

1 BASEMENT FLOOR PLAN - SPC  
A.120 1 : 125

GENERAL NOTES - CONSTRUCTION PLAN

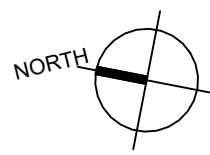
- INTERIOR FINISHES (INCLUDING FLOORS AND BASEBOARDS): REFER TO FINISH PLANS FOR DETAILS OF COMPOSITION
- PROVIDE NAILERS ON ALL WALLS TO RECEIVE BUILT-IN FURNITURE, SHELVING, SCREENS, ETC.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TAKEN FROM FACE OF STUDS AND CENTER OF DOORS AND WINDOWS. REQUIRED CLEARANCES WILL BE DIMENSIONED AND SHOWN TO FACE OF WALL OR DOOR OPENING
- SEE A800 FOR DOOR SCHEDULE
- UNLESS OTHERWISE INDICATED, ALL EQUIPMENT IS PROVIDED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR MUST COORDINATE AND PROVIDE THE SERVICES REQUIRED TO POWER THE EQUIPMENT.
- FILL ALL GAPS AND JOINTS WITH ACOUSTIC INSULATION AND SEAL WITH ACOUSTIC CAULKING WHEN ACOUSTIC PERFORMANCE IS REQUIRED.
- COORDINATE WALL OPENINGS WITH MECHANICAL (SEE MECHANICAL DRAWINGS).
- PLYWOOD PANELS USED AS NAILERS IN THE ELECTRICAL ROOMS MUST BE FIRE-TREATED.
- PROVIDE ROD AND SHELF TYP. FOR ALL CLOSETS AS SHOWN.
- ALL WINDOW AND DOOR DIMENSIONS ARE TO ROUGH STUD OPENING.
- ALL OUTSIDE DIMENSIONS ARE TO OUTSIDE FACE OF STUD SHEATHING.
- REFER TO STRUCTURAL DRAWINGS FOR BEAMS, LINTELS, POSTS, FLOOR, AND ROOF FRAMING.
- ALL ELECTRICAL AND MECHANICAL ITEMS SHOWN ON DRAWINGS ARE FOR LOCATION PROPOSED ONLY. COORDINATE WITH M&E DRAWINGS.
- CAULK AND SEAL AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS.
- PROVIDE FIRE STOPPING FOR MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES. INFILL ANY UNUSED PENETRATIONS WITH FIRE-STOPPING TO SUIT ASSEMBLY.
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- FURNITURE SHOWN FOR REFERENCE PURPOSE ONLY.
- ALL ELECTRICAL CONTROL HEIGHTS WITHIN BARRIER-FREE UNITS AND PATHS OF TRAVEL THROUGHOUT THE BUILDING TO COMPLY WITH CSA B-651
- PROVIDE SOUNDPROOF FIBERGLASS BATT IN ALL PARTITIONS WITH SUPPLY PIPES, SANITARY DRAIN OR RAINWATER LEADERS. COORDINATE WITH MECH.
- UNIT NAME: "XBD-BF" INDICATES BARRIER-FREE REQUIREMENTS AS PER CAN/CSA NATIONAL STANDARD OF CANADA, AND ACTION OTTAWA'S ACCESSBLE UNIT REQUIREMENTS.

GENERAL NOTES - PARTITIONS

- UNLESS INDICATED OTHERWISE, ALL NEW GYPSUM PARTITIONS ARE WOOD-FRAMED. REFER TO WALL TAGS FOR DETAILS OF COMPOSITION.
- PARTITIONS CONTINUING TO THE SLAB MUST BLEND PERFECTLY WITH ITS GEOMETRY TO ENSURE THAT THE FULL PERIMETER IS CAULKED TO MEET THE REQUIRED IJO FIRE RESISTANCE AND/OR TO ENSURE THE REQUIRED ACOUSTIC PERFORMANCE.
- UNLESS NOTED OTHERWISE, DOOR FRAMES ARE INSTALLED 4" FROM THE ADJACENT WALL.
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LEGEND - CONSTRUCTION PLAN

- NEW WALL
- WALL TYPE
- NUMBER OF WALL TYPE
- FIRE RATING
  - 0h = FIRE SEPARATION WITHOUT RATING
  - 45 min. = FIRE RESISTANCE RATING OF 45 MIN.
  - 1h = FIRE RESISTANCE RATING OF 1h
- NUMBER AND CEILING HEIGHT
- ROOF TYPE
- NUMBER AND ROOM NAME
- WINDOW NUMBER
- REVISION NUMBER
- CENTRE LINE



No.	Date	Issued for
1	04/04/2025	SITE PLAN CONTROL
2	11/06/2025	SPC RESPONSE 1

Architecte Paysagiste/ Landscape Architect

**NAK**  
design strategies

Ingénieur / Engineer  
(Civil / Civil)

**eegis**

Ingénieur / Engineer  
(Mécanique & Électrique / Mechanical & Electrical)

**Smith + Andersen**

Ingénieur / Engineer  
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**D+M**  
STRUCTURAL  
ENGINEERING

Urban Planner / Urbaniste

**FOTENN**  
Planning + Design

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Client / Client

**Centretown Citizens**  
Ottawa Corporation

Architecte / Architect

Collectif d'architectes

Fig. 1  
3550, Saint-Armande O.  
Montreal Q2 H4C 1A9  
T. 514 981-5122

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Fig. 2  
190 Somerset St W #206  
Ottawa ON K2P 1A4  
T. 613 695-6122

