

Zoning Confirmation Report Checklist

A. Project Information			
Review Date:	March 21, 2025	Reviewed Plans:	Site Plan Drawing SP-1 REV 13 prepared by Hobin Architecture Inc. dated March 21, 2025
Municipal Address(es):	1053, 1075, and 1145 March Road	Official Plan designation:	Mainstreet Corridor and Neighbourhood/Evolving Neighbourhood Overlay
Legal Description:	Block 125 on Preliminary 4M-Plan		
Scope of Work:	Site Plan Control and Lifting Holding By-law applications		
Existing Zoning Code:	Residential Fourth Density, Subzone Z, Urban Exception 2818, Holding Zone – R4Z[2818]-h	By-law Number:	2008-250
Schedule 1 / 1A Area:	Area D: Rural Area	Overlays Applicable:	

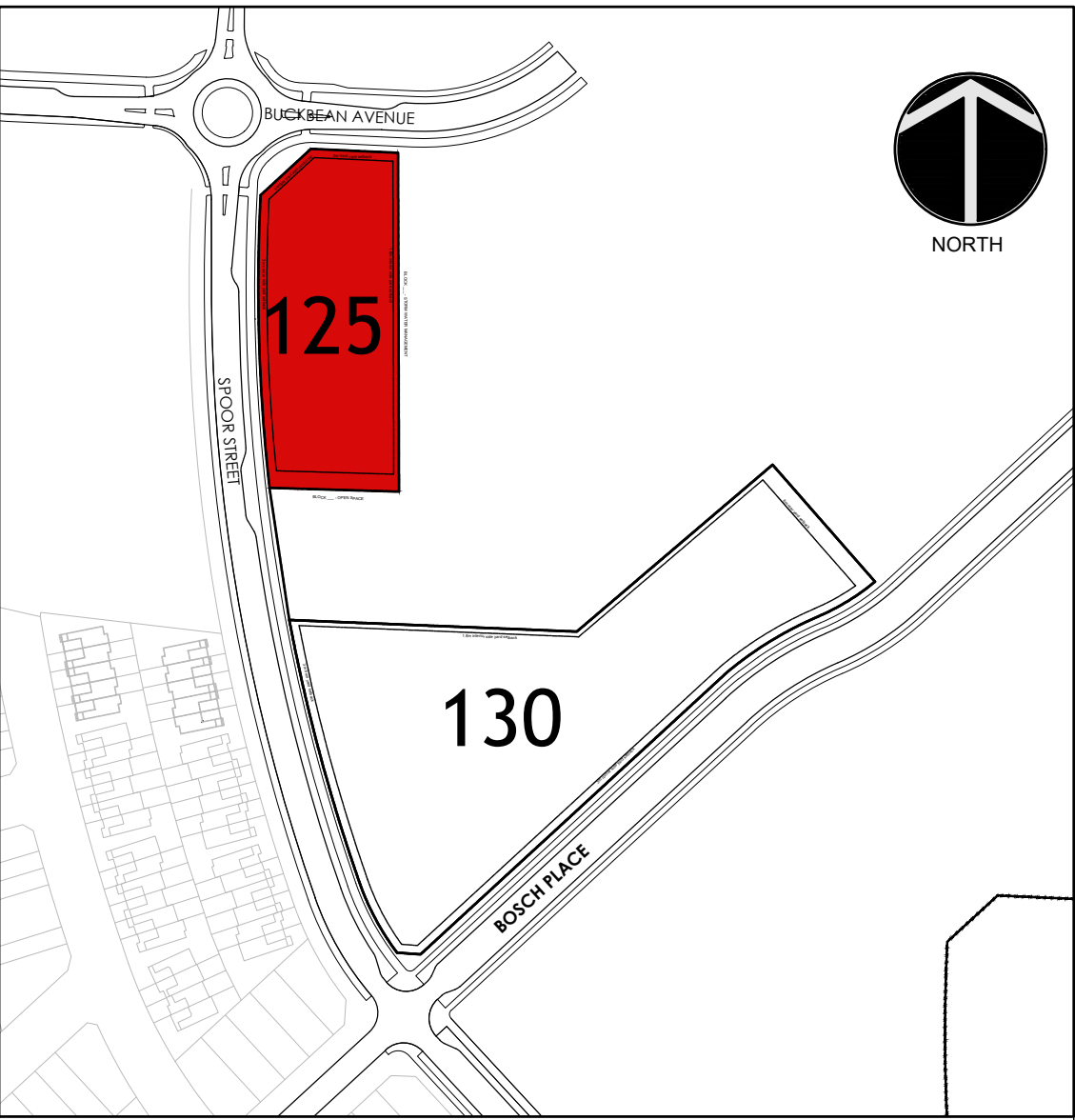
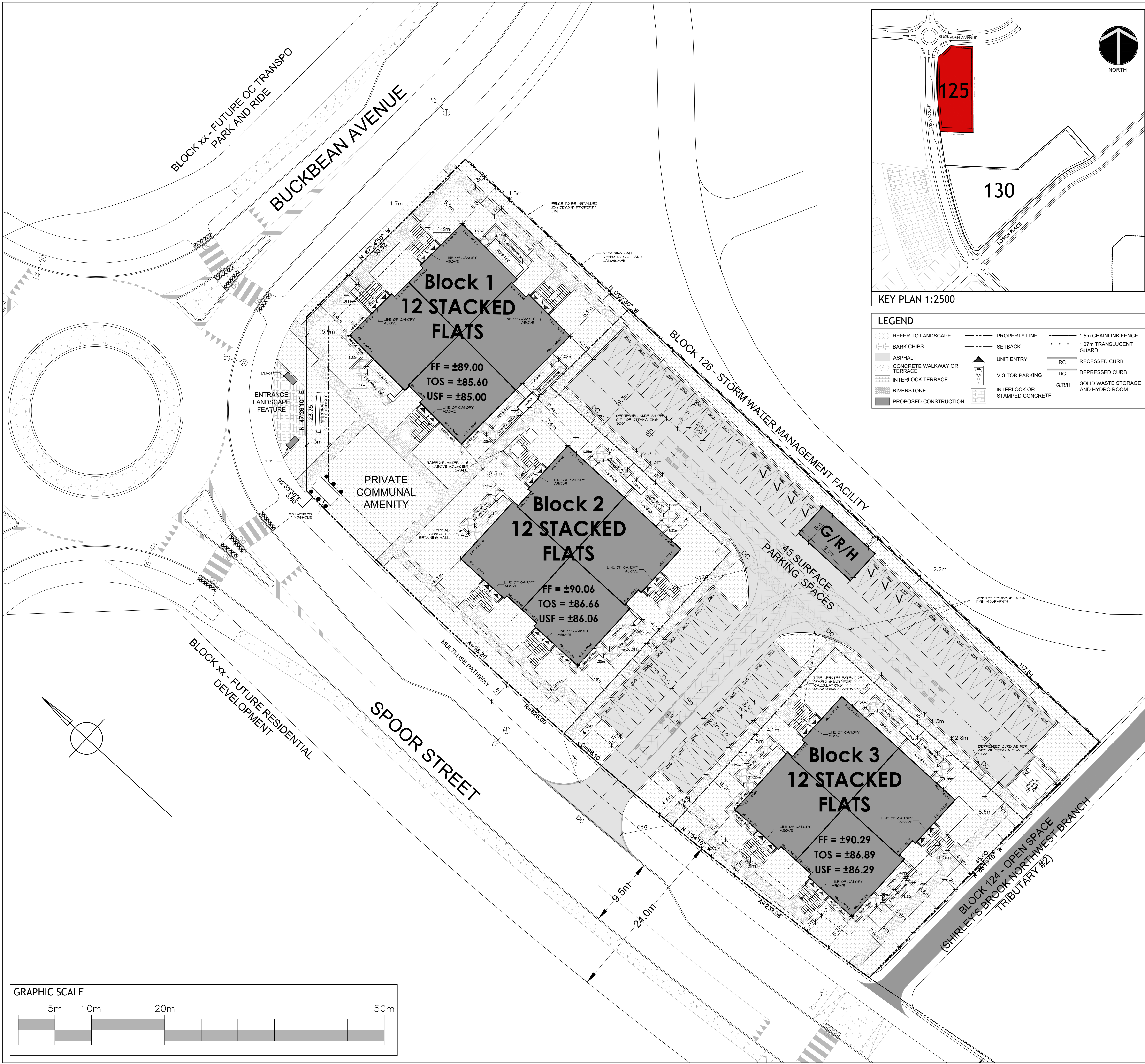
B. Zoning Review				
For Zoning By-law Amendments, please use the proposed zone and subzone requirements, if different than existing.				
Proposed Zone/Subzone (Zoning By-law Amendments only):				
Zoning Provisions	Applicable Section, Exception or Schedule Reference	By-law Requirement	Proposal	Compliant (Y/N)
Principal Land Use(s)	Section 161(1)(c)	Planned Unit Development (Stacked Dwellings)	Planned Unit Development (Stacked Dwellings)	YES
Lot Width	Part 6, Table 162A, Subzone Z, Column IV	18.0 m ²	45 m ²	YES
Lot Area	Part 6, Table 162A, Subzone Z, Column V	1,400 m ²	5,503 m ²	YES
Front Yard Set Back	Part 6, Table 162A, Subzone Z, Column VII	3.0 m	5.9 m	YES
Corner Side Yard Setback	Part 6, Table 162A, Subzone Z, Column VIII	3.0 m	5.3 m	YES
Interior Side Yard Setback	Part 6, Table 162A – Endnote 1(c)	1.8 m	6.8 m	YES
Rear Yard Setback	Part 6, Table 162A – Endnote 1(c) and Endnote 6	6.0 m	7.6 m	YES

