



LIST OF DRAWINGS

- L1.0 NOTES AND SCHEDULES
- L1.1 VALIDATING INFORMATION PLAN
- L1.2 LANDSCAPE PLAN
- L2.0 LANDSCAPE DETAILS

CONSULTANTS



Evolution
DESIGN & DRAFTING



Kollaard Associates
Engineers



MODULINK Design + Build
25 Grant St., Suite 102
Ottawa, ON, K1Y 2W8



Farley, Smith & Denis Surveying Ltd.
30 Colonnade Rd.
Nepean, ON, K2E 7J6
613.727.8226



Dendron Forestry Services
101 Spencer St.,
Ottawa, ON, K1Y 2P5
613.805.9663

8 ROW TOWNHOUSE BLOCK - QUEEN MARY STREET



NCTL Investments Inc.
65 Shirley's Brook Drive,
Kanata, ON, K2K 3M8



Urbantypology

UNIT 10-163 STERLING ROAD
TORONTO, ON, CANADA, M6R 2B2
PH: 437 . 700 . 5446

UNIT 101- 45 SPENCER STREET
OTTAWA, ON, CANADA, K1Y 2P5
C: 613 .867 .3042 / P: 343.882.4918

PLAN OF SURVEY	PARTS OF LOTS 678,679,682,683#684 REGISTERED PLAN4R-36520
CITY OF OTTAWA	CITY OF OTTAWA
SURVEYOR	FARLEY, SMITH & DENIS SURVEYING LTD.

SITE AREA (m ²)	1133.0
PERMEABLE AREA (m ²)	268.0
PERCENTAGE PERMEABLE AREA (%)	23.7%

SITE AREA (m ²)	1133.0
CANOPY AREA WITHOUT OVERLAPS (m ²)	232
CANOPY AREA PERCENTAGE (%)	20.5%

1. LANDSCAPE ARCHITECT AND/OR LANDSCAPE CONSULTANT HEREIN REFERS TO URBANPTOLOGY INC.
2. ALL PLANS IN METRIC UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO PROTECT ALL EXISTING ROADS, RIGHT OF WAYS, SIDEWALKS, CURBS, AND OTHER SITE ELEMENTS DURING CONSTRUCTION. AREAS DAMAGED DURING CONSTRUCTION TO BE REINSTATE AT CONTRACTORS OWN EXPENSE.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL SERVICES PRIOR TO ANY EXCAVATION. SHOULD CONFLICTS WITH SERVICES BE FOUND, CONTRACTOR TO NOTIFY LANDSCAPE CONSULTANT IMMEDIATELY. DAMAGE TO ANY SERVICES, BOTH ON AND OFF PROJECT SITE, TO BE REPAIRED AT CONTRACTORS OWN COST.
5. ALL PLANT MATERIAL TO HAVE A 2 YEAR WARRANTY, FROM THE DATE OF SUBSTANTIAL COMPLETION.
6. ALL PLANT MATERIAL SHALL BE NURSERY STOCK GROWN IN SAME HARDINESS ZONE AS PROJECT SITE.
7. DECIDUOUS TREES TO HAVE MIN. 1.800MM CLEAR STEM ABOVE GRADE.
8. PROPOSED PLANT SUBSTITUTION REQUESTS ARE REQUIRED TO BE SUBMITTED TO THE LANDSCAPE CONSULTANT FOR REVIEW PRIOR TO SOURCING. PROPOSED SUBSTITUTIONS TO DEMONSTRATE EQUIVALENT CHARACTERISTICS.

- CONTRACTOR TO USE HYDROVAC AND HAND PRUNING TO ENSURE SUITABLE CONDITIONS FOR ROOT PRUNING.
2. ROOTS OR BRANCHES THAT EXTEND BEYOND PRESCRIBED TREE PROTECTION ZONE SHOULD BE PRUNED BY A QUALIFIED ARBORIST (ISA CERTIFIED OR EQUIVALENT) OR OTHER TREE PROFESSIONAL AS APPROVED BY THE CITY OF OTTAWA. ALL PRUNING OF TREE ROOTS AND BRANCHES MUST BE IN ACCORDANCE WITH GOOD ARBORICULTURAL STANDARDS.
3. TREES SHALL BE INSPECTED BY THE LANDSCAPE CONSULTANT OR CITY FORESTER REGULARLY FOR DAMAGE INCURRED DURING CONSTRUCTION TO ENSURE APPROPRIATE PRUNING OR OTHER MEASURES ARE IMPLEMENTED.
4. TREES THAT HAVE DIED OR HAVE BEEN DAMAGED BEYOND REPAIR WILL BE REMOVED AND REPLACED WITH TREES OF THE EQUIVALENT SIZE AND SPECIES AS APPROVED BY THE LANDSCAPE ARCHITECT OR CITY OF OTTAWA.
5. ALL DISTURBED AREAS TO BE RESTORED TO FINISHED CONDITION WITH 150MM TOPSOIL AND SOD OR SEED AS INDICATED.
6. ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW REMOVAL WITH LANDSCAPE ARCHITECT AND THE CITY OF OTTAWA PRIOR TO ANY TREE CUTTING.
7. IF CUTTING OF ROOTS OR CHANGING OF GRADES AROUND EXISTING TREES IS SPECIFIED, FOLLOW APPROPRIATE DETAILS AS DIRECTED BY LANDSCAPE ARCHITECT.
8. INSTALL TREE PROTECTION FENCE TO SATISFACTION OF THE LANDSCAPE CONSULTANT. TREE PROTECTION SHALL REMAIN UNTIL SUBSTANTIAL PERFORMANCE OF THE PROJECT OR UPON WRITTEN AUTHORIZATION FROM THE LANDSCAPE CONSULTANT.