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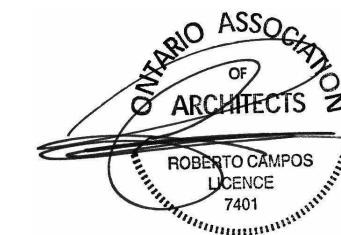
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Scalé / Scale

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Project / Project

**6 STOREY APARTMENT BUILDING**

240 PRESLAND ROAD

**BASEMENT**

Dessiné par / Drawn by  
GM

No. projet / Project number  
2424

Vérifié par / Verified by  
ZK

No. dessin / Drawing number

Révision / Revision

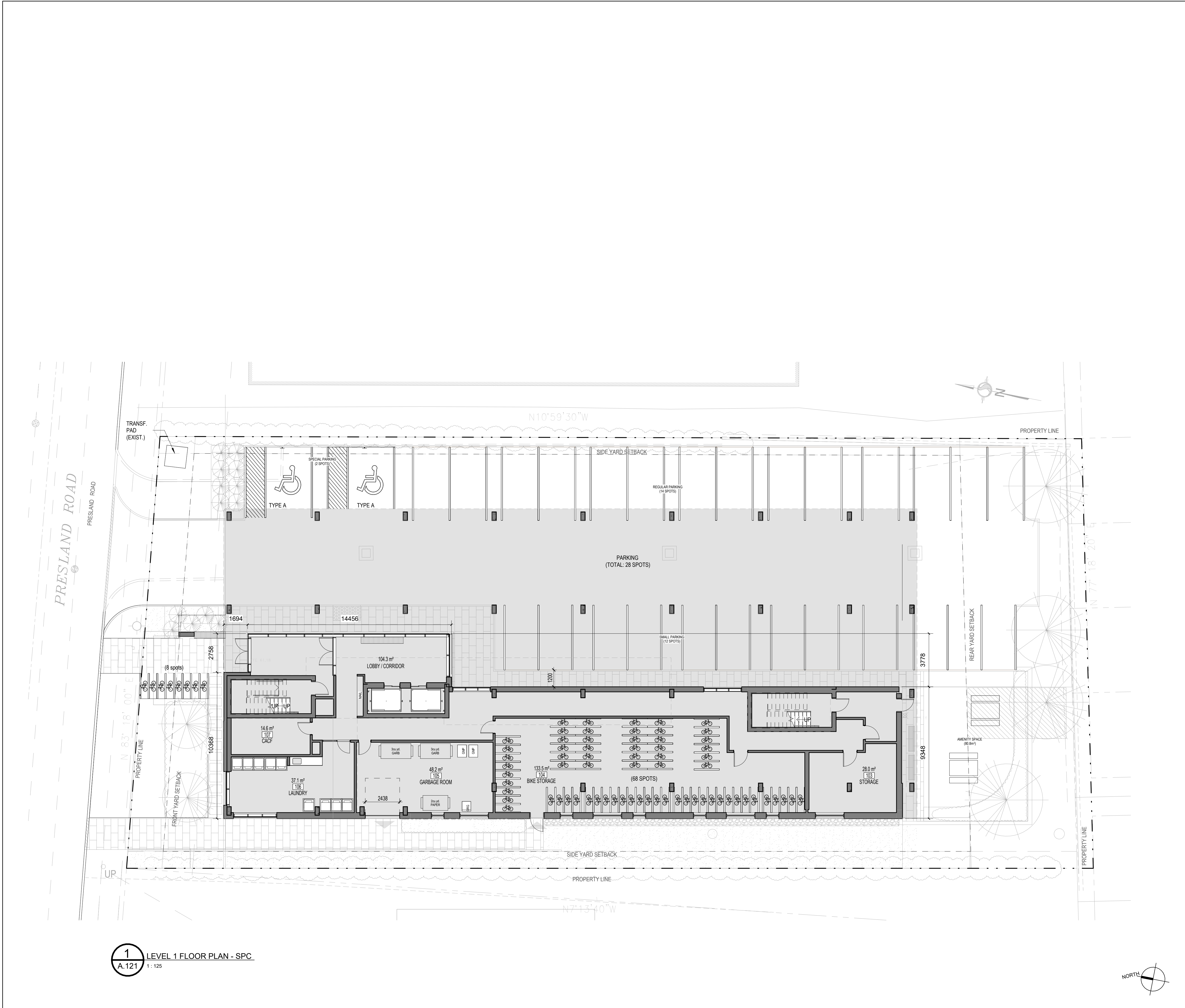
Echelle / Scale  
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2

Date de création du dessin /  
Drawing creation date  
04/04/25

**A.120**





1 LEVEL 1 FLOOR PLAN - SPC  
A.121 1:125

GENERAL NOTES - CONSTRUCTION PLAN

1. INTERIOR FINISHES (INCLUDING FLOORS AND BASEBOARDS): REFER TO FINISH PLANS FOR DETAILS OF COMPOSITION

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3. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TAKEN FROM FACE OF STUDS AND CENTER OF DOORS AND WINDOWS. REQUIRED CLEARANCES WILL BE DIMENSIONED AND SHOWN TO FACE OF WALL OR DOOR OPENING

4. SEE A800 FOR DOOR SCHEDULE

5. UNLESS OTHERWISE INDICATED, ALL EQUIPMENT IS PROVIDED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR MUST COORDINATE AND PROVIDE THE SERVICES REQUIRED TO POWER THE EQUIPMENT.

