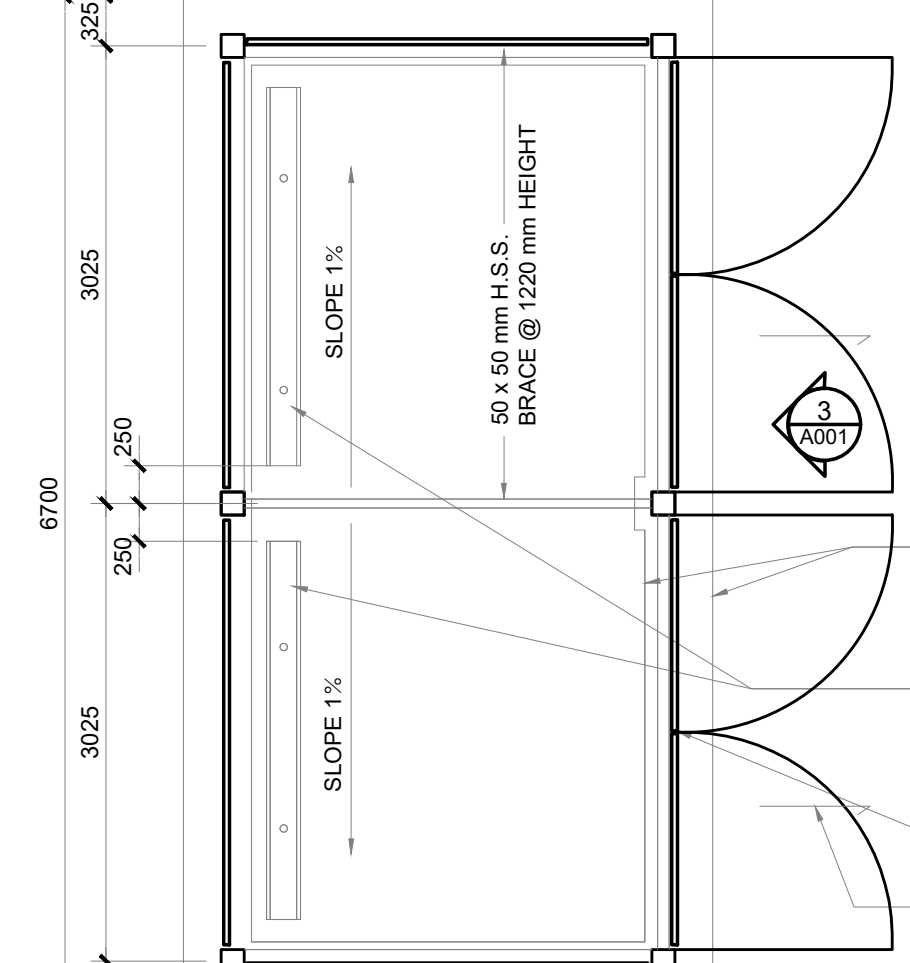




- SIGNAGE LEGEND:**
- NO TRESPASSING
 - FIRE ROUTE
 - BARRIER FREE PARKING
 - VISITOR PARKING
 - TEMPORARY PARKING
 - STOP SIGN
 - ONE WAY
- LEGEND:**
- EXHYD
 - HYD
 - FP
 - HP
 - LP
 - CB
 - MH
 - HP
 - DC
 - CC
 - NEW CURB
 - EXISTING FIRE HYDRANT
 - FIRE HYDRANT
 - FLAG POLE
 - HYDRO POLE
 - LIGHT POLE - SEE ELECTRICAL
 - CATCH BASIN - SEE CIVIL
 - MANHOLE - SEE CIVIL
 - BUILDING ENTRANCE/EXIT
 - OVERHEAD DRIVE-IN DOOR
 - HYDRO POLE
 - DEPRESSED CURB
 - CURB CUT
 - NEW CURB
 - PROPERTY LINE
 - YARD SET BACK
 - NEW CHAIN LINK FENCE
 - 6m WIDE FIRE ROUTE AND HIGH DENSITY ASPHALT REFER TO CIVIL
 - SOFT LANDSCAPE AREA FOR SPECIFIC FEATURES REFER TO LANDSCAPE DRAWINGS
 - EXISTING CONCRETE SURFACE
 - NEW CONCRETE SURFACE
 - PAVERS



3 GARBAGE ENCLOSURE ELEVATION
SCALE 1:50



2 GARBAGE ENCLOSURE PLAN
SCALE 1:50

PROJECT INFORMATION

TOPOGRAPHICAL PLAN INFORMATION:
SURVEY PROPERTY BOUNDARIES TAKEN FROM TOPOGRAPHICAL PLAN OF PART OF LOT 4 CONCESSION 1, CITY OF OTTAWA, PREPARED BY STANTEC GEOMATICS LTD. DATED APRIL 22, 2014.