Building Height	Part 6, Table 162A, Subzone Z, Column VI (in other cases)	15.0 m	11.0 m	YES
Projections into Required Yards (Terraces and Steps) Section 65	Part 2, Section 65(5)(b)(i)(1) and (2)	No Limit	1.5 m	YES
		No closer than 0.6 m to a lot line	1.7 m	YES
	Part 2, Section 65(6)(c)	2.0 m Maximum Projection	0.4 m	YES
		1.0 m to Property Line	5.6 m	YES
Required Parking Spaces Section 101 (Stacked Dwellings)	Part 4, Section 101 – Schedule 1A: Area "D" – Rural. Table 101, Row R10, Column II	36 spaces (1 space per dwelling unit)	38 spaces	YES
Visitor Parking Spaces Section 102 (Stacked Dwellings)	Part 4, Section 102 – Schedule 1A: Area "D" – Rural. Table 102, Row 3, Column III	7 spaces (0.2 spaces per dwelling unit)	7 spaces	YES
Bicycle Parking Spaces Section 111	Part 4, Section 111(1)	Not Required	0 spaces	YES
Other applicable relevant Provision(s)				
Minimum width of private way (PUD) Section 131	Part 5, Table 131, Row 1, Column II	6.0 m	6.0 m	YES
Minimum setback for any wall of a residential use building to a private way (PUD) Section 131	Part 5, Table 131, Row 2, Column II	1.8 m	4.5 m	YES
Minimum separation area between buildings within a Planned Unit Development (PUD) Section 131	Part 5, Table 131, Row 4(a), Column II	1.2 m	7.4 m	YES
Communal Accessory Building Sections 55 and 131	Part 2, Section 55, Table 55, Row 3(e)(i), Column II	1.8 m	1.8 m	YES
	Section 131(7)	4.5 m (Height)	4.5 m	YES
		200 m ²	35 m ²	YES

C. Comments/Calculations:

Amend *Zoning By-law 2008-250 Urban Exception 2818* to lift the following holding provisions:

- No construction of buildings is permitted prior to the removal of the holding symbol.
- An amendment to this by-law to remove the holding provision, in part or in full, is permitted once the following have been addressed to the satisfaction of the General Manager of Planning, Real Estate and Economic Development:
 1. Approval of detail design for the stormwater management pond and Shirley's Brook Tributary 2 realignment and restoration plan within the 1053, 1075 and 1145 March Road subdivision;
 2. Submission of an Environmental Compliance Approval application to the Ministry of Environment, Conservation and Parks for the stormwater management pond within the 1053, 1075 and 1145 March Road subdivision;
 3. Written permission from Mississippi Valley Conservation Authority based on Ontario Regulation 153/06 for the works outlined in item 1. above; and
 4. Provision of updated floodplain mapping for the Shirley's Brook Tributary 2 to the City of Ottawa by the Mississippi Valley Conservation Authority illustrating removal of the floodplain from the lot.