CITY OF OTTAWA STANDARD ROW CROSS SECTIONS SHALL TAKE PRECEDENCE, WHERE NOT OTHERWISE DEFINED BY CODES OR BYLAWS, MINIMUM SETBACKS ARE AS FOLLOWS:	
HYDRO TRANSFORMERS	3.0m
PUBLIC STREETS	2.5m
SIDEWALKS, MUPs, DRIVEWAYS, FENCES, NOISE BARRIERS	1.5m
FOR CONIFERS FROM PAVED SURFACES	4.5m
FIRE HYDRANTS	2.5m
UNDERGROUND SERVICES & UTILITIES	1.5m
TELECOM / CABLE PEDESTALS	1.0m
CURB	2.5m
BETWEEN LARGE GROWING TREES	7.5m
BETWEEN SMALL GROWING TREES	4m

NON-MARINE CLAY	YES
LOW TO MEDIUM SENSITIVITY SILTY CLAY	NO
HIGH SENSITIVITY SILTY CLAY	NO

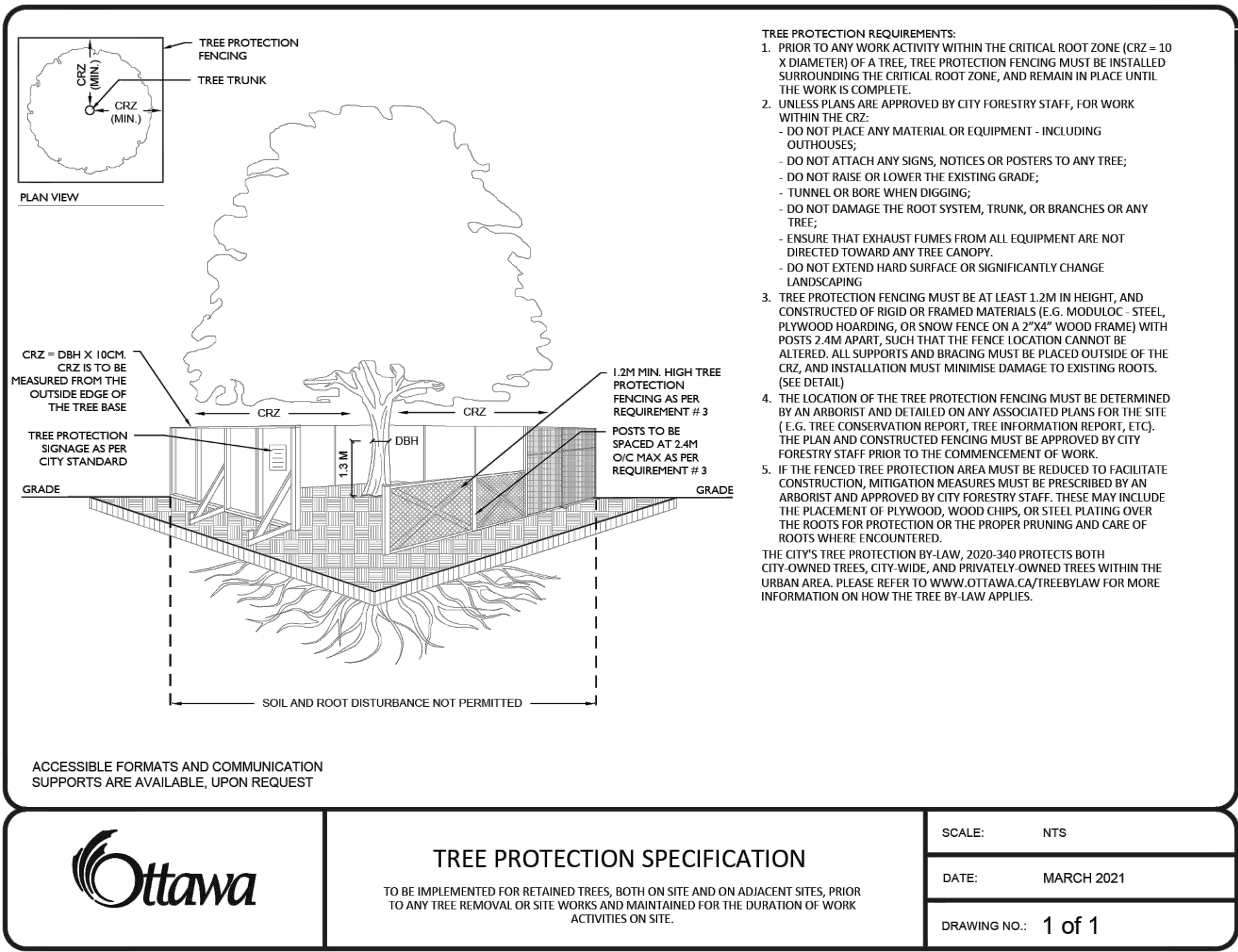
THE LANDSCAPE ARCHITECT INTENDS, BELIEVES AND HAS MADE REASONABLE EFFORT TO CONFORM WITH THE TREE-TO-FOUNDATION SETBACKS, SOIL VOLUMES, AND SURFACE-GRADING REQUIREMENTS OUTLINED IN:

1. THE CITY OF OTTAWA'S GUIDELINES FOR TREE PLANTING IN SENSITIVE MARINE CLAY SOILS (2017), AND
2. GEOTECHNICAL REPORT BY:
 - SECTION 7.0, KOLLAARD ASSOCIATES INC. (PROJECT # 250031, DATED FEBRUARY 24, 2025).

TREE SIZE	SOIL VOLUMES TARGETS	GRAPHIC
SMALL	(A) 20m ³ SINGLE TREE (B) 9m ³ MULTIPLE GROUPED TREES (C) 25m ³ IN SENSITIVE MARINE CLAY	
MEDIUM	(D) 25m ³ SINGLE TREE (E) 15m ³ MULTIPLE GROUPED TREES (F) 30m ³ IN SENSITIVE MARINE CLAY	
LARGE	(G) 30m ³ SINGLE TREE (H) 18m ³ MULTIPLE GROUPED TREES	
CONIFER	(D) 25m ³ SINGLE TREE (E) 15m ³ MULTIPLE GROUPED TREES	

TREE SIZE	AVERAGED TREE CANOPY AREA (m ²) -USED FOR VALIDATION INFO.	GRAPHIC
SMALL	20.0m ² CANOPY / TREE	
MEDIUM	38.0m ² CANOPY / TREE	
LARGE	64.0m ² CANOPY / TREE	
CONIFER	20.0m ² CANOPY / TREE	

TREE CANOPY AREA USED FOR VALIDATION PURPOSES ARE PER: "CITY OF OAKVILLE, DEVELOPMENT APPLICATION GUIDELINES, 2057 CANOPY COVER PLAN AND CANOPY CALCULATION CHART, (FEB 2025)