SITE ZONING AS PER OTTAWA ZONING BY-LAW 2008-250 SITE DESIGNATION
IP13 - BUSINESS PARK INDUSTRIAL ZONE
AREA "C" OF SCHEDULE 1, CITY OF OTTAWA

PROPERTY IDENTIFICATION NUMBER (PIN):
045080122

BUILDING CLASSIFICATION

THE BUILDING IS CLASSIFIED AND DESIGNED TO CONFORM TO THE ONTARIO BUILDING CODE 2012 (CURRENT EDITION) PART 3

OCCUPANCY

GROUP A, DIVISION 2, SPRINKLERED (3.2.2.24)

BUILDING STATISTICS

EXISTING BUILDING FOOTPRINT = 4,721m² / 50,817ft²
NEW BUILDING ADDITION FOOTPRINT = 1,243m² / 13,380ft²
TOTAL BUILDING FOOTPRINT = 5,964m² / 64,196ft²

EXISTING GROSS FLOOR AREA = 5,562m² / 59,869ft²
ADDITION GROSS FLOOR AREA = 1,243m² / 13,380ft²
TOTAL GROSS FLOOR AREA = 6,805m² / 73,249ft²

NUMBER OF STOREYS = 2

THE BUILDING IS SPRINKLERED

NUMBER OF ACCESS ROUTES REQUIRED = 1
NUMBER OF ACCESS ROUTES PROVIDED = 1

CONSTRUCTION TYPE = NON-COMBUSTIBLE CONSTRUCTION

FLOOR ASSEMBLES ARE FIRE SEPARATIONS - FIRE-RESISTANCE RATINGS 1 HR MIN.

EXISTING PARKING REQUIREMENTS

REQUIRED: 139 + 3 B/F SPACES
PROVIDED: 178 + 4 B/F SPACES

NEW PARKING REQUIREMENTS

REQUIRED: 169 + 6 B/F SPACES
PROVIDED: 174 + 7 B/F SPACES

SITE LEGAL DESCRIPTION:

PART OF LOT 4, CONCESSION 1, HUNTLEY, BEING PARTS 1 AND 2 ON PLAN 4R-28323 SUBJECT TO AN EASEMENT IN GROSS OVER PART 12, 4R29646 AS IN OC1808653 SUBJECT TO AN EASEMENT IN GROSS OVER PART 1, 4R29686 AS IN OC1816865 CITY OF OTTAWA

APPROVED

By Kersten Nitsche at 10:31 am, Sep 04, 2025

KERSTEN NITSCHKE, MCIP RPP
MANAGER (A), DEVELOPMENT REVIEW WEST
PLANNING, DEVELOPMENT AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

