

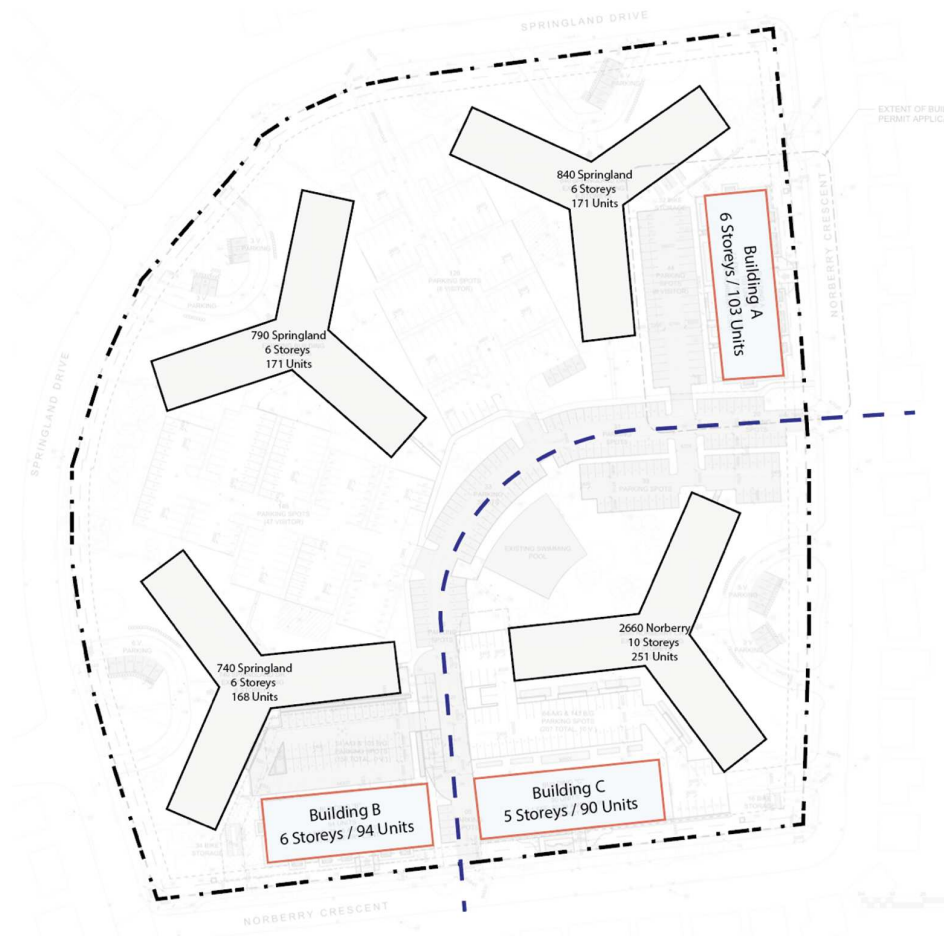


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ZONING CONFIRMATION REPORT

SITE PLAN CONTROL

SUBJECT SITE: 740 SPRINGLAND DRIVE



REPORT DATE: APRIL 29 2025

REVISION: 1

REPORT PREPARED FOR: NORBERRY RESIDENCES LIMITED

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This Zoning Confirmation Report is prepared in support of a Site Plan Control Revision Application for the proposed development at 740 Springland Drive.

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1.0 PROJECT INFORMATION

PROJECT INFORMATION			
Review Date	April 26, 2025	Official Plan Designation	Neighbourhood – Outer Urban Transect
Municipal Addresses	740 Springland Drive	Legal Description	Block A – Registered Plan 749, Block D Registered Plan 775
Scope of Work	The proposed development is a revision of an existing approved Site Plan Control application for three mid-rise residential apartment buildings. The revision is to add a single storey to each building, with 2 of the 3 buildings requiring zoning relief for height.		
Existing Zoning Code	R5B[2459]H(18)	By-Law Number	2008-250
Schedule 1 / 1A Area	Area C	Overlays Applicable	N/A

2.0 OFFICIAL PLAN

2.1 Official Plan and Secondary Plan Designations

The site, 740 Springland Drive, is designated **Neighbourhood** in the City of Ottawa Official Plan as shown on Schedule B3 – **Outer Urban Transect**. There are no Secondary Plan Designations for this site.

2.2 Official Plan Use Permissions

The Official Plan designation permits residential uses, in the Neighbourhood, up to a maximum of four storeys, except in accordance with 6.3.1 (2) which states: “2) Permitted building heights in Neighbourhoods shall be Low-rise, except: a) Where existing zoning or secondary plans allow for greater building heights; or b) In areas already characterized by taller buildings within the Neighbourhood designation. [Amendment 34, By-law 2024-506, Omnibus 2 item 26, November 13, 2024]



USE AND FORM PERMITTED

3.0 ZONING REVIEW

The City of Ottawa zones this site as **R5B[2459] H(18)**, in the City of Ottawa Zoning By-law 2008-250, as identified on the map below. The Residential Fifth density zone supports mid and high-rise residential development.