Tree#	Species	DBH (cm)	Tree condition	Forester recommendation
1	Manitoba maple (<i>Acer negundo</i>)	~55	Fair: heavy lean to the north – approximately 40°; pruned around wires; included bark at first union	Retain and protect as per the City of Ottawa Tree Protection Specifications (March 2021).
2	Manitoba maple (<i>Acer negundo</i>)	~30	Fair/Poor: heavy lean and asymmetrical crown to the south; heavily pruned around wires	Retain. No action required – far enough from construction.
3	Freeman maple (<i>Acer freemanii</i>)	52, 52	Fair/Good: codominant stems split at 1.2m; poor pruning – branch stubs; included bark and bulge at first union	Remove due to requirement for hydro trenching and proximity of excavation. Tree permit required for removal.
4	Norway maple (<i>Acer platanoides</i>)	34, 42	Fair/Poor: large segment of included bark at first union; small wound at main union; poor form – crossing branches; poor pruning – branch stubs	Remove due to tree condition and impacts from construction. Tree permit required for construction.

*TREE INFORMATION REPORT CONDUCTED BY DENDRON FORESTRY SERVICES MAY 14TH, 2025, PREPARED BY KEVIN MYERS.

AREA NO.	TREE QUANTITIES	PROVIDED SOIL AREA (m ²)	PROVIDED SOIL VOLUME (m ³)	OTTAWA TARGET SOIL VOLUME FOR LISTED TREES (m ³)	PERCENTAGE SOIL VOLUME PROVIDED VS TARGET	ESTIMATED 40YR. CANOPY PROJECTION
EX.	SUM OF TREES SIZES	VALUE A	VALUE B = VALUE A X SOIL DEPTH	VALUE C	VALUE B / VALUE C X 100%	
1	1 SMALL	20.0	30.0	20.0	150.0%	20.0
2	2 MEDIUM	28.4	42.6	30.0	142.0%	67.0
3	1 LARGE	32.6	48.9	30.0	163.0%	72.0
4	2 MEDIUM	42.0	63.0	30.0	210.0%	73.0
TOTAL	6 TREES	123.0	184.5	110.0	167.7%	232.0

SYM	BOTANICAL NAME	COMMON NAME	QTY.	PLANTING SIZE	INSTALL NOTES	COMMENTS
LARGE DECIDUOUS TREES (ABOVE 15m HEIGHT)						
TA	TILIA AMERICANA	BASSWOOD	1	50mm CAL.	B4B / W.B.	PRIVATE OWNERSHIP, NATIVE SPECIES
MEDIUM DECIDUOUS TREES (8 TO 15m HEIGHT)						
AG	AESCULUS GLABRA	OHIO BUCKEYE	2	50mm CAL.	B4B / W.B.	PRIVATE OWNERSHIP, NATIVE SPECIES
OV	OSTRYA VIRGINIANA	HOP HORNBEAM	2	50mm CAL.	B4B / W.B.	PRIVATE OWNERSHIP, NATIVE SPECIES
SMALL DECIDUOUS TREES (5 TO 8m HEIGHT)						
PV	PRUNUS VIRGINIANA	CHOKECHERRY	1	50mm CAL.	B4B / W.B.	PRIVATE OWNERSHIP, NATIVE SPECIES



UNIT 10-163 STERLING ROAD
TORONTO, ON, CANADA, M6R 2B2
PH: 437.700.5446

UNIT 101- 45 SPENCER STREET
OTTAWA, ON, CANADA, K1Y 2P5
C: 613.867.3042 / P: 343.882.4918



01	ISSUED FOR SITE PLAN CONTROL	13 MAY 2025
NO.:	REVISION:	DATE:

CONTRACTOR RESERVED THIS DRAWING IS THE EXCLUSIVE PROPERTY OF URBANPAC/URBANCITY INC. AND SHALL NOT BE REPRODUCED OR USED FOR PURPOSES OTHER THAN INTENDED BY THE OWNER, WITHOUT PERMISSION.

THIS DRAWING SHALL ONLY BE USED FOR CONSTRUCTION WHEN FIRED WITH A PROFESSIONAL SEAL AND SIGNATURE BY THE LANDSCAPE ARCHITECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO:

- VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE;
- REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONTRACT ADMINISTRATOR;
- COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS;
- VERIFY LOCATION OF ALL UNDERGROUND SERVICES AND UTILITIES WITH RESPECTIVE AUTHORITIES PRIOR TO COMMENCEMENT OF WORK.

PROJECT:

8 ROW
TOWNHOUSE BLOCK

LOCATION:
342, 344, 348, 350 QUEEN MARY STREET
OTTAWA, ON

DRAWN: MC	START DATE:
CHECKED: SM	08 MAY 2025

NOTES AND SCHEDULES

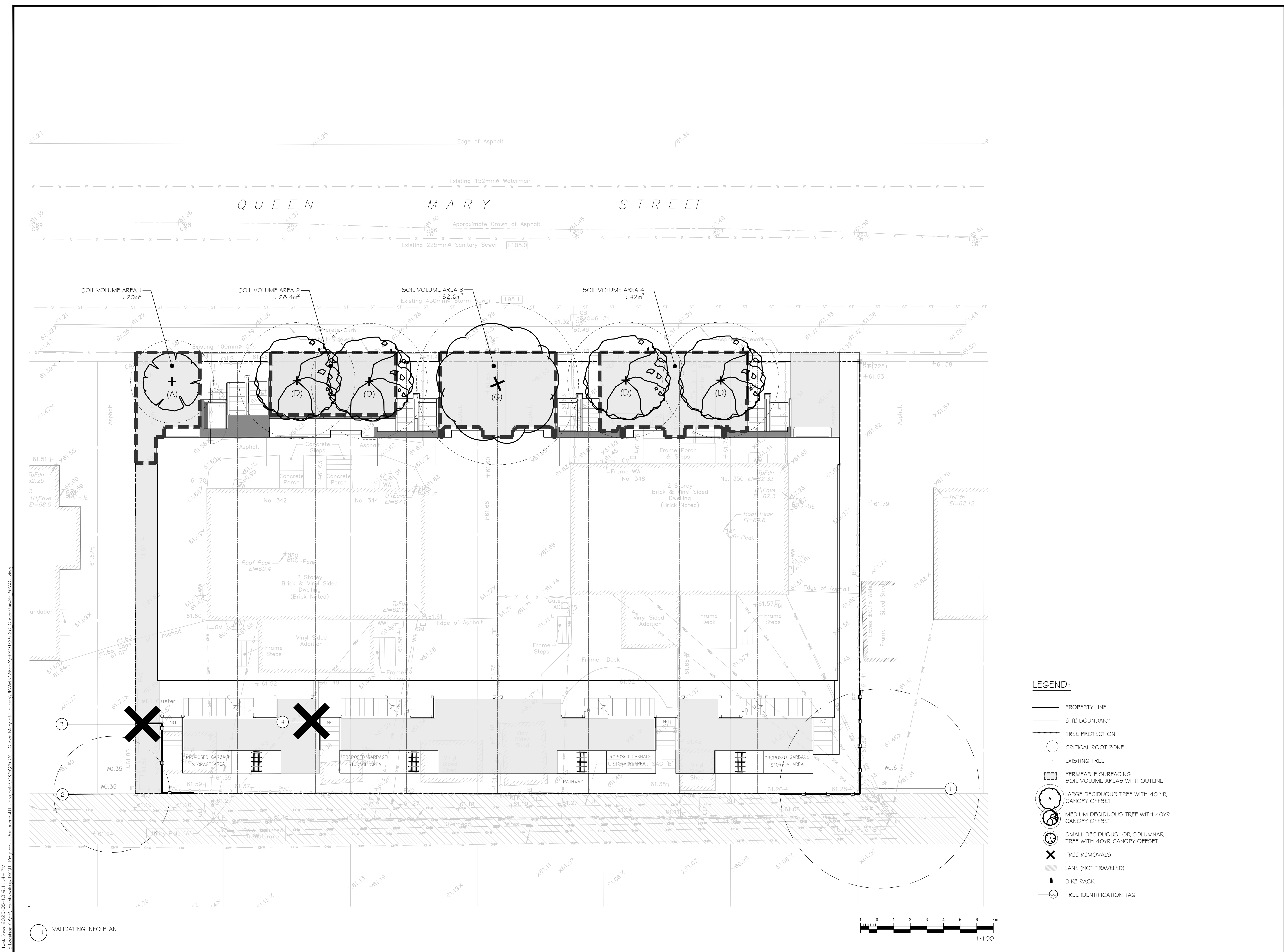
SCALE: 00.00	PAGE SIZE: 24X36
--------------	------------------

PROJECT NUMBER: 24.26

NORTH:	SHEET NO.:
--------	------------

L1.0

Last Save: 2025-05-13 6:11:44 PM
 File Location: C:\ProgramData\Autodesk\LT25\Projects - Documents\LT - Projects - Queen Mary St Housing\DRAWINGS\SPASPA01\25_26_QueenMarySt_SPA01.dwg



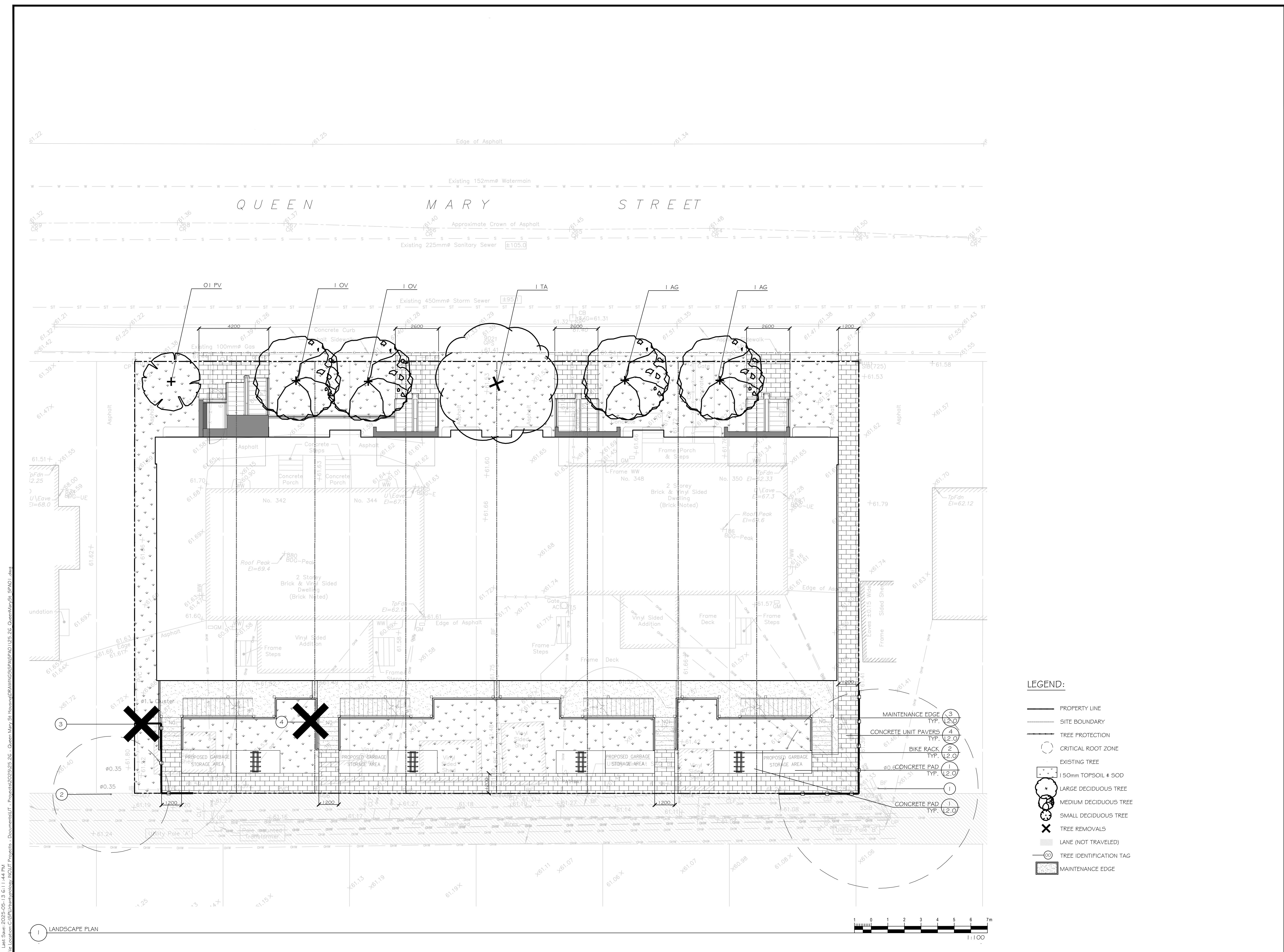
LEGEND:

- PROPERTY LINE
- SITE BOUNDARY
- TREE PROTECTION
- CRITICAL ROOT ZONE
- EXISTING TREE
- PERMEABLE SURFACING
- SOIL VOLUME AREAS WITH OUTLINE
- LARGE DECIDUOUS TREE WITH 40 YR CANOPY OFFSET
- MEDIUM DECIDUOUS TREE WITH 40YR CANOPY OFFSET
- SMALL DECIDUOUS OR COLUMNAR TREE WITH 40YR CANOPY OFFSET
- TREE REMOVALS
- LANE (NOT TRAVELED)
- BIKE RACK
- TREE IDENTIFICATION TAG

Professional seal and signature area for the landscape architect, including a circular stamp with the text 'ASSOCIATION OF LANDSCAPE ARCHITECTS' and 'SCOTT W. MARSH'.

01 ISSUED FOR SITE PLAN CONTROL 13 MAY 2025		
NO.:	REVISION:	DATE:
ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS SPECIFIED OTHERWISE. DO NOT SCALE THE DRAWINGS. ALL DRAWINGS TO BE READ IN CONJUNCTION WITH CONTRACT SPECIFICATIONS.		
COPYRIGHT RESERVED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF URBANTYPOLOGY INC. AND SHALL NOT BE REPRODUCED OR USED FOR PURPOSES OTHER THAN INTENDED BY THE OWNER, WITHOUT PERMISSION.		
THIS DRAWING SHALL ONLY BE USED FOR CONSTRUCTION WHEN FIXED WITH A PROFESSIONAL SEAL AND SIGNATURE BY THE LANDSCAPE ARCHITECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO: • VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. • REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONTRACT ADMINISTRATOR. • COMPLY WITH ALL PERTINENT CODES, BY-LAWS AND LAWS. • VERIFY LOCATION OF ALL UNDERGROUND SERVICES AND UTILITIES WITH RESPECTIVE AUTHORITIES PRIOR TO COMMENCEMENT OF WORK.		
PROJECT: 8 ROW TOWNHOUSE BLOCK		
LOCATION: 342, 344, 348, 350 QUEEN MARY STREET OTTAWA, ON		
DRAWN: MC	START DATE:	
CHECKED: SM	08 MAY 2025	
DRAWING: VALIDATING INFO. PLAN		
SCALE: 1:100 PAGE SIZE: 24X36		
PROJECT NUMBER: 24.26		
NORTH:	SHEET NO.:	
	L1.1	

Use Date: 2025-05-13 11:11:44 AM
File Location: C:\Users\urbantypology\INOUT Projects - Documents\UT - Projects\2025\25.26 - Queen Mary St Townhouse\Drawings\SWP\2025.26 Queen Mary St SWP.dwg



MULTIFAMILY | DEVELOPMENT | INVESTMENT

NCTL GROUP

NCTL Investments Inc.
65 Shirley's Brook Drive,
Kanata, ON, K2K 3M8

Urbantypology

UNIT 10-163 STERLING ROAD
TORONTO, ON, CANADA, M6R 2B2
PH: 437.700.5446

UNIT 101-45 SPENCER STREET
OTTAWA, ON, CANADA, K1P 2P5
C: 613.867.3042 / P: 343.882.4918

NO.	REVISION	DATE
01	ISSUED FOR SITE PLAN CONTROL	13 MAY 2025

ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS SPECIFIED OTHERWISE. DO NOT SCALE THE DRAWINGS. ALL DRAWINGS TO BE READ IN CONJUNCTION WITH CONTRACT SPECIFICATIONS.

COPYRIGHT RESERVED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF URBANTYPOLOGY INC. AND SHALL NOT BE REPRODUCED OR USED FOR PURPOSES OTHER THAN INTENDED BY THE OWNER, WITHOUT PERMISSION.

THIS DRAWING SHALL ONLY BE USED FOR CONSTRUCTION WHEN FIXED WITH A PROFESSIONAL SEAL AND SIGNATURE BY THE LANDSCAPE ARCHITECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO:

- VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.
- REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONTRACT ADMINISTRATOR.
- COMPLY WITH ALL PERTINENT CODES, BY-LAWS AND LAWS.
- VERIFY LOCATION OF ALL UNDERGROUND SERVICES AND UTILITIES WITH RESPECTIVE AUTHORITIES PRIOR TO COMMENCEMENT OF WORK.