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8. PLYWOOD PANELS USED AS NAILERS IN THE ELECTRICAL ROOMS MUST BE FIRE-TREATED.

9. PROVIDE ROD AND SHELF TYP. FOR ALL CLOSETS AS SHOWN.

10. ALL WINDOW AND DOOR DIMENSIONS ARE TO ROUGH STUD OPENING.

11. ALL OUTSIDE DIMENSIONS ARE TO OUTSIDE FACE OF STUD SHEATHING.

12. REFER TO STRUCTURAL DRAWINGS FOR BEAMS, LINTELS, POSTS, FLOOR, AND ROOF FRAMING.

13. ALL ELECTRICAL AND MECHANICAL ITEMS SHOWN ON DRAWINGS ARE FOR LOCATION PROPOSED ONLY. COORDINATE WITH M&E DRAWINGS.

14. CAULK AND SEAL AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS.

15. PROVIDE FIRE STOPPING FOR MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES. INFILL ANY UNUSED PENETRATIONS WITH FIRE-STOPPING TO SUIT ASSEMBLY.

16. REFER TO RCP PLANS FOR BULKHEAD LOCATIONS AND DEPTHS.

17. FURNITURE SHOWN FOR REFERENCE PURPOSE ONLY.

18. ALL ELECTRICAL CONTROL HEIGHTS WITHIN BARRIER-FREE UNITS AND PATHS OF TRAVEL THROUGHOUT THE BUILDING TO COMPLY WITH CSA B-651

19. PROVIDE SOUNDPROOF FIBERGLASS BATT IN ALL PARTITIONS WITH SUPPLY PIPES, SANITARY DRAIN OR RAINWATER LEADERS. COORDINATE WITH MECH.

20. UNIT NAME: "XBD-BF" INDICATES BARRIER-FREE REQUIREMENTS AS PER CAN/CSA NATIONAL STANDARD OF CANADA, AND ACTION OTTAWA'S ACCESSIBLE UNIT REQUIREMENTS.

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LEGEND - CONSTRUCTION PLAN

NEW WALL

WALL TYPE

1 23 1h 2 0.75 0.54

1 23 1h 2 0.75 0.54

NUMBER OF WALL TYPE

FIRE RATING

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NUMBER AND CEILING HEIGHT

ROOF TYPE

NUMBER AND ROOM NAME

WINDOW NUMBER

REVISION NUMBER

CENTRE LINE

Architecte Paysagiste Landscape Architect

NAK design strategies

ingénieur / Engineer (Civil / Civil)

egis

ingénieur / Engineer (Mécanique & Électrique / Mechanical & Electrical)

Smith + Andersen

ingénieur / Engineer (Structure / Structure)

D+M STRUCTURAL ENGINEERING

Urban Planner / Urbaniste

FOTENN Planning + Design

420 O'Connor St., Suite 200, Ottawa, ON, K2P 1W4

Client / Client

Centretown Citizens Ottawa Corporation

Collectif d'architectes

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Fig. 1 3550, Saint-Armande O. Ottawa ON K2P 1A4 T. 613 695-6122

