

OCH - GEYSER PLACE

2025-05-01 | ISSUED FOR SPCA REVIEW



DRAWING LIST - TOWER		
NO.	SHEET NAME	REVISION
A000	TITLE	C
A100	SITE PLAN	C
A109	SITE PLAN - TOWNHOUSES	C
A300	SOUTHWEST ELEVATION	D
A301	EAST ELEVATIONS	D
A302	SOUTHEAST & NORTHWEST ELEVATIONS	D
A303	NORTHEAST ELEVATION	D

DRAWING LIST - TOWNHOUSES		
NO.	SHEET NAME	REVISION
A300-TH	ELEVATIONS	D



Lemay Michaud
81, rue Metcalfe, bureau 310, Ottawa ON K1P 6K7

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DESIGN INTENT
ONLY

ONTARIO ASSOCIATION
OF
ARCHITECTS
JUDITH FARKAS
LICENCE
9146

PROJECT
OCH - GEYSER PLACE
124724B
3380 Jockvale Road,
Ottawa, ON

2025-05-01 | ISSUED FOR SPCA REVIEW

JOCKVALE ROAD

LONGFIELDS DRIVE

BENDING WAY

BRANCH STREET

SITE PLAN LEGEND	
L0	LIGHT FIXTURES
	BARRIER-FREE PARKING STALL
	*PAVERS
	*LIGHT DUTY CONCRETE WALKWAY
	*ASPHALT PATHWAY
	*RUBBER PLAY SURFACE
	ENTRANCES
	FIRE / WASTE COLLECTION ROUTE
	EXTERIOR AMENITY SPACE
	**FIRE HYDRANT
	**SIAMESE CONNECTION
	PROPERTY BOUNDARY
	PROPERTY SETBACK
	*CHAINLINK FENCE
	FENCE POST
*REFER TO LANDSCAPE DRAWINGS	
**REFER TO CIVIL DRAWINGS	

SITE LIGHTING LEGEND		
MARK	DESCRIPTION	MOUNTING
L1	TOWNHOUSE SCONCE	SURFACE
L2	RECESSED SOFFIT LIGHT	SURFACE
L3	TOWER ENTRANCE	SURFACE
L4a	VISITOR PARKING	POLE
L4b	BUILDING WALKWAY	POLE
L4c	PARK WALKWAY	POLE
L5	PARKING RAMP	RECESSED
L6a	TOWER SCONCE	SURFACE
L6b	TOWER SCONCE - PARKING RAMP	SURFACE
*ALL POLE LIGHTS 13' TALL UNLESS OTHERWISE NOTED ON PLAN		

UNIT COUNT		
	TOWER	TOWN HOUSES
STUDIO	10 (3 BF)	
1 BED	46 (8 BF)	
2 BED	25 (8 BF)	8
3 BED	18 (5 BF)	8
4 BED		2
TOTAL	99	18
GRAND TOTAL: 117		
*20% Barrier Free units (24 units)		

TOWER AREA SCHEDULE - PER FLOOR	
TYPE	AREA
LEVEL -1	
CIRCULATION	95 m²
COMMON	878 m²
MEC.	155 m²
LEVEL 1	
CIRCULATION	172 m²
COMMON	312 m²
MEC.	18 m²
RESIDENTIAL	620 m²
LEVEL 2	
CIRCULATION	137 m²
MEC.	15 m²
RESIDENTIAL	1 066 m²
LEVEL 3	
CIRCULATION	137 m²
MEC.	15 m²
RESIDENTIAL	1 066 m²
LEVEL 4	
CIRCULATION	137 m²
MEC.	15 m²
RESIDENTIAL	1 066 m²
LEVEL 5	
CIRCULATION	127 m²
MEC.	15 m²
RESIDENTIAL	781 m²
LEVEL 6	
CIRCULATION	127 m²
MEC.	15 m²
RESIDENTIAL	781 m²
LEVEL 7	
CIRCULATION	127 m²
MEC.	15 m²
RESIDENTIAL	781 m²
LEVEL 8	
CIRCULATION	127 m²
MEC.	15 m²
RESIDENTIAL	770 m²
LEVEL 9	
CIRCULATION	126 m²
COMMON	198 m²
MEC.	13 m²
RESIDENTIAL	573 m²
LEVEL 10	
CIRCULATION	42 m²
MEC.	311 m²
Grand total	10 850 m²

- CONSTRUCTION NOTES
- GENERAL NOTES - SITE PLAN

A.

PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEY __ PREPARED BY CIVIL ENGINEER, EGIS.

B.

SERVICES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY. REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL SERVICES, GRADING, TREE LOCATIONS, AND STORM WATER MANAGEMENT

C.

REFER TO LANDSCAPE DRAWINGS FOR MORE INFORMATION REGARDING PEDESTRIAN PAVING, TREES, PLANTED AREAS, STREET FURNITURE, WASTE MANAGEMENT ENCLOSURE, AND EXTERIOR BICYCLE PARKING.

D.

REFER TO ELEC. DRAWINGS FOR LIGHTING SPECIFICATIONS

E.

MAINTENANCE STAFF WILL MOVE THE ROLLING BINS FROM THE STORAGE AREA TO THE STAGING AREA.