PROJECT:
8 ROW TOWNHOUSE BLOCK

LOCATION:
342, 344, 348, 350 QUEEN MARY STREET
OTTAWA, ON

DRAWN: MC START DATE:
CHECKED: SM 08 MAY 2025

DRAWING:
LANDSCAPE PLAN

SCALE: 1:100 PAGE SIZE: 24X36

PROJECT NUMBER: 24.26

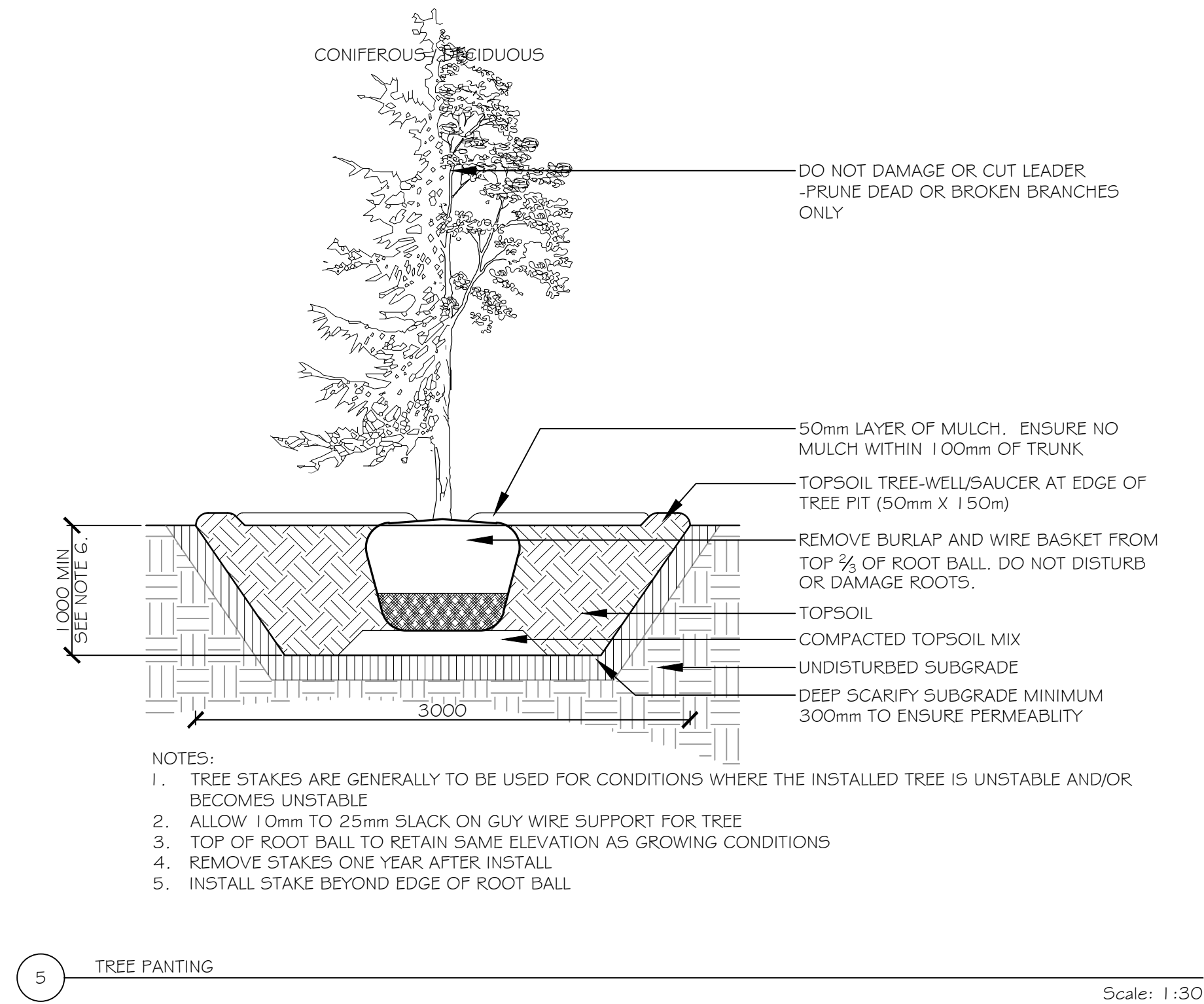
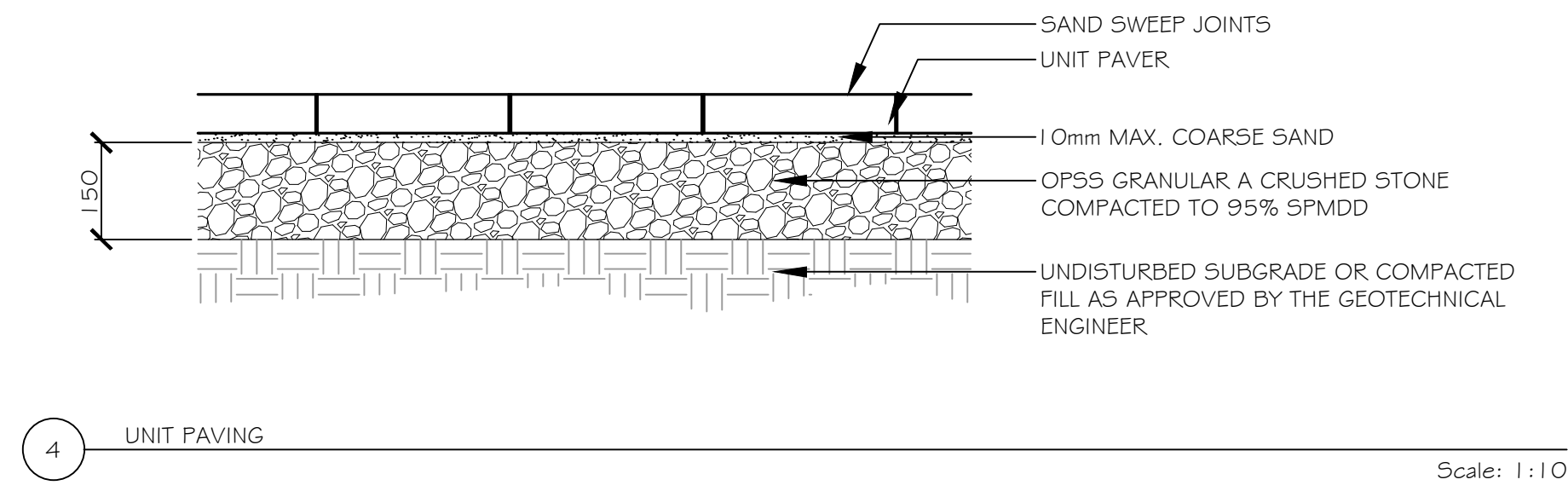
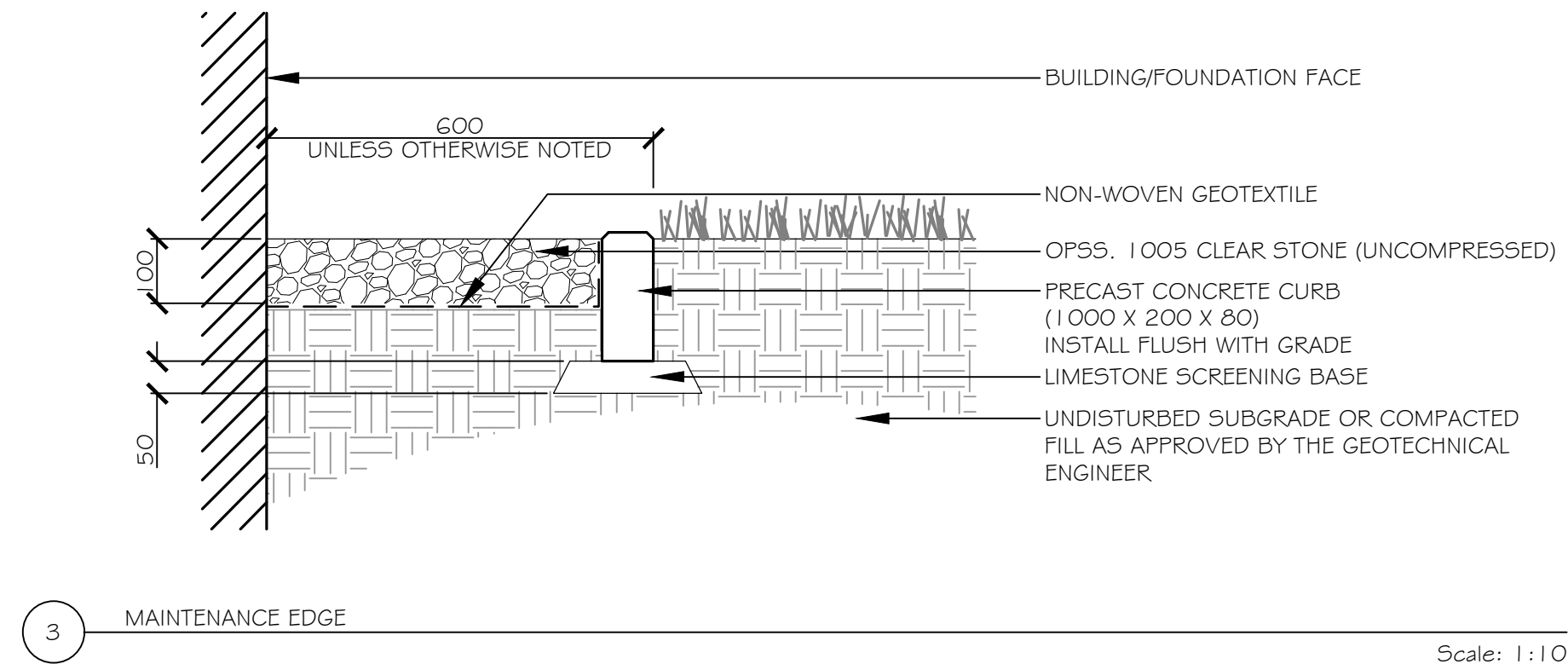
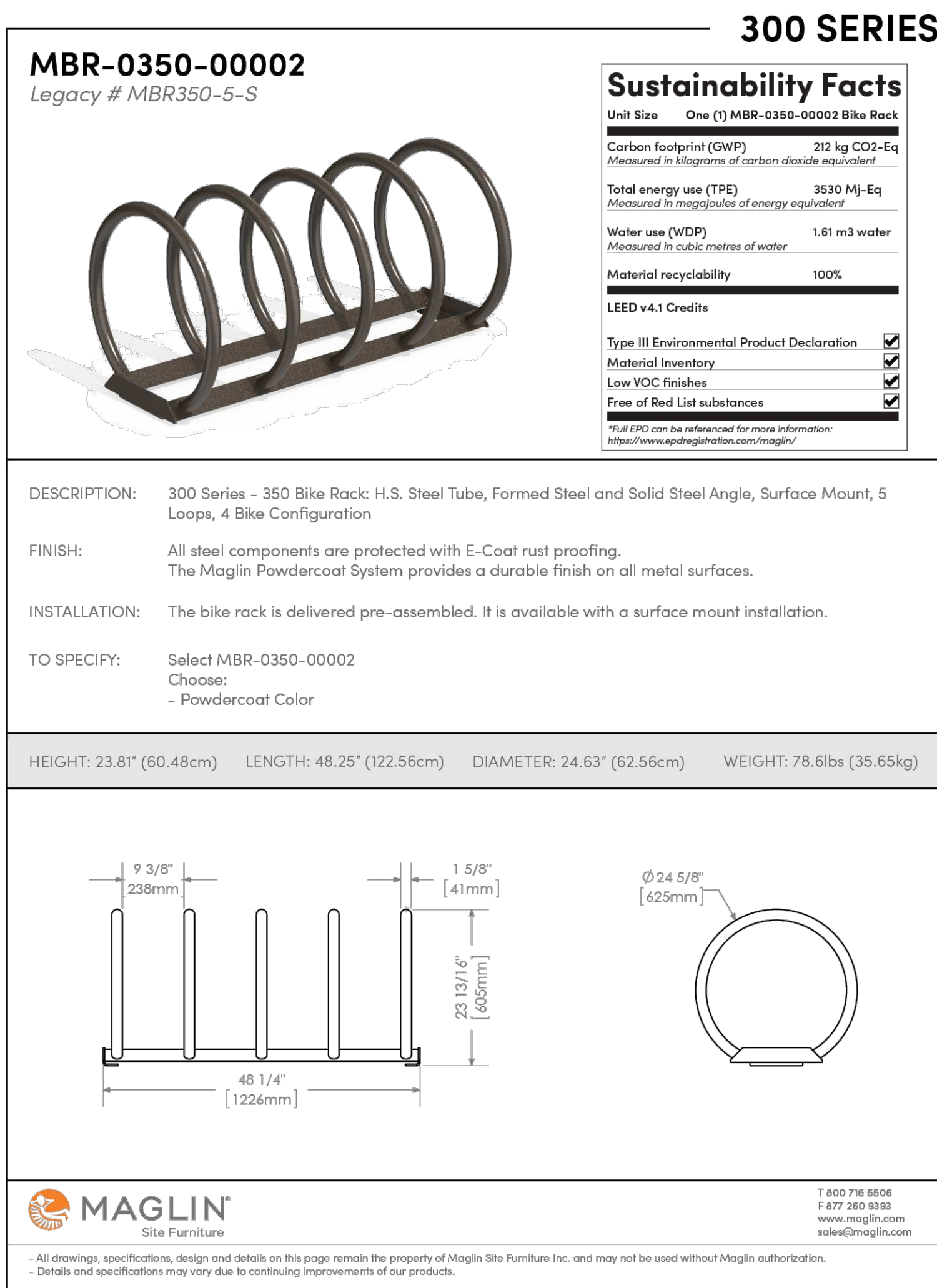
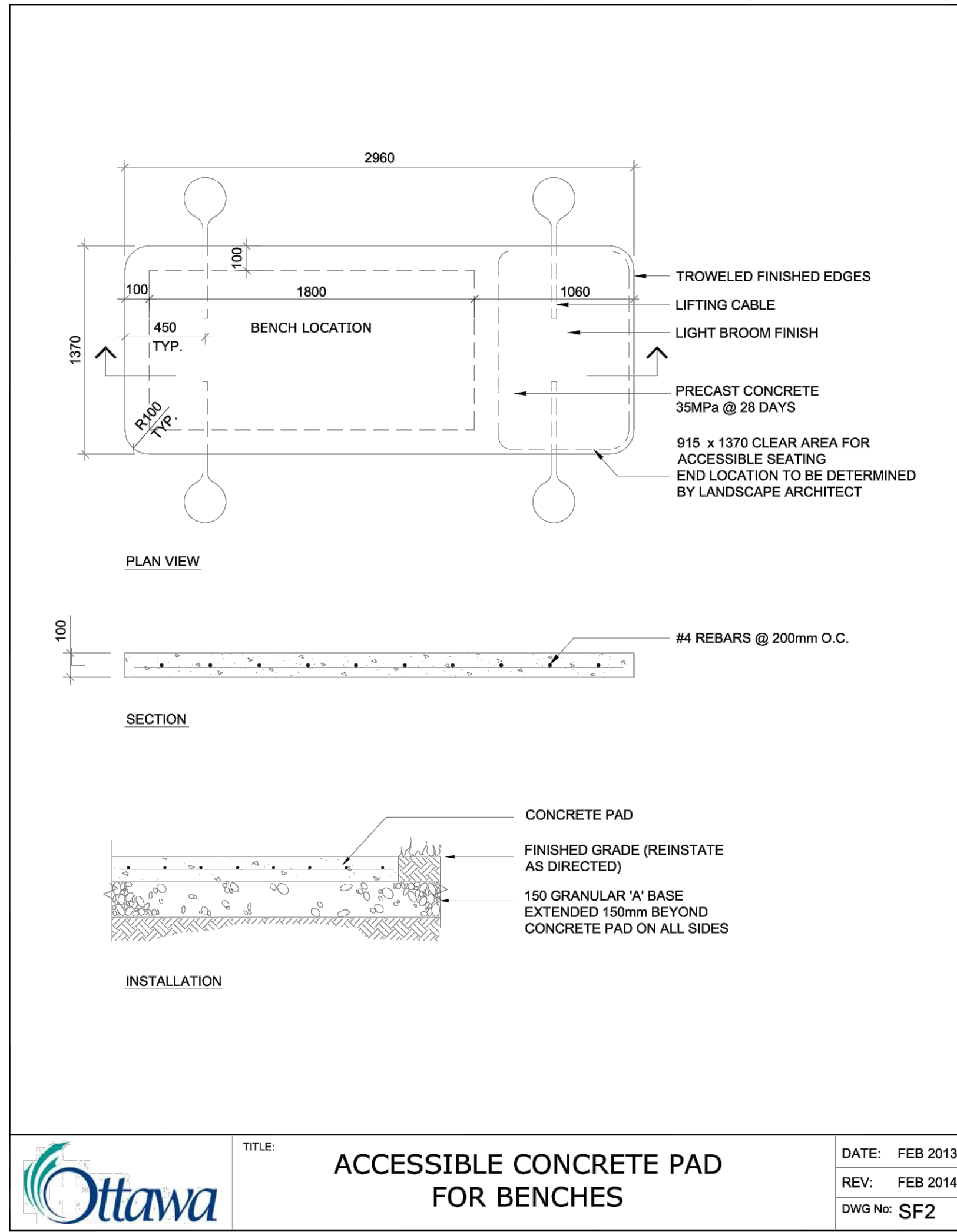
NORTH:

SHEET NO.: **L1.2**

XXXX-XX-XX

Use Date: 2025-05-13 11:14:44 PM
File Location: C:\Users\urbantypology\INOUT Projects - Documents\UT - Projects\2025\25.26 - Queen Mary St Townhouse\Drawings\SP\SP01.dwg

Last Save: 2025-05-13 3:20:05 PM
File Location: C:\ProgramData\Urbantypology\NCTL Projects - Documents\UT - Projects\2025\25-26 - Queen Mary St House\DRAWINGS\SEPA\DWG 25-26 - Queen Mary St-SEPA\1 - Details.dwg



01	ISSUED FOR SITE PLAN CONTROL		13 MAY 2025
NO.:	REVISION:	DATE:	
ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS SPECIFIED OTHERWISE. DO NOT SCALE THE DRAWINGS. ALL DRAWINGS TO BE READ IN CONJUNCTION WITH CONTRACT SPECIFICATIONS.			
COPYRIGHT RESERVED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF URBANTYPOLOGY INC. AND SHALL NOT BE REPRODUCED OR USED FOR PURPOSES OTHER THAN INTENDED BY THE OWNER, WITHOUT PERMISSION.			
THIS DRAWING SHALL ONLY BE USED FOR CONSTRUCTION WHEN FIXED WITH A PROFESSIONAL SEAL AND SIGNATURE BY THE LANDSCAPE ARCHITECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO:			
• VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. • REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONTRACT ADMINISTRATOR. • COMPLY WITH ALL PERTINENT CODES, BY-LAWS AND LAWS. • VERIFY LOCATION OF ALL UNDERGROUND SERVICES AND UTILITIES WITH RESPECTIVE AUTHORITIES PRIOR TO COMMENCEMENT OF WORKS.			
PROJECT:			
8 ROW			
TOWNHOUSE BLOCK			
LOCATION:			
342, 344, 348, 350 QUEEN MARY STREET			
OTTAWA, ON			
DRAWN:		MC	START DATE:
CHECKED:		SM	08 MAY 2025
DRAWING:			
LANDSCAPE PLAN			
DETAILS			
SCALE:		PAGE SIZE: 24X36	
PROJECT NUMBER:		24.26	
NORTH:		SHEET NO. :	
		L2.0	

XXXX-XX-XX-XX