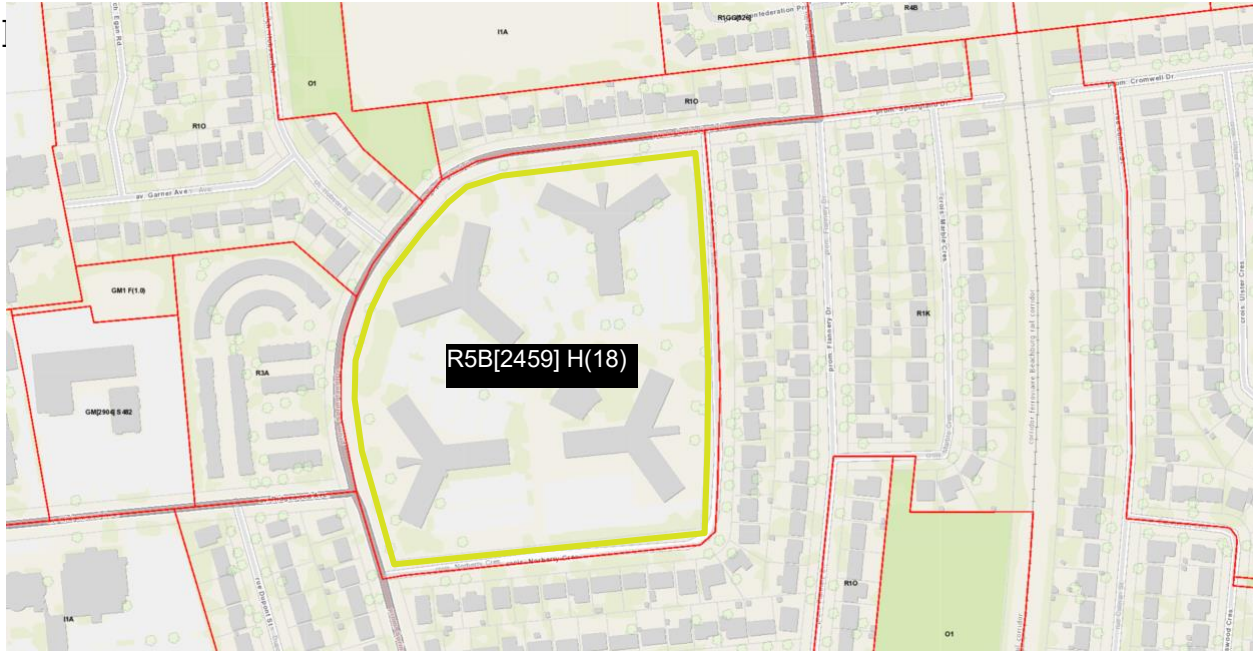


Figure 1: Extract of Zoning Map (Source:GeoOttawa)

3.1 Use Permissions

The subject site permits a variety of residential uses under the Residential Fifth Density Zone, including the use proposed being: **Mid-Rise Residential**



PROPOSED USE PERMITTED

3.2 Performance Standard Review

The following table reviews the applicable site performance standards against the proposed development.

Zoning Bylaw Designation: R5B [2459] H(18)	Required	Proposed	By-Law Section	Notes
Min. Lot Width	NA	~240 m	164A	
Min. Lot Area	1400 m ²	55,880 m ²	164A	
Max Building Height	18 m	19.0 m (18.5/18.6 m) for Buildings A and B only	H(18)	Relief Required
Min. Front Yard Setback	3 m (Norberry) 6 m (Springland)	6.4 m	164	
Min. Corner Yard Setback	3 m (Norberry)	6 m	164	
Min. Rear Yard Setback	3 m (Springland)	NA – No additional buildings on Springland Proposed	164	
Building Setback from Private Way	1.8 m	0 m	131(2)	
Amenity Area	1722 m ²	2021 m ²	137	
Landscaped Area	30%	31.57%	163(9)	
Resident Parking	692 (0.66/unit)_	849	[2459]	
Visitor Parking	104 (0.1/unit after 12)	104		
Bicycle Parking	144	153	111	



ZONING RELIEF REQUIRED

3.3 Zoning Relief Requested

The requested relief for this application is as follows and is identified in a Planning Rationale provided for the proposed Minor Variance Application

Proposed Minor Variance

- (a) To permit a maximum building height of 19.0 metres for Buildings A and B as per the drawings submitted, whereas the maximum building height is 18.0 metres in the Zoning By-law [**R5B [2459] H(18)**]

5.0 CONCLUSION

This compliance report concludes that a Minor Variance Application is required. This application is being submitted concurrently with the Site Plan Revision application.

Yours truly,



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