ZONING COMPLIANCE TABLE & PROJECT INFORMATION		
PROJECT: OCH - GEYSER PLACE		
ADDRESS: 3380 JOCKVALE RD		
ZONING: R4Z(2465)		
PROPERTY IDENTIFICATION NUMBER: PART OF LOT 13, CONCESSION 2 (RIDEAU FRONT) PLAN 4R-34672		
PROPERTY USE	REQUIRED	PROVIDED
	PLANNED UNIT DEVELOPMENT; STACKED DWELLING	STACKED DWELLING; MID-RISE APARTMENT
LOT WIDTH	18 m	48.165 m
LOT AREA	1,400 m²	5,967 m²
PROPERTY SETBACKS		
FRONT YARD MIN.	3 m	3 m
FRONT YARD MAX.	5 m	6 m
INTERIOR SIDE YARD	3 m	3 m
REAR YARD	3 m	3 m
TOTAL % LANDSCAPED AREA (30%)		
	30%	43.8%
% OF LANDSCAPING IN PARKING LOT		
	15	41%
AMENITY AREA		
ALL AMENITY SPACE PROVIDED IS COMMUNAL AND EXCEEDS 54 m²	6 m² / DWELLING	1141 m² EXT.
		193 m² INT.
	702 m² TOTAL	1334 m² TOTAL

GFA / FLOOR	
MID-RISE APARTMENT	
LEVEL 1	1 121 m²
LEVEL 2-4	1218 m² x 3 = 3 654 m²
LEVEL 5-7	923 m² x 3 = 2 769 m²
LEVEL 8	913 m²
LEVEL 9	911 m²
	9 368 m² TOTAL GFA
STACKED TOWNHOMES	
LEVEL 1-3	590 m² x 3
	1 770 m² TOTAL GFA
VEHICLE PARKING REQUIREMENTS	
VISITOR	8 STANDARD
	1 AODA TYPE A
	0.2 x 117 UNITS = 23.9
RESIDENTIAL (4 E.V. STALLS IN INTERIOR PARKING LEVEL)	9 TOTAL
	1 AODA TYPE A
	4 COMPACT CAR
	0.5 x 117 UNITS = 59
	21 TOTAL
TOTAL PARKING SPACES (INCL. BARRIER FREE)	83 GRAND TOTAL
	30 GRAND TOTAL
BIKE PARKING REQUIREMENTS	
RESIDENTIAL	0.5 / DWELING UNIT
	53 INDOOR
	6 EXTERIOR
	0.5 x 117 UNITS = 59
	59 TOTAL
WASTE COLLECTION	
TOWER: 99 UNITS	
GARBAGE	0.110 YARDS / UNIT = 12 YARDS
	12 YARDS
RECYCLING - FIBER	0.038 YARDS / UNIT (INCL. FIBER) = 4 YARDS
	2 YARDS
RECYCLING - GLASS	
ORGANICS	240 L / 50 UNITS = 3 - 240L BINS
	3 - 240L BINS
TOWNHOUSES: 18 UNITS	
GARBAGE	0.231 YARDS / UNIT = 4 YARDS
	4 YARDS
RECYCLING - FIBER	360 L CART / 6 UNITS = 3 - 360L BINS
RECYCLING - GLASS	360 L CART / 6 UNITS = 3 - 360L BINS
ORGANICS	240 L / 50 UNITS = 1 - 240L BIN

LemayMichaud

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CLIENT: OTTAWA COMMUNITY HOUSING
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NOTES: The contractor must verify all dimensions and communicate any discrepancies with the architect before carrying out the work.

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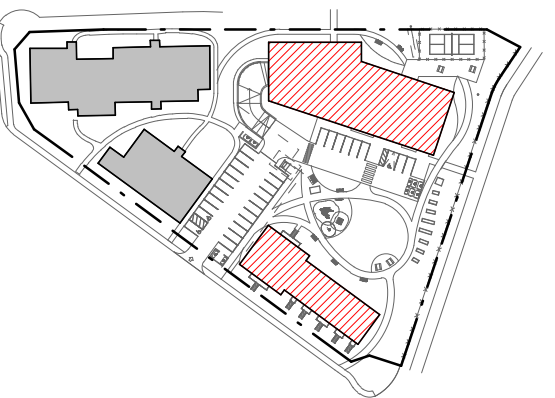
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TEAM

NO.	DATE	DESCRIPTION
A	2025-02-20	ISSUED FOR COORDINATION
B	2025-03-21	ISSUED FOR 50% DD COORDINATION
C	2025-05-01	ISSUED FOR SPCA REVIEW