KEY PLAN 1:2500

LEGEND

REFER TO LANDSCAPE	PROPERTY LINE	1.5m CHAINLINK FENCE
BARK CHIPS	SETBACK	1.07m TRANSLUCENT GUARD
ASPHALT	UNIT ENTRY	RC RECESSED CURB
CONCRETE WALKWAY OR TERRACE	VISITOR PARKING	DC DEPRESSED CURB
INTERLOCK TERRACE	INTERLOCK OR STAMPED CONCRETE	G/RIH SOLID WASTE STORAGE AND HYDRO ROOM
RIVERSTONE		
PROPOSED CONSTRUCTION		



SITE DATA - BLOCK 125

SITE STATISTICS (# OF UNITS, GROSS BUILDING AREA, GROSS FLOOR AREA)

BLOCK 1	12 UNITS	447m ² (GBA)	1341m ² (GFA)
BLOCK 2	12 UNITS	447m ² (GBA)	1341m ² (GFA)
BLOCK 3	12 UNITS	447m ² (GBA)	1341m ² (GFA)
TOTAL	36 UNITS	1,341m ² (GBA)	4023m ² (GFA)

LOT COVERAGE

TOTAL LOT AREA:	5,503m ²
TOTAL GROSS BUILDING AREA:	1,376m ²
TOTAL LOT COVERAGE	25%
TOTAL VEHICULAR SURFACE AREA:	1,408m ²
TOTAL LOT COVERAGE	25.6%
TOTAL SOFT LANDSCAPE AREA:	1,690m ²
TOTAL LOT COVERAGE	30.7%
TOTAL HARD LANDSCAPE AREA:	1,029m ²
TOTAL LOT COVERAGE	18.1%

LANDSCAPING PROVISIONS FOR PARKING LOTS [SECTION 110, 1]

TOTAL PARKING LOT AREA:	1,950m ²
TOTAL LANDSCAPED PARKING AREA:	542m ²
TOTAL PARKING LOT COVERAGE	27.8%

MIN. WIDTH OF LANDSCAPE BUFFER FOR LOT CONTAINING MORE THAN 10 BUT FEWER THAN 100 SPACES

1.5m (REQUIRED)	2.2m (PROVIDED)
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SOLID WASTE STORAGE & DISPOSAL

REQUIRED	PROVIDED
GARBAGE STORAGE (0.231/UNIT) = 8.316yd. (3x 3yd. BINS)	GARBAGE STORAGE (3x 3yd. BINS)
FIBRE STORAGE (0.062/UNIT) = 2.23yd. (1x 3yd. BIN)	FIBRE STORAGE (1x 3yd. BIN)
G.M.P. STORAGE (0.018/UNIT) = 0.65yd. (1x 2yd. BIN)	G.M.P. STORAGE (1x 3yd. BIN)
GREEN WASTE STORAGE 1x240L CONTAINER	GREEN WASTE STORAGE 1x240L CONTAINER

AMENITY AREA [SECTION 137, TABLE 1(6)]

REQUIRED	PROVIDED
PRIVATE AMENITY AREA: 36 DWELLING UNITS x 6m ² = 216m ²	PRIVATE AMENITY AREA: 36 UNIT TERRACES x 8.6m ² = 310m ²
COMMUNAL AMENITY AREA: (50% of 216m ²) = 108m ²	COMMUNAL AMENITY AREA: (COMMUNITY PARK) = 156m ²
TOTAL AMENITY AREA: 324m ²	TOTAL PROVIDED: 466m ²