Fig. 2 190 Somerset St W #206 Ottawa ON K2P 1A4 T. 613 695-6122

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Sceau / Seal

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Project / Project

6 STOREY APARTMENT BUILDING

240 PRESLAND ROAD

Titre / Title

LEVEL 1

Dessiné par / Drawn by

No. projet / Project number

GM 2424

Vérifié par / Verified by

No. dessin / Drawing number

ZK

Echelle / Scale

As indicated

Date de création du dessin / Drawing creation date

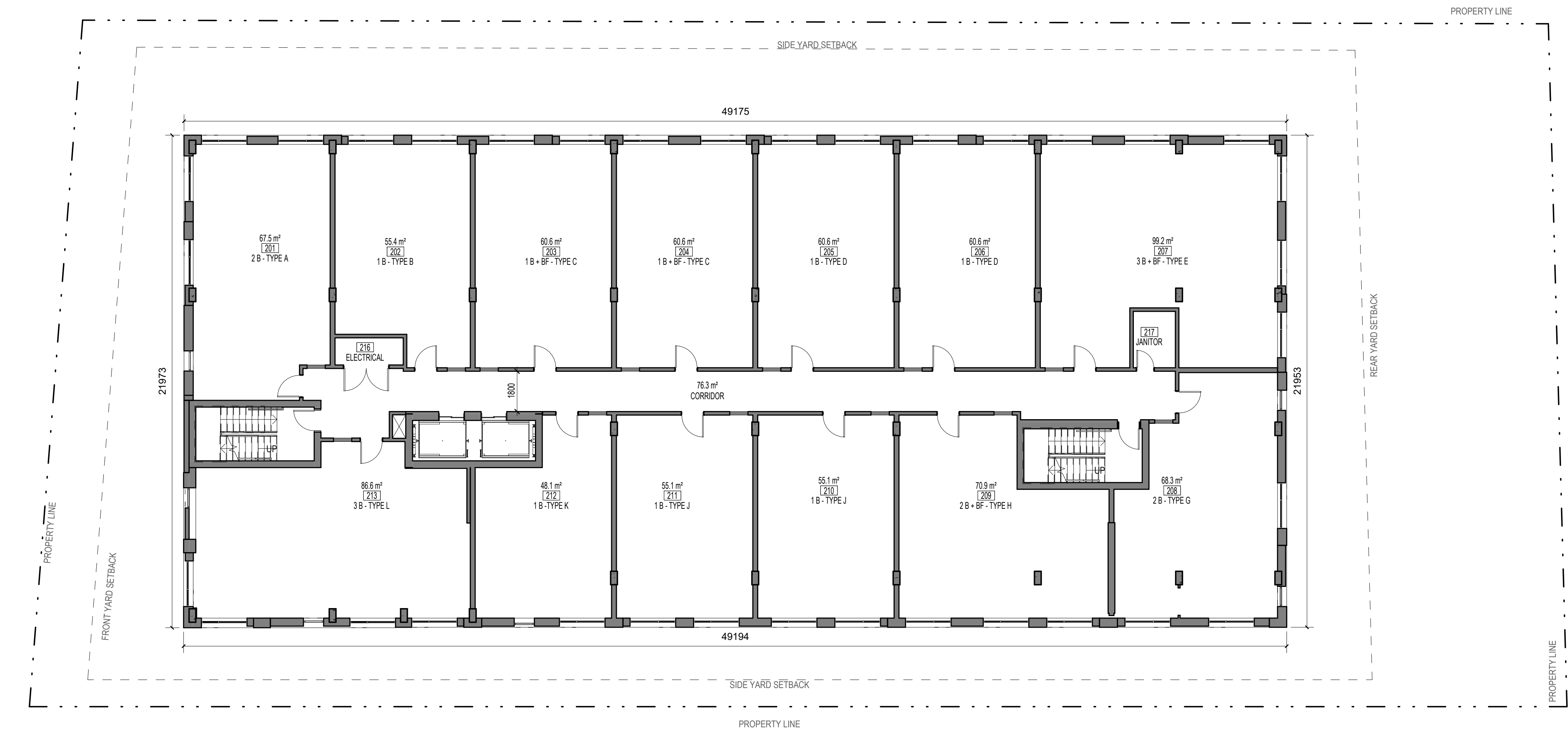
04/04/25

Révision / Revision

2

A.121





**1**  
A.122  
LEVELS 2 & 3 FLOOR PLAN (TYP.) - SPC  
1:125

#### GENERAL NOTES - CONSTRUCTION PLAN

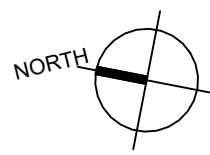
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#### LEGEND - CONSTRUCTION PLAN

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|  | NEW WALL  |
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|  | NUMBER OF WALL TYPE<br>FIRE RATING<br>0h = FIRE SEPARATION WITHOUT RATING<br>45 min. = FIRE RESISTANCE RATING OF 45 MIN.<br>1h = FIRE RESISTANCE RATING OF 1h |
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|  | ROOF TYPE   |
|  | NUMBER AND ROOM NAME  |
|  | WINDOW NUMBER   |
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Architecte Paysagiste Landscape Architect

**NAK** design strategies

Ingénieur / Engineer  
(Civil / Civil)

**egis**

Ingénieur / Engineer  
(Mécanique & Électrique / Mechanical & Electrical)

**Smith + Andersen**

Ingénieur / Engineer  
(Structure / Structure)