PRINTS / REVISIONS

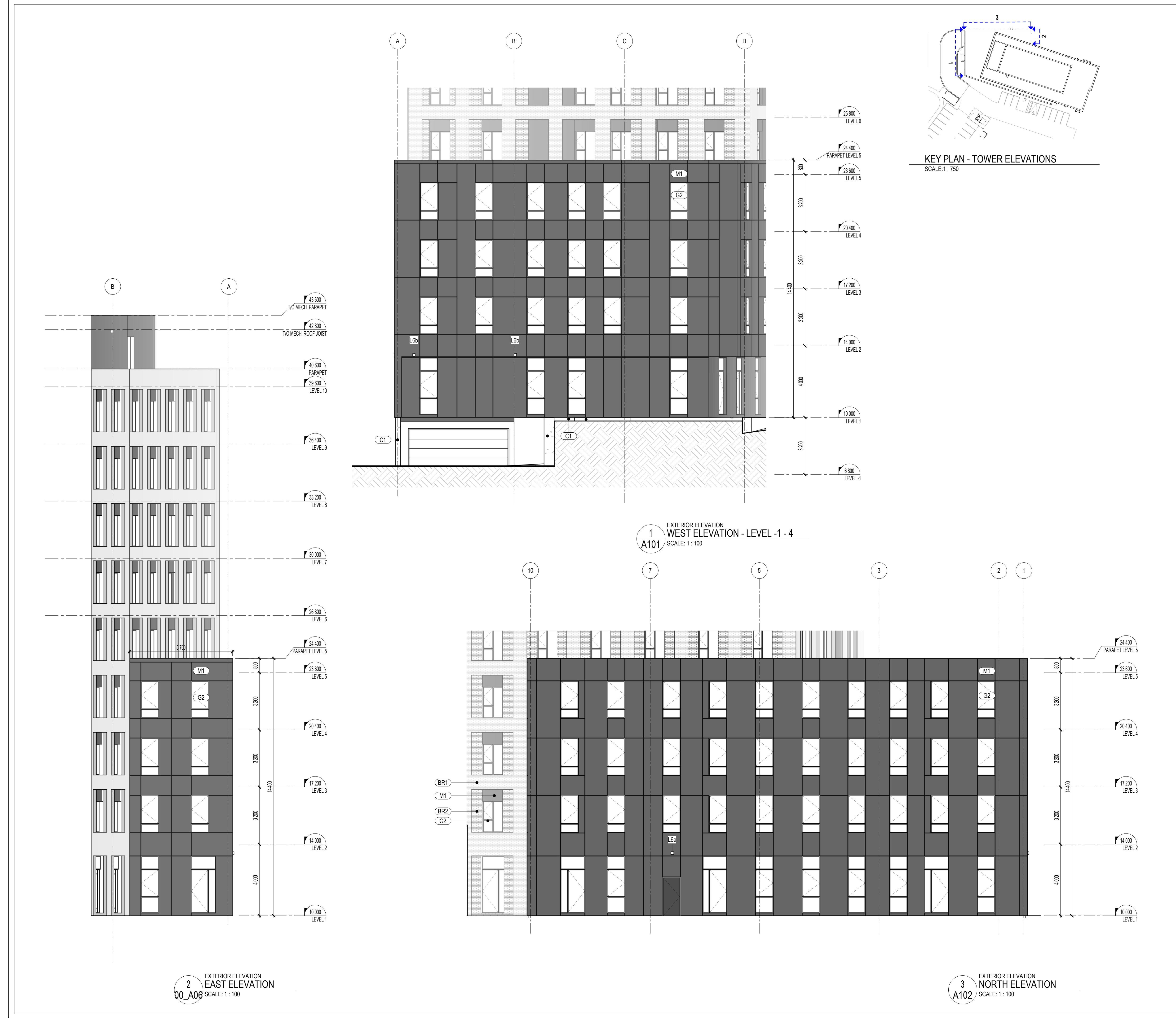
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ARCHITECTURE

SITE PLAN
SCALE: 250

PROJECT: 124724B
PAGE: A100



CONSTRUCTION NOTES

GENERAL NOTES

A. REFER TO ELEC. DRAWINGS FOR LIGHTING SPECIFICATIONS

B. REFER TO SITE PLAN & CIVIL ENGINEERING DRAWINGS FOR EXTERIOR GRADE LEVELS

EXTERIOR FINISH LEGEND:

(BR1) BRICK, MODULAR - WARM LIGHT GREY
MORTAR COLOR TO BE CONFIRMED BY ARCHITECT

(BR2) BRICK, MODULAR - WARM MEDIUM GREY
MORTAR COLOR TO BE CONFIRMED BY ARCHITECT

(M1) ALUMINUM PANEL - CHARCOAL GREY

(M2) METAL SIDING - CHARCOAL GREY

(M3) METAL PRIVACY SCREEN - CHARCOAL GREY

(M4) PAINTED METAL - BLACK RAL 7021

(C1) CONCRETE FOUNDATION WALL

(G1) TRIPLE GLAZED CLEAR GLASS FOR CURTAIN WALLS, CHARCOAL FRAMES

(G2) TRIPLE GLAZED THERMAL CLEAR GLASS, CHARCOAL FRAMES

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WITH FARKAS
LICENCE 9146
VERIFIED BY: Vérificateur
APPROVED BY: Approuvé

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KEY PLAN

DISCIPLINE

ARCHITECTURE

DRAWING

EAST ELEVATIONS

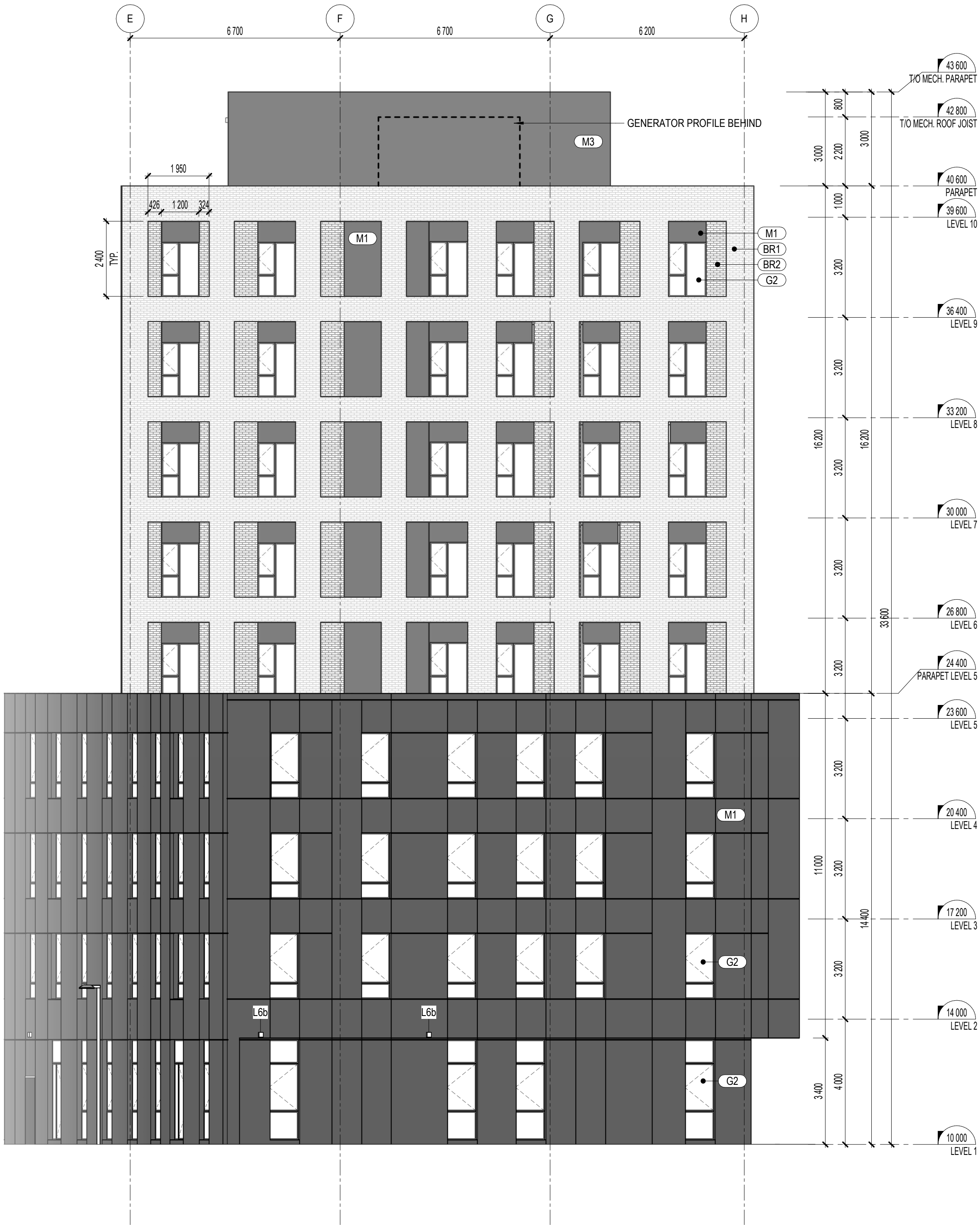
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PROJECT