ZONING STATISTICS

ZONING: R4Z[2818]-h - RESIDENTIAL FOURTH DENSITY ZONE, SUBZONE Z URBAN EXCEPTION 2818, HOLDING PROVISION

DWELLING TYPE: PUD - 36 STACKED FLATS	REQUIRED	PROPOSED
SETBACKS		
FRONT YARD	3m	5.9m
INTERIOR SIDE YARD	1.8m	6.8m
CORNER SIDE YARD	3m	5.3m
REAR YARD	6m	7.6m
MIN. LOT WIDTH	18m	45m
MIN. LOT AREA	1400m ²	5,503m ²
MAX. BUILDING HEIGHT	15m	11m
PLANNED UNIT DEVELOPMENT (SECTION 131)		
MIN. WIDTH OF PRIVATE WAY	6.0m MIN.	6.0m
MIN. SETBACK TO PRIVATE WAY	1.8m MIN.	4.5m
MIN. SEPARATION AREA BETWEEN BUILDINGS	1.2m MIN.	7.4m
MAX. HEIGHT OF COMMUNAL GARBAGE BUILDING	4.5m MAX.	4.5m
MAX. AREA OF COMMUNAL GARBAGE BUILDING	200m ² MAX.	35m ²
ACCESSORY BUILDINGS (SECTION 55/SECTION 131)		
INTERIOR SIDE YARD SETBACK	1.8m MIN.	1.8m
MAX. ACCESSORY BUILDING AREA	200m ²	48m ²
MAX. ACCESSORY BUILDING HEIGHT	4.5m	4.5m
PERMITTED PROJECTIONS (SECTION 65)		
TABLE 65 (5)(b)(i)(2)	N/A MAX PROJECTION	1.5m
	.6m MIN FROM LOT LINE	1.7m
	2.0m MAX PROJECTION	0.4m
TABLE 65 (6)(c)	1.0m MIN. FROM LOT LINE	5.6m

PARKING REQUIREMENTS - RESIDENTS

PARKING PROVISIONS - SECTION 101, Table 101 [Area D on Schedule 1A] + SECTION 102, Table 102 [Area D on Schedule 1A] + SECTION 111, Table 111A

BLOCK 125	
REQUIRED	PROVIDED
36 RESIDENT PARKING SPACES (1 x 36)	38 RESIDENT PARKING SPACES
2 VISITOR PARKING SPACES (0.2 x 36)	2 VISITOR PARKING SPACES
43 PARKING SPACES TOTAL	45 PARKING SPACES TOTAL
0 BIKE PARKING	0 BIKE PARKING

SURVEY INFORMATION

PLAN OF SUBDIVISION OF PART OF LOTS 13 And 14 CONCESSION 3 Geographic Township of March CITY OF OTTAWA

Prepared by Annis, O'Sullivan, Vollebakk Ltd. 2024

14 Concourse Gate Suite 500, Nepean, ON K2E 7S6 - (613) 727-0850

*SUBJECT SITE IS IDENTIFIED AS BLOCK 125 ON THE PRELIMINARY 4M-PLAN *

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13	2025-03-21	ISSUED FOR SPA
12	2025-03-14	ISSUED FOR COORDINATION
11	2025-03-06	ISSUED FOR COORDINATION
10	2025-01-29	ISSUED FOR REVIEW
9	2025-01-23	ISSUED FOR COORDINATION
8	2025-01-16	ISSUED FOR COORDINATION
7	2024-11-27	ISSUED FOR REVIEW
6	2024-11-22	ISSUED FOR REVIEW
5	2024-09-04	SPA PH2 COMMENTS
4	2024-07-29	ISSUED FOR REVIEW
3	2024-07-16	ISSUED FOR REVIEW
2	2024-06-17	ISSUED FOR REVIEW
1	2024-05-30	ISSUED FOR REVIEW

no. date revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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HOBIN ARCHITECTURE

project title
COPPERWOOD FLATS
LOW-RISE STACKED DWELLINGS
1033, 1075, and 1145 MARCH ROAD

drawing title
PHASE 1 - BLOCK 125
SITE PLAN

drawn TO/UD
date APR 2024
scale 1:250

project 2202.01
drawing no. SP-1
revision no. #XX XXX