**D+M** STRUCTURAL ENGINEERING

Urban Planner / Urbaniste

**FOTENN** Planning + Design

420 O'Connor St., Suite 200, Ottawa, ON, K2P 1W4

Client / Client

**Centretown Citizens** Ottawa Corporation

Architecte / Architect

Fig. 1  
3550, Saint-Armande O.  
Montreal Q2 H4C 1A9  
T. 514 985-6122

Fig. 2  
190 Somerset St W #206  
Ottawa ON K2P 1G4  
T. 613 695-6122

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Scalor / Seal

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**ARCHITECTS**

Project / Projet

**6 STOREY APARTMENT BUILDING**

240 PRESLAND ROAD

Title / Titre  
**LEVEL 2 & 3 (TYP.)**

Dessiné par / Drawn by  
GM

No. projet / Project number  
2424

Vérifié par / Verified by  
ZK

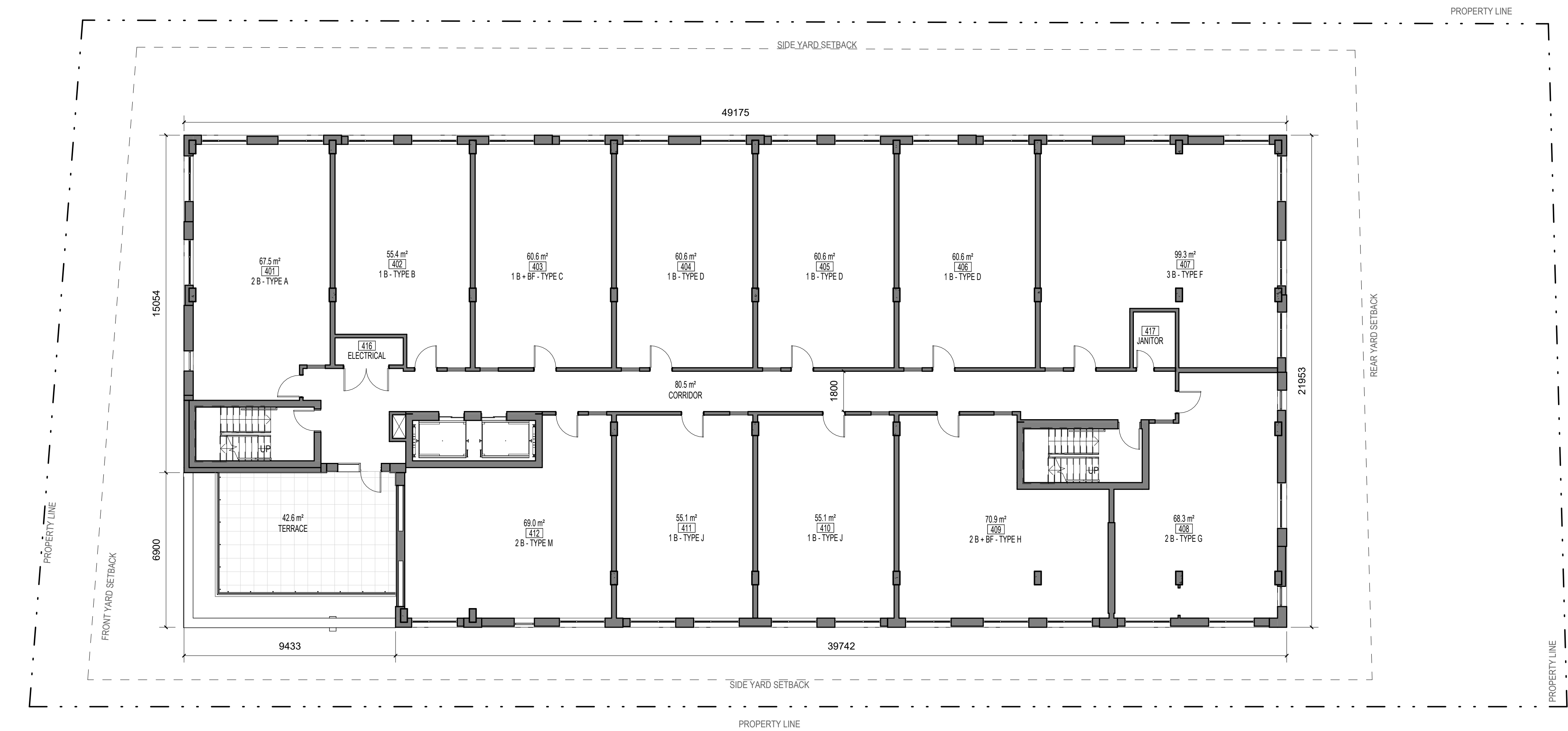
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Date de création du dessin / Drawing creation date  
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**A.122**



1 LEVEL 4 FLOOR PLAN - SPC  
A.123 1:125

#### GENERAL NOTES - CONSTRUCTION PLAN

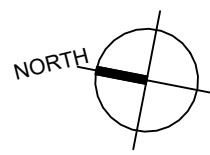
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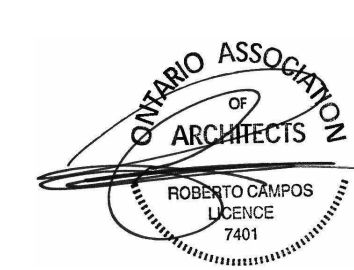
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240 PRESLAND ROAD

Titre / Title  
**LEVEL 4**

Dessiné par / Drawn by

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Vérifié par / Verified by

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2

Echelle / Scale

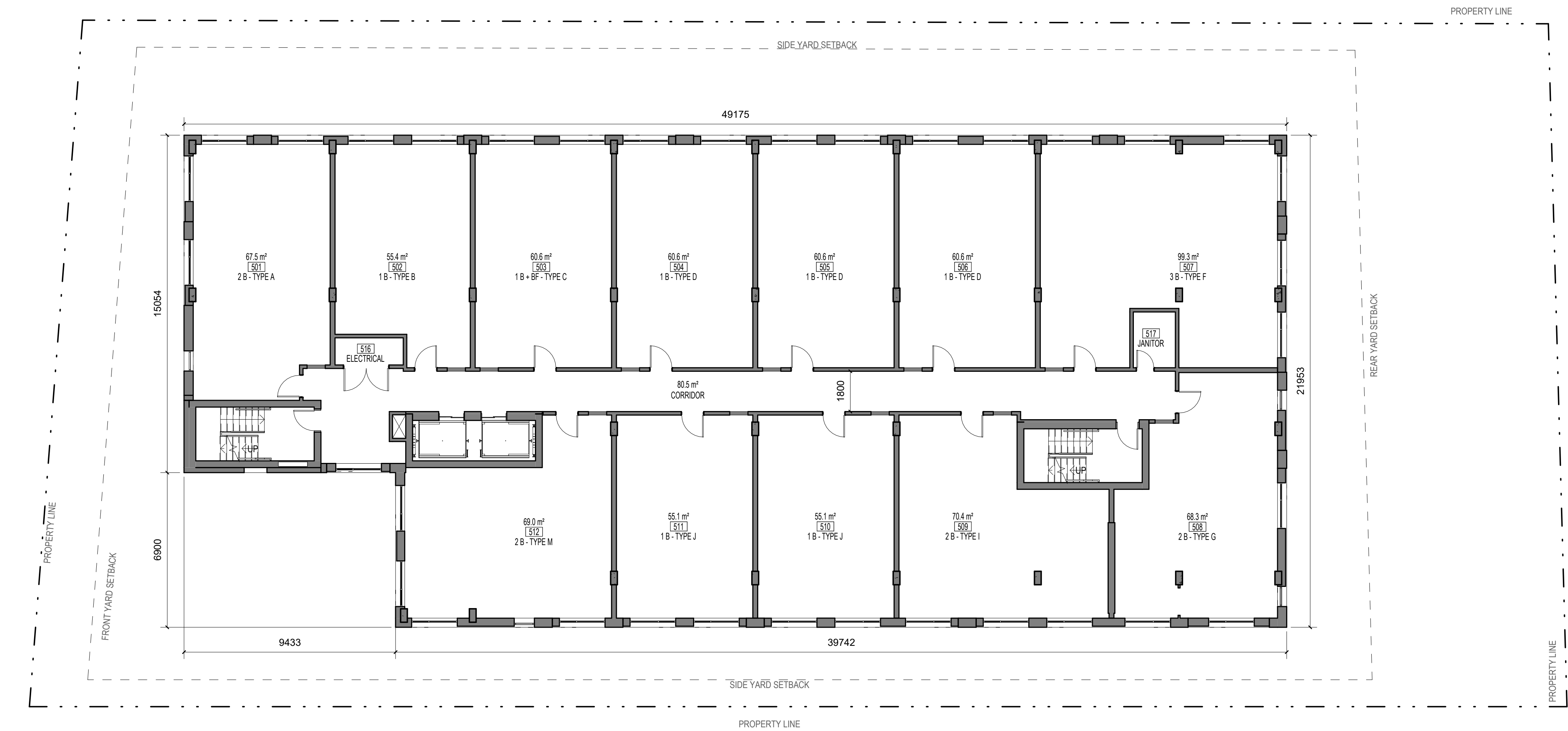
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**A.123**