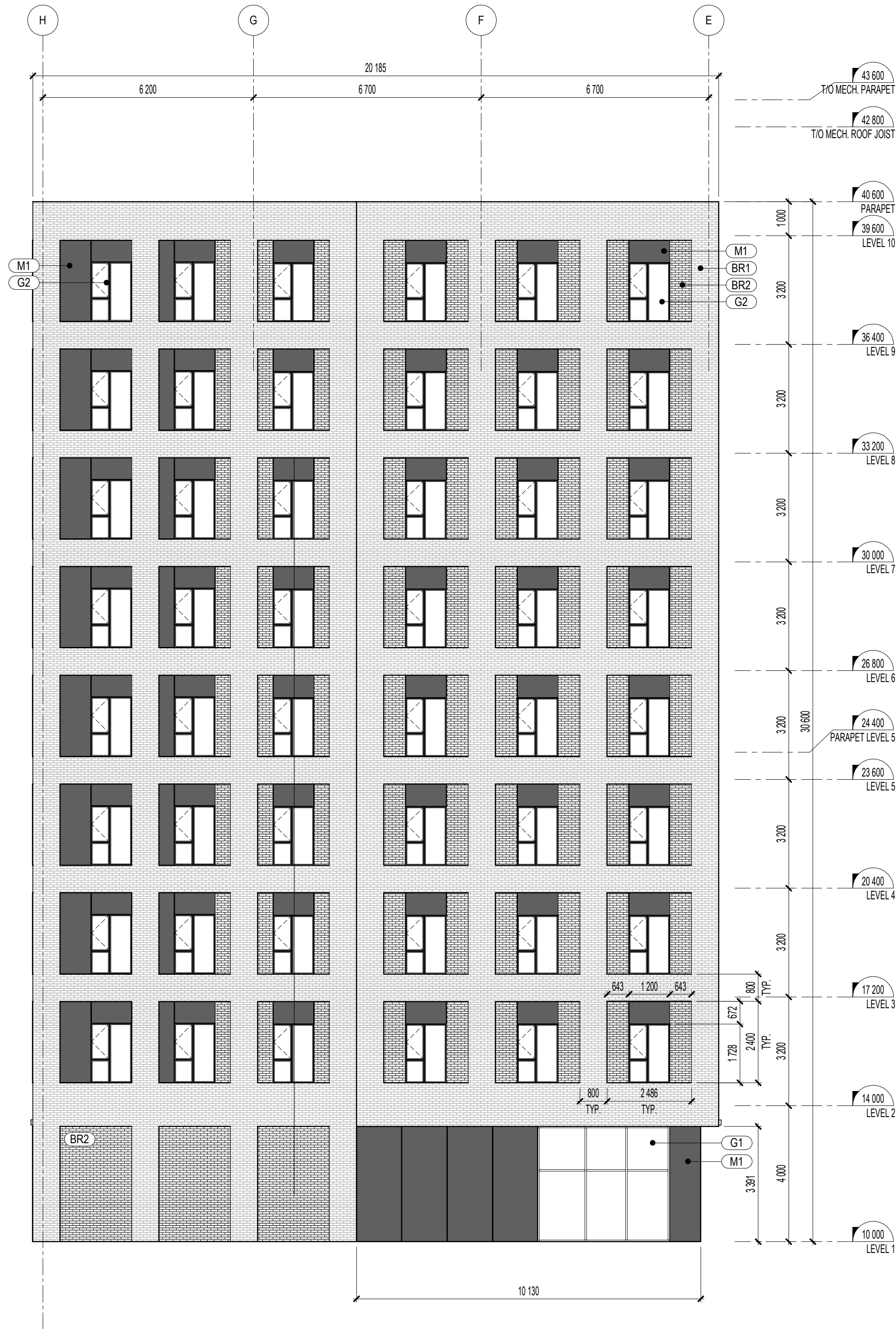
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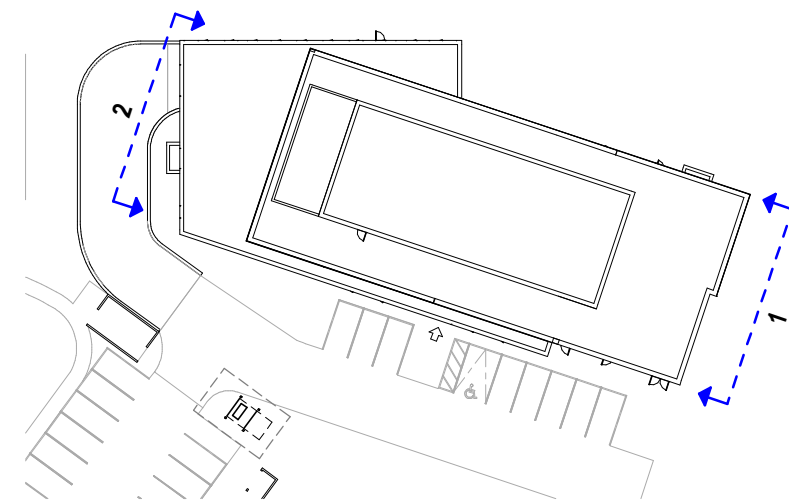
A301