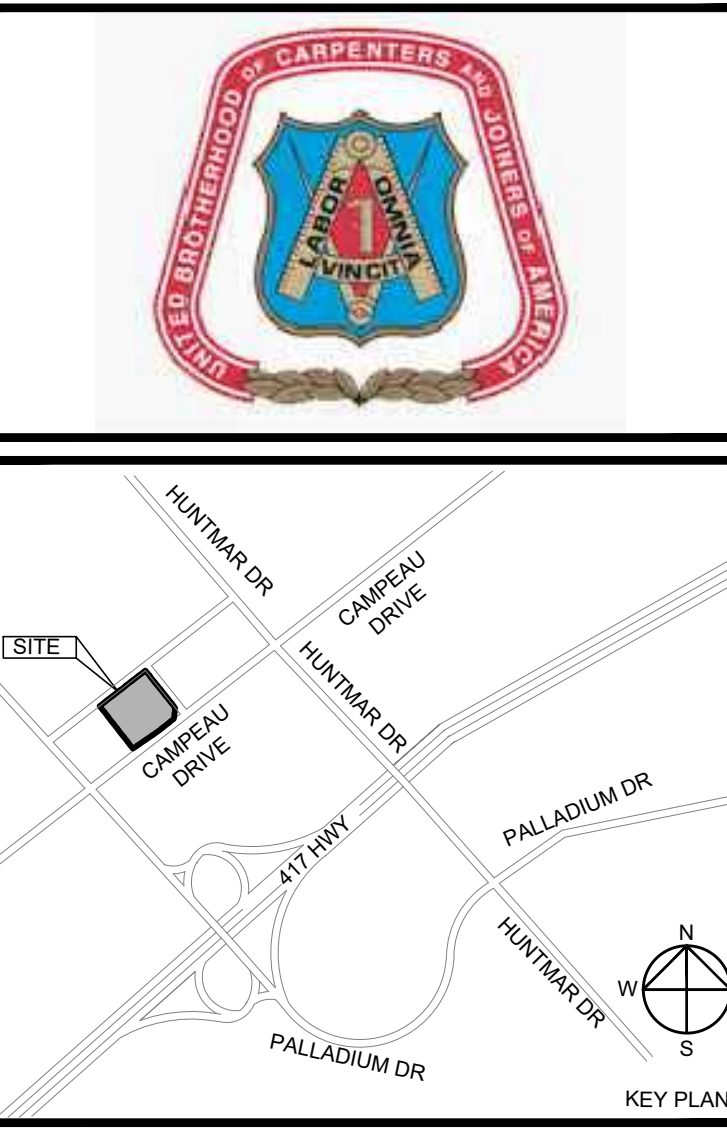
ZONING INFORMATION

NOTE: ALL ZONING DEFINITIONS AND REQUIREMENTS AS PER CITY OF OTTAWA ZONING BY-LAW 2008-250

ZONING MECHANISM	REQUIRED	PROVIDED
DEFINITION	IP-13 BUSINESS PARK INDUSTRIAL ZONE	
MIN. LOT AREA	750 m ²	26,310.11 m ² (6.50 Acres)
MIN. LOT WIDTH	NO Minimum	166.34 m
MAX. LOT COVERAGE (%)	55	23
MIN. FRONT YARD SETBACK	6 m	7.87 m (JOURNEYMAN)
MIN. CORNER SIDE YARD SETBACK	6 m	35.34 m (UPPER CANADA)
MIN. INTERIOR SIDE YARD SETBACK	4 m	34.97 m (CAMPEAU DR.)
MIN. REAR YARD SETBACK	6 m	78.55 m
MAX. FLOOR SPACE INDEX	2	0.26
MAX. BUILDING HEIGHT	22.0 m	11.50 m
MIN. WIDTH OF LANDSCAPE AREA	3 m	3.72 m
PARKING LANDSCAPE BUFFER	FOR A PARKING LOT CONTAINING 100 OR MORE SPACES: ABUTTING A STREET = 3 m NOT ABUTTING A STREET = 3 m	ABUTTING A STREET = 4.8m / 6.45m NOT ABUTTING A STREET = 3.72m

STANDARD PARKING SPACE	2.6m WIDTH x 5.2m LENGTH	
ACCESSIBLE PARKING SPACE	TYPE A: 3.4m WIDTH x 5.2m LENGTH TYPE B: 2.4m WIDTH x 5.2m LENGTH 1500mm MIN. WIDE ACCESS AISLE	
PARKING REQUIREMENTS	EXISTING BUILDING: 139 PARKING NEW TRAINING CENTRE: 30 PARKING (1243 X 2.4 / 100m ²) = 30	174 PARKING SPACES + 7 B/F SPACES
	TOTAL REQ'D = 169 PARKING SPACES	
BARRIER FREE ACCESSIBLE PARKING	AS PER OTTAWA TRAFFIC & PARKING BY-LAW 2017-301, PART "C", SECTION 112 (2), FOR A PARKING AREA WITH A CAPACITY OF 167-250 SPACES, 7 ACCESSIBLE SPACES (3 TYPE A; 4 TYPE B) ARE REQ'D	4 EXISTING ACCESSIBLE PARKING SPACES 3 NEW (2 TYPE A; 1 TYPE B)
LOADING SPACES	1 per 2,000 m ² - 4,999 m ² OF G.F.A.	4,535 m ² G.F.A. = 2 SPACE
BICYCLE PARKING RATE	EXISTING BUILDING: 7 BICYCLE SPACES REQ'D NEW TRAINING CENTRE: 1 BICYCLE SPACE REQ'D (1 PER 1500m ² OF G.F.A.) TOTAL REQ'D = 8 BICYCLE SPACES	16 BICYCLE SPACES (EXISTING)

ACCESSORY STRUCTURES (SECTION 55)	
MIN. FRONT YARD SETBACK (GAZEBO)	6 m
MIN. CORNER SIDE YARD SETBACK (GAZEBO)	0 m
MIN. REAR YARD SETBACK (GAZEBO)	0 m
MAX. PERMITTED HEIGHT (GAZEBO)	6 m
LANDSCAPING PROVISIONS FOR PARKING LOTS (SECTION 110)	
MIN. SETBACK TO A LOT LINE ABUTTING A STREET (GARBAGE ENCLOSURE)	9 m
MIN. SETBACK FROM ANY OTHER LOT LINE (GARBAGE ENCLOSURE)	3 m



CIVIL ENGINEER:
NOVATECH
Engineers, Planners & Landscape Architects
NOVATECH
240 MICHAEL COWPLAND DRIVE, SUITE 200
OTTAWA, ON, K2M 1P6
T: 613.254.9643