1  
A.124  
LEVELS 5 & 6 FLOOR PLAN (TYP.) - SPC  
1 : 125

#### GENERAL NOTES - CONSTRUCTION PLAN

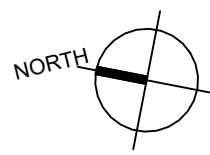
- INTERIOR FINISHES (INCLUDING FLOORS AND BASEBOARDS): REFER TO FINISH PLANS FOR DETAILS OF COMPOSITION
- PROVIDE NAILERS ON ALL WALLS TO RECEIVE BUILT-IN FURNITURE, SHELVING, SCREENS, ETC.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TAKEN FROM FACE OF STUDS AND CENTER OF DOORS AND WINDOWS. REQUIRED CLEARANCES WILL BE DIMENSIONED AND SHOWN TO FACE OF WALL OR DOOR OPENING
- SEE A800 FOR DOOR SCHEDULE
- UNLESS OTHERWISE INDICATED, ALL EQUIPMENT IS PROVIDED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR MUST COORDINATE AND PROVIDE THE SERVICES REQUIRED TO POWER THE EQUIPMENT.
- FILL ALL GAPS AND JOINTS WITH ACOUSTIC INSULATION AND SEAL WITH ACOUSTIC CAULKING WHEN ACOUSTIC PERFORMANCE IS REQUIRED.
- COORDINATE WALL OPENINGS WITH MECHANICAL (SEE MECHANICAL DRAWINGS).
- PLYWOOD PANELS USED AS NAILERS IN THE ELECTRICAL ROOMS MUST BE FIRE-TREATED.
- PROVIDE ROD AND SHELF TYP. FOR ALL CLOSETS AS SHOWN.
- ALL WINDOW AND DOOR DIMENSIONS ARE TO ROUGH STUD OPENING.
- ALL OUTSIDE DIMENSIONS ARE TO OUTSIDE FACE OF STUD SHEATHING.
- REFER TO STRUCTURAL DRAWINGS FOR BEAMS, LINTELS, POSTS, FLOOR, AND ROOF FRAMING.
- ALL ELECTRICAL AND MECHANICAL ITEMS SHOWN ON DRAWINGS ARE FOR LOCATION PROPOSED ONLY. COORDINATE WITH M&E DRAWINGS.
- CAULK AND SEAL AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS.
- PROVIDE FIRE STOPPING FOR MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES. INFILL ANY UNUSED PENETRATIONS WITH FIRE-STOPPING TO SUIT ASSEMBLY.
- REFER TO RCP PLANS FOR BULKHEAD LOCATIONS AND DEPTHS.
- FURNITURE SHOWN FOR REFERENCE PURPOSE ONLY.
- ALL ELECTRICAL CONTROL HEIGHTS WITHIN BARRIER-FREE UNITS AND PATHS OF TRAVEL THROUGHOUT THE BUILDING TO COMPLY WITH CSA B-651
- PROVIDE SOUNDPROOF FIBERGLASS BATT IN ALL PARTITIONS WITH SUPPLY PIPES, SANITARY DRAIN OR RAINWATER LEADERS. COORDINATE WITH MECH.
- UNIT NAME: "XBD-BF" INDICATES BARRIER-FREE REQUIREMENTS AS PER CAN/CSA NATIONAL STANDARD OF CANADA, AND ACTION OTTAWA'S ACCESSIBLE UNIT REQUIREMENTS.

#### GENERAL NOTES - PARTITIONS

- UNLESS INDICATED OTHERWISE, ALL NEW GYPSUM PARTITIONS ARE WOOD-FRAMED. REFER TO WALL TAGS FOR DETAILS OF COMPOSITION.
- PARTITIONS CONTINUING TO THE SLAB MUST BLEND PERFECTLY WITH ITS GEOMETRY TO ENSURE THAT THE FULL PERIMETER IS CAULKED TO MEET THE REQUIRED ULO FIRE RESISTANCE AND/OR TO ENSURE THE REQUIRED ACOUSTIC PERFORMANCE.
- UNLESS NOTED OTHERWISE, DOOR FRAMES ARE INSTALLED 4" FROM THE ADJACENT WALL.
- WATER-REPELLENT GYPSUM PANELS ARE REQUIRED IN ROOMS WITH WATER OR MOISTURE EXPOSURE (BATHROOMS, JANITOR'S LODGE, KITCHENS WALL ABOVE MILLWORK, ETC.).
- CONTRACTION JOINTS ON GYPSUM PANELS TO BE USED AT MAXIMUM 9,100mm (30'-0").
- WALLS TO RECEIVE TILE FINISH MUST BE PROVIDED WITH FIBERBOARD BACKING WITHOUT COMPROMISING THE FIRE RESISTANCE RATING WHERE REQUIRED.