2
A102
EXTERIOR ELEVATION
NORTHWEST ELEVATION
SCALE: 1:100



3
A102
EXTERIOR ELEVATION
SOUTHEAST ELEVATION
SCALE: 1:100



KEY PLAN - TOWER NORTHWEST/ SOUTHEAST ELEVATIONS
SCALE: 1:750

CONSTRUCTION NOTES

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LemayMichaud

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PROJECT

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Ottawa, ON

CLIENT

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Ottawa, ON
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CONSULTANTS



PASSIVE HOUSE / ENERGY MODELLING

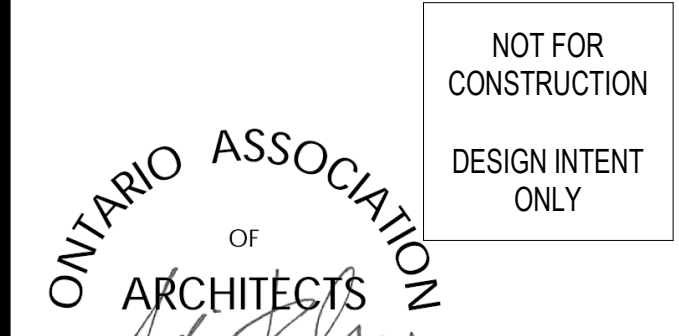


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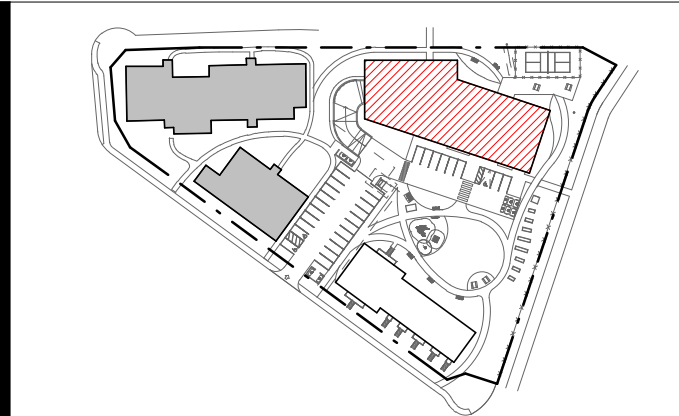
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KEY PLAN