GEOTECHNICAL ENGINEER & SURVEYOR:
Stantec
STANTEC
400-1331 CLYDE AVENUE
OTTAWA ON K2C 3G4
T: 613.738.6070

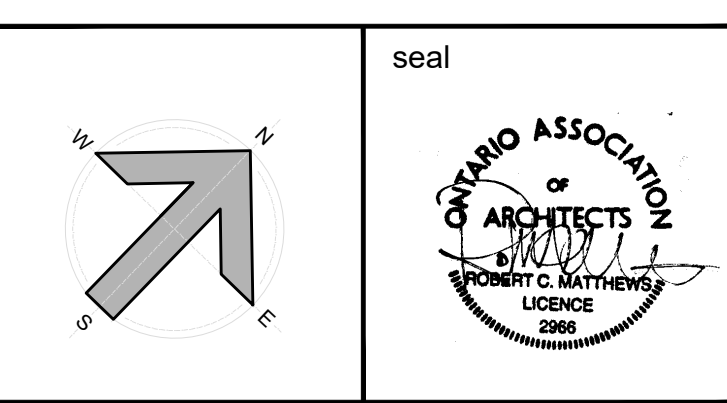
LANDSCAPE ARCHITECT:
Ruhland & Associates Ltd
landscape architecture • urban design • site planning
RUHLAND & ASSOCIATES LTD.
SUITE 200 - 1750 COURTHOOD CRESCENT
OTTAWA, ONTARIO K2C 2B5
T: 613.224.4744

no.	revision	date
03	REISSUED FOR SITE PLAN CONTROL	2025-07-15
02	REISSUED FOR SITE PLAN CONTROL	2025-04-16
01	ISSUED FOR SITE PLAN CONTROL	2025-02-21

N45 ARCHITECTURE INC.
71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
tel. 613.224.0095 fax 613.224.9811

**CARPENTER'S UNION
LOCAL 93 - RENOVATION**

8560 CAMPEAU DRIVE
OTTAWA, ONTARIO K2T 0N7



drawing title	
SITE PLAN	
scale	drawn by HW
date	checked by RM
project number	drawing number
23-790	A001
CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES.	
DO NOT SCALE DRAWINGS	

302 ROOF TOP UNIT - REFER TO MECHANICAL.
303 ROOF OVERFLOW SCUPPER. REFER TO
304 SPECIFICATIONS.
305 PREPARED METAL CAP FLASHING COMPLETE
306 WITH Drip EDGE.
307 AREA FOR FUTURE SIGNAGE. PROVIDE BACKUP
PLYWOOD.
401 RELOCATED EXISTING WALL-MOUNTED EXTERIOR
LIGHTING. CENTER ABOVE DOORS WHERE
APPLICABLE. REFER TO ELECTRICAL DRAWINGS.
402 NEW EXTERIOR WALL-MOUNTED LIGHTING TO
MATCH EXISTING. CENTER ABOVE DOORS WHERE
APPLICABLE. REFER TO ELECTRICAL DRAWINGS.
403 50mm EXPANSION JOINT. REFER TO STRUCTURAL
DRAWINGS.
404 152mm DIA. 1219mm TALL CONCRETE-FRAMED
STEEL TUBE BOLLARD WITH SAFETY YELLOW
PLASTIC COVE. TYP.
405 EXISTENT GRADE VARIES - REFER TO CIVIL
DRAWINGS.
406 EXTERNAL LIGHTING (PRECAST CONCRETE WALL).
411 ALUMINUM COMPOSITE PANEL (BLACK) FRAMING
OVERHEAD DOOR OPENING.

P1	WOOD VENEER HIGH PRESSURE LAMINATE PANEL
P2	HIGH PRESSURE LAMINATE PANEL - GREY

NOTES:
1. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
2. FIELD VERIFY ALL OPENING DIMENSIONS PRIOR TO FABRICATION

INSULATED GLASS UNITS:

GL-01 - 25mm SOLAR GRAY IGU - ALL GLAZING U.N.O.

GL-02 - 25mm CLEAR IGU

GL-03 - SOLERA "T" INSULATED GLASS DAYLIGHTING UNIT

SP-01 - INSULATED SPANDREL PANEL WITH BACKPAN

NOTE: PROVIDE CERAMIC BIRD FRIT DOT PATTERN
COMPLYING WITH BIRD SAFE DESIGN GUIDELINES ON
EXTERIOR SURFACE OF ALL EXTERIOR GLAZING.

APPROVED
By Kersten Nitsche at 10:31 am, Sep 04, 2025

**KERSTEN NITSCHKE, MCIP RPP
MANAGER (A), DEVELOPMENT REVIEW WEST
PLANNING, DEVELOPMENT AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA**