#### LEGEND - CONSTRUCTION PLAN

- |  |   |
|--|---|
|  | NEW WALL  |
|  | WALL TYPE   |
|  | NUMBER OF WALL TYPE<br>FIRE RATING<br>0h = FIRE SEPARATION WITHOUT RATING<br>45 min. = FIRE RESISTANCE RATING OF 45 MIN.<br>1h = FIRE RESISTANCE RATING OF 1h |
|  | NUMBER AND CEILING HEIGHT   |
|  | ROOF TYPE   |
|  | NUMBER AND ROOM NAME  |
|  | WINDOW NUMBER   |
|  | REVISION NUMBER   |
|  | CENTRE LINE   |



No.	Date	Issued for
1	04/04/2025	SITE PLAN CONTROL
2	11/06/2025	SPC RESPONSE 1

Architecte Paysagiste/ Landscape Architect

**NAK**  
design strategies

Ingénieur / Engineer  
(Civil / Civil)

**e egis**

Ingénieur / Engineer  
(Mécanique & Électrique / Mechanical & Electrical)

**Smith + Andersen**

Ingénieur / Engineer  
(Structure / Structure)

**D+M**  
STRUCTURAL  
ENGINEERING

Urban Planner / Urbaniste

**FOTENN**  
Planning + Design

420 O'Connor St., Suite 200, Ottawa, ON, K2P 1W4

Client / Client

**Centretown Citizens**  
Ottawa Corporation

Architecte / Architect

Fig. 1

3550, Saint-Armande O.

Montreal Q2 H4C 1A9

T. 514 985-5122

Fig. 2

190 Somerset St W #206

Ottawa ON K2P 1A4

T. 613 695-6122

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02024

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Scalé / Scalé

Note:

L'entrepreneur doit vérifier

toutes les dimensions et

informations sur le site et

avant immédiatement

l'architecte de toutes erreurs

ou omissions.

Contractor shall verify all

information and dimensions

on site and immediately

report any errors or

omissions to the architect.