DISCIPLINE

ARCHITECTURE

DRAWING

SOUTHEAST & NORTHWEST ELEVATIONS

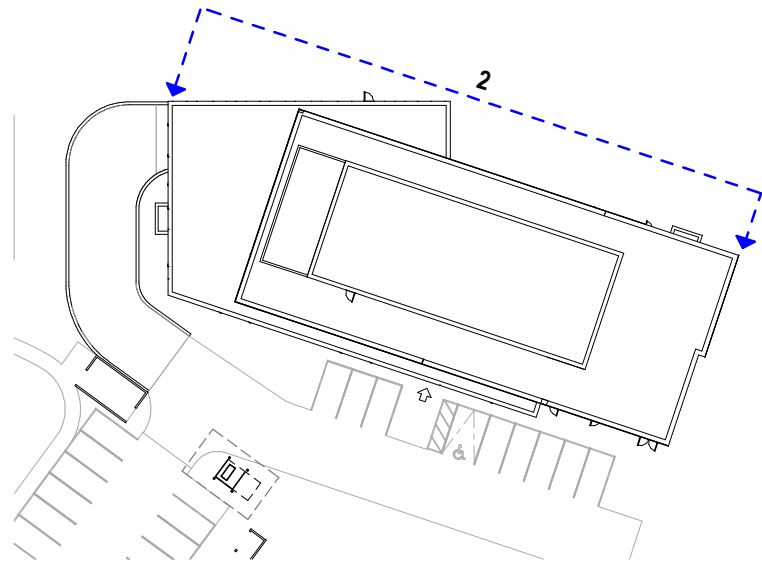
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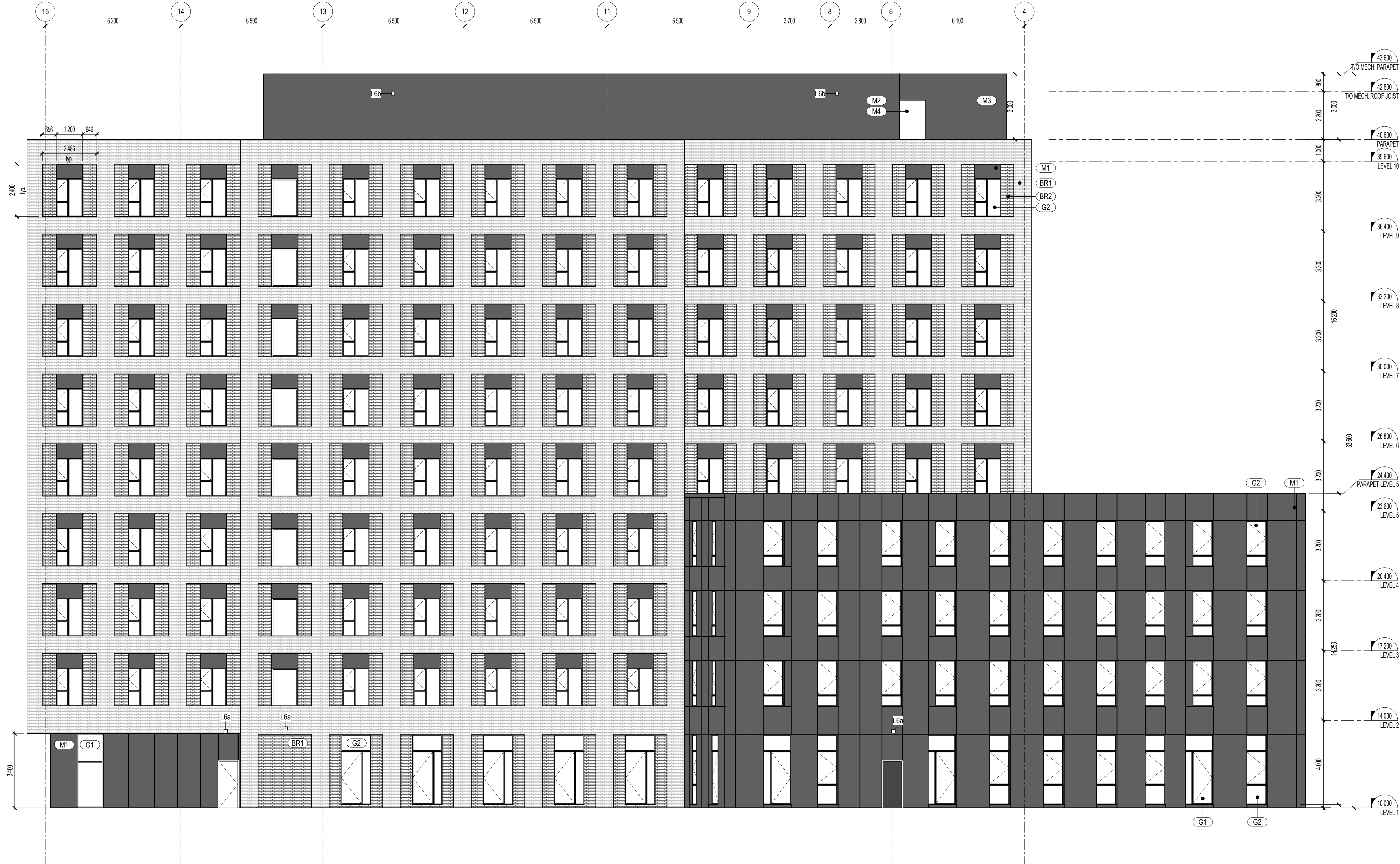
124724B

PAGE

A302



KEY PLAN - TOWER NORTHEAST ELEVATION
SCALE: 1 : 750



CONSTRUCTION NOTES

GENERAL NOTES

EXTERIOR FINISH LEGEND:

SITE LIGHTING LEGEND

NOTES

DISCIPLINE

DRAWING

PROJECT

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NORTHEAST ELEVATION
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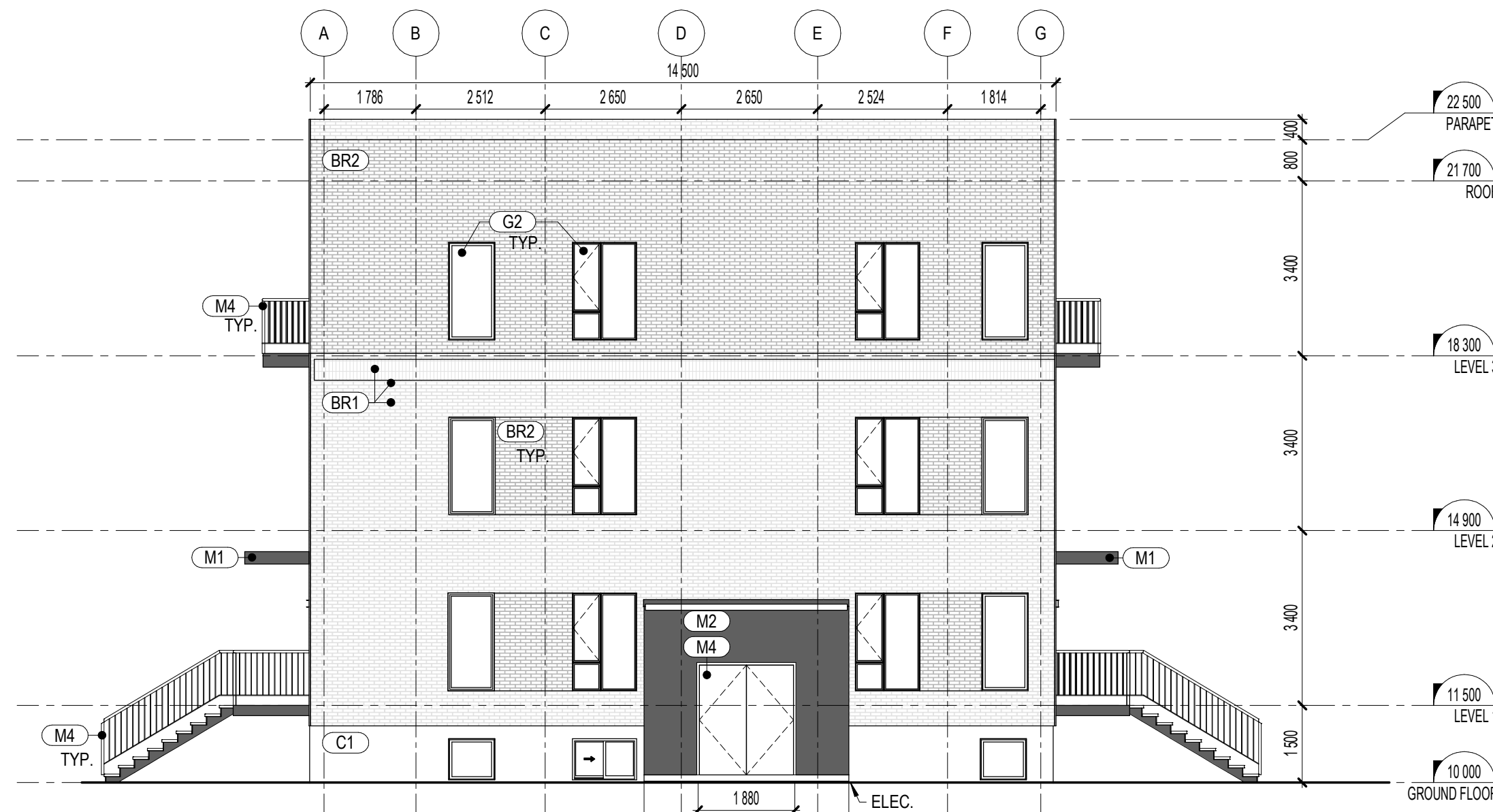
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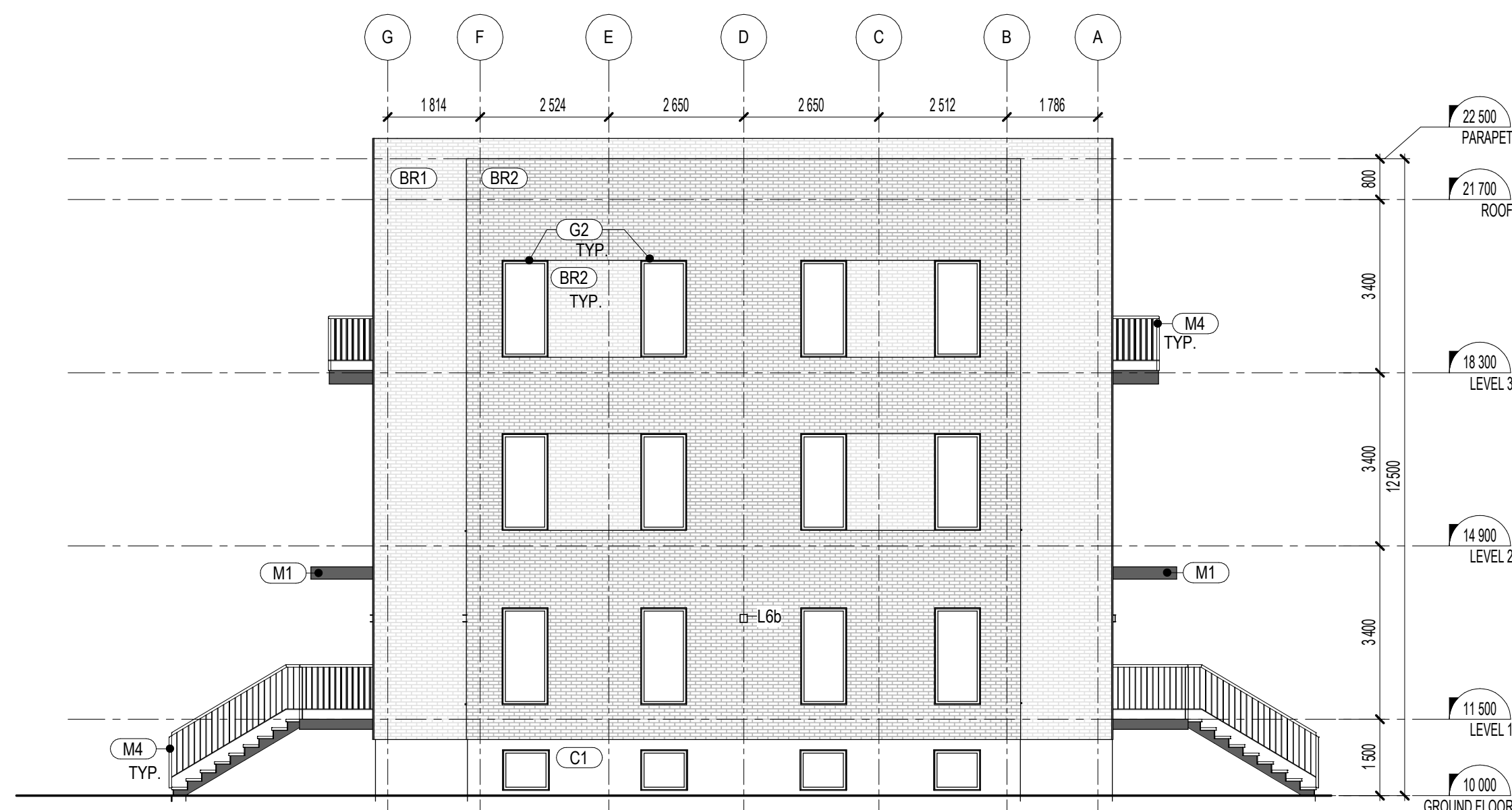
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EXTERIOR ELEVATION
TOWNHOUSE SOUTH ELEVATION
A101-TH SCALE: 1 : 100



