

64 JAMIE PREP SHOP ADDITION

TONY GRAHAM MOTORS INC.



64 JAMIE AVE., OTTAWA, ON, K2E 6T6

PROJECT TEAM

CLIENT

TONY GRAHAM MOTORS INC.

A: 1855 Merivale Rd, Ottawa, ON, K2G 1E3
T: 613 225 1212

CONTRACTOR

PRITEC MANAGEMENT

A: 2405 March Rd, Carp, ON, K0A 1L0
T: 613 839 5460

ARCHITECT

VANDEMBERG & WILDEBOER ARCHITECTS

A: 160 Flamborough Way, Ottawwa, ON, K2K 3H9
T: 613 287 0144

STRUCTURAL

CUNLIFFE & ASSOCIATES

A: 200-1550 Carling Ave., Ottawwa, ON, K1Z 8S8
T: 613 729 7242

MECHANICAL & ELECTRICAL

PROENG CONSULTING INC.

A: 399 Bayrose Dr., Ottawa, ON, K2J 5R5
T: 613 843 0065

CIVIL

DOUGLAS B. GRAY ENGINEERING INC.

A: 700 Long Point Circle, Ottawa, ON, K1T 4E9
T: 613 425 8044

LANDSCAPE

JAMES B. LENNOX & ASSOCIATES INC.

A: 3323 Carling Ave., Ottawa, ON, K2H 5A8
T: 613 722 5168

SURVEYOR

FARLEY, SMITH & DENIS SURVEYING LTD.

A: 275-30 Colonnade Rd. N., Ottawa, ON, K2E 7J6
T: 613 727 8226

NO.	REVISION	DATE
1	ISSUED FOR CLIENT REVIEW	MAR 31, 2025
2	ISSUED FOR 33% SET	MAY 14, 2025
3	ISSUED FOR SITE PLAN CONTROL	JUN 03, 2025

CONSTRUCTION