Project / Project

**6 STOREY APARTMENT  
BUILDING**

240 PRESLAND ROAD

Title / Titre

**LEVEL 5 & 6 (TYP.)**

Dessiné par / Drawn by

No. projet / Project number

2424

GM

Vérifié par / Verified by

No. dessin / Drawing number

ZK

Echelle / Scale

As indicated

Date de création du dessin /

Drawing creation date

04/04/25

Révision /

Revision

2

**A.124**

GENERAL NOTES			GENERAL NOTES - PARTITION	LEGEND - CONSTRUCTION			
<ol style="list-style-type: none"> <li>ALL WINDOW AND DOOR DIMENSIONS ARE TO ROUGH STUD/MASONRY OPENING</li> <li>ALL OUTSIDE DIMENSIONS ARE TO OUTSIDE FACE OF SHEATHING.</li> <li>REFER TO STRUCTURAL DRAWINGS FOR ALL BEAMS, LINTELS, POSTS, FLOOR AND ROOF FRAMING.</li> <li>ALL ELECTRICAL AND MECHANICAL ITEMS SHOWN ON DRAWINGS FOR LOCATIONS ONLY. COORD. w/ MECH. &amp; ELEC. DRAWINGS.</li> <li>CAULK AND SEAL AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS.</li> <li>PROVIDE FIRE STOPPING FOR ALL MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES. INFILL ANY UNUSED PENETRATIONS WITH FIRESTOPPING TO SUIT ASSEMBLY.</li> </ol>	<ol style="list-style-type: none"> <li>VERIFY ALL DOOR AND WINDOW SIZES PRIOR TO FRAMING OF OPENINGS.</li> <li>SOILS CONSULTANT TO REVIEW AND VERIFY SOILS CONDITIONS PRIOR TO POURING FOOTINGS.</li> <li>BACKFILL MATERIAL TO BE APPROVED. CLEAR SAND TO MEET REQUIREMENTS OF A DRAINAGE LAYER.</li> <li>REFER TO RCP FOR BULKHEAD LOCATIONS AND DEPTHS.</li> <li>SEE WINDOW SCHEDULE FOR TYPICAL WINDOW TIE-IN DETAILS.</li> <li>FURNITURE SHOWN FOR REFERENCE PURPOSES ONLY.</li> <li>PROVIDE PREFINISHED TRANSITION STRIPS AT JOINTS OF DISSIMILAR MATERIALS.</li> <li>ALL ELECTRICAL CONTROL HEIGHTS WITHIN BARRIER-FREE PATH OF TRAVEL AREAS THROUGHOUT THE BUILDING AND UNITS TO COMPLY WITH OBC 3.8.1.5</li> </ol>	<ol style="list-style-type: none"> <li>REFER TO CIVIL &amp; MECHANICAL DRAWINGS FOR WEEPING TILE DRAINAGE CONNECTIONS.</li> <li>PROVIDE SOUNDPROOF FIBERGLASS MATS IN ALL PARTITIONS WITH SUPPLY PIPES, SANITARY DRAIN OR RAINWATER LEADERS. COORDINATE w/ MECH.</li> <li>UNIT NAME: "XBD-X-B/F" INDICATES B/F REQUIREMENTS AS PER CAN/CSA NATIONAL STANDARD OF CANADA, AND ACTION OTTAWA'S ACCESSIBLE UNIT REQUIREMENTS</li> </ol>	<ol style="list-style-type: none"> <li>EXCEPT AS OTHERWISE INDICATED, DOORS ARE INSTALLED 5" FROM ADJACENT WALLS.</li> <li>PROVIDE BLOCKING AND NAILERS FOR ALL PARTITIONS SUPPORTING MILLWORK, SHELVES ETC</li> <li>COORDINATE DIMENSIONS OF OPENINGS WITH SPECIFICATIONS FOR EQUIPMENT SUPPLIED AND INSTALLED</li> <li>WATER RESISTANT GYPSUM BOARD, 1219 AFF REQUIRED IN ALL LOCATIONS WITH EXPOSURE TO WATER OR HUMIDITY. THIS INCLUDES BUT IS NOT LIMITED TO WASHROOMS, JANITOR ROOMS &amp; KITCHEN WALLS ABOVE MILLWORK, CABINETRY, INCLUDING SINKS UP TO UNDERSIDE OF UPPER CABINETS.</li> <li>ALL PARTITIONS THAT EXTEND FROM SUBFLOOR TO UNDERSIDE FLOOR ASSEMBLY ABOVE ARE TO BE ALIGNED WITH GEOMETRY OF THE ASSEMBLIES TO ENSURE THAT THE ENTIRE PERIMETER IS SEALED AS REQUIRED TO ATTAIN THE NECESSARY FIRE RESISTANCE RATING AND ACOUSTICAL PERFORMANCE.</li> </ol>	<div> <div>ALI</div> <div>ALIGN DESIGNATED SURFACES</div> </div> <div> <div>DIM CLEAR</div> <div>INDICATED CLEAR DIMENSION REQUIRED BETWEEN FINISHED SURFACES</div> </div> <div> <div>FD</div> <div>FLOOR DRAIN (REFER TO MECH.)</div> </div> <div> <div>RD</div> <div>ROOF DRAIN (REFER TO MECH.)</div> </div> <div> <div>EP</div> <div>ELECTRICAL PANEL (REFER TO ELEC.)</div> </div>	<div> <div></div> <div>TACTILE ATTENTION INDICATOR AS PER OBC 3.8.3.18</div> </div> <div> <div></div> <div>BARRIER-FREE OPERATOR - REFER TO ELEC.</div> </div> <div> <div></div> <div>152 DIA. GEOTEXTILE ENCAPSULATED WEEPING TILE - SEE GENERAL NOTES</div> </div> <div> <div></div> <div>HATCH INDICATED LOCATION OF FOUNDATION CHECK TO ACCOMMODATE EXTERIOR DOORS. COORD. W/ DOOR SCHEDULE</div> </div>	<div> <div></div> <div>RECESSED ENTRANCE FLOOR GRILLE. DIMENSIONS AS INDICATED ON DRAWINGS. PROVIDE 64 mm DEPRESSION. ENSURE SLAB DEPRESSION IS 76 mm LARGER THAN FLOOR GRILLE SIZE.</div> </div> <div> <div>FDC</div> <div>FIRE DEPARTMENT CONNECTION COORD w/ MECH</div> </div> <div> <div></div> <div>FIRE HOSE CABINET. COORD w/ MECH</div> </div>	<div> <div></div> <div>LOAD-BEARING WALL. REFER TO STRUCTURE</div> </div> <div> <div></div> <div>SHEARWALL. REFER TO STRUCTURE</div> </div>

1  
A.130  
ROOF PLAN - SPC  
1 : 125

No.	Date	Issued for
1	04/04/2025	SITE PLAN CONTROL
2	11/06/2025	SPC RESPONSE 1

Architecte Paysagiste/ Landscape Architect

NAK  
design strategies

Ingenieur / Engineer  
(Civil / Civil)

eegis

Ingenieur / Engineer  
(Mécanique & Électronique / Mechanical & Electrical)

Smith + Andersen

Ingenieur / Engineer  
(Structure / Structure)

D+M  
STRUCTURAL  
ENGINEERING

Urban Planner / Urbaniste

FOTENN  
Planning + Design

429 O'Connor St., Suite 200, Ottawa, ON, K2P 1W4

Client / Client

Centretown Citizens  
Ottawa Corporation

Architecte / Architect

Collectif d'architectes

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2000, Saint-Antoine D.  
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figuri

fig. 2  
190 Somerset St W #206  
Ottawa ON K2P 0A4  
T. 613 656-6122

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Scalé / Seal

ROBERTO CARLOS  
ARCHITECTS  
7401

Note:

L'entrepreneur doit vérifier toutes les dimensions et informations sur le site et aviser immédiatement l'architecte de toutes erreurs ou omissions.

Contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.

Projet / Project

6 STOREY APARTMENT  
BUILDING

240 PRESLAND ROAD

Titre / Title

ROOF PLAN

Dessiné par / Drawn by

No. projet / Project number

GM

2424

Vérifié par / Verified by

No. dessin / Drawing number

ZK

Revision / Revision

Échelle / Scale

2

As indicated

Date de création du dessin /

Drawing creation date

04/04/25

A.130