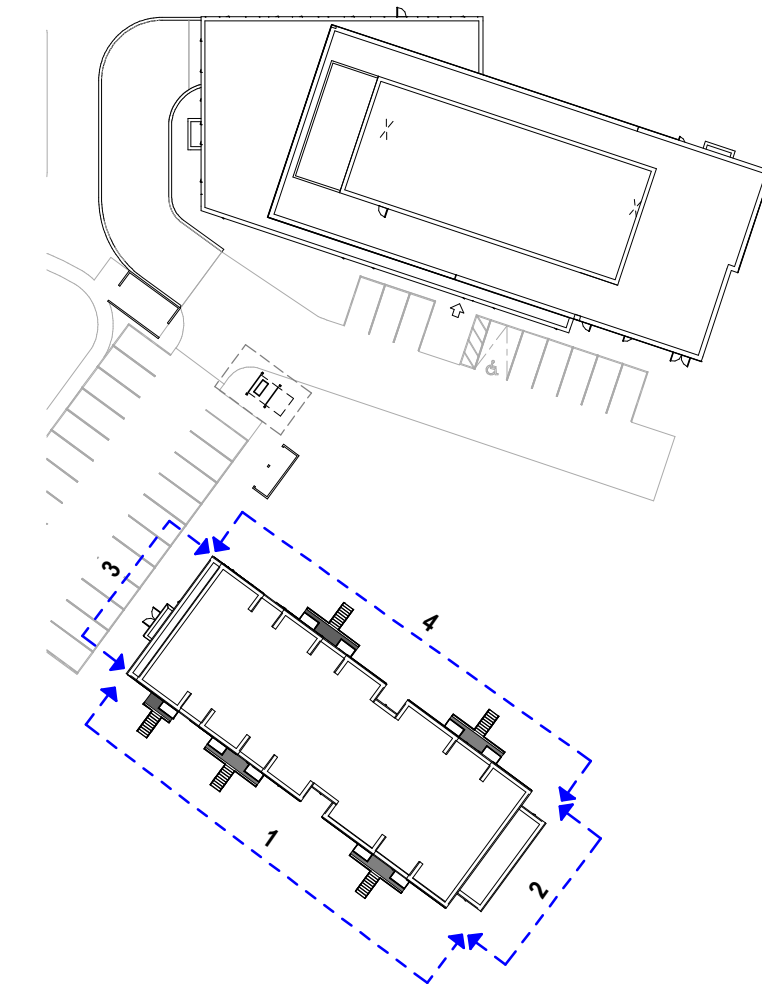
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EXTERIOR ELEVATION
TOWNHOUSE NORTH ELEVATION
A101-TH SCALE: 1 : 100



3
EXTERIOR ELEVATION
TOWNHOUSE WEST ELEVATION
A101-TH SCALE: 1 : 100



2
EXTERIOR ELEVATION
TOWNHOUSE EAST ELEVATION
A101-TH SCALE: 1 : 100



KEY PLAN - ELEVATIONS
SCALE: 1 : 750

CONSTRUCTION NOTES

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115 Walgreen Road,
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Ottawa, ON K2C 3R8

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950 Gladstone, Suite 202,
Ottawa, ON K1Y 3E6

PASSIVE HOUSE / ENERGY MODELLING



14 York Street, Suite 201
Portland, ME 04101



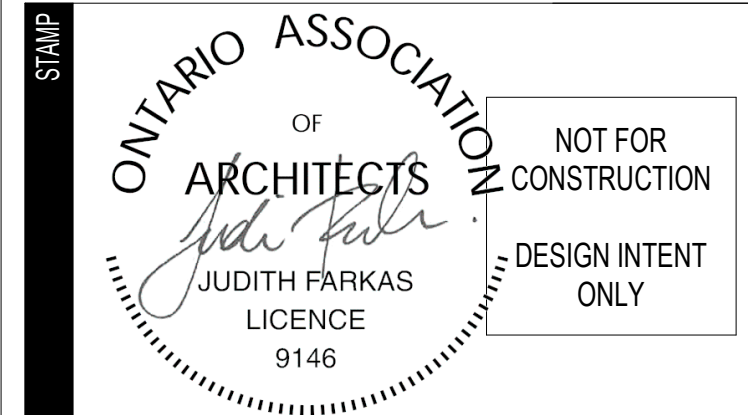
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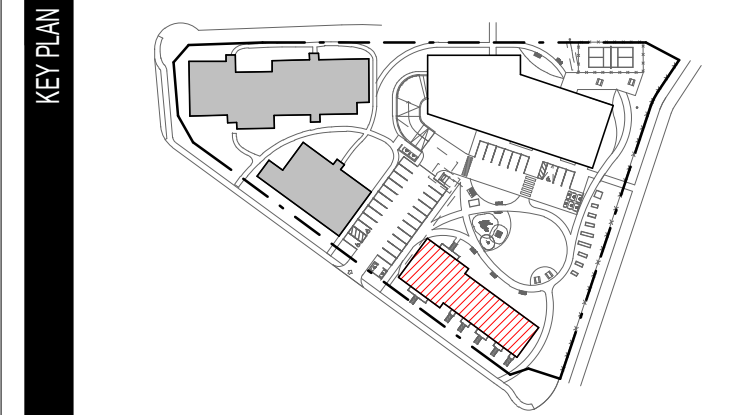
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A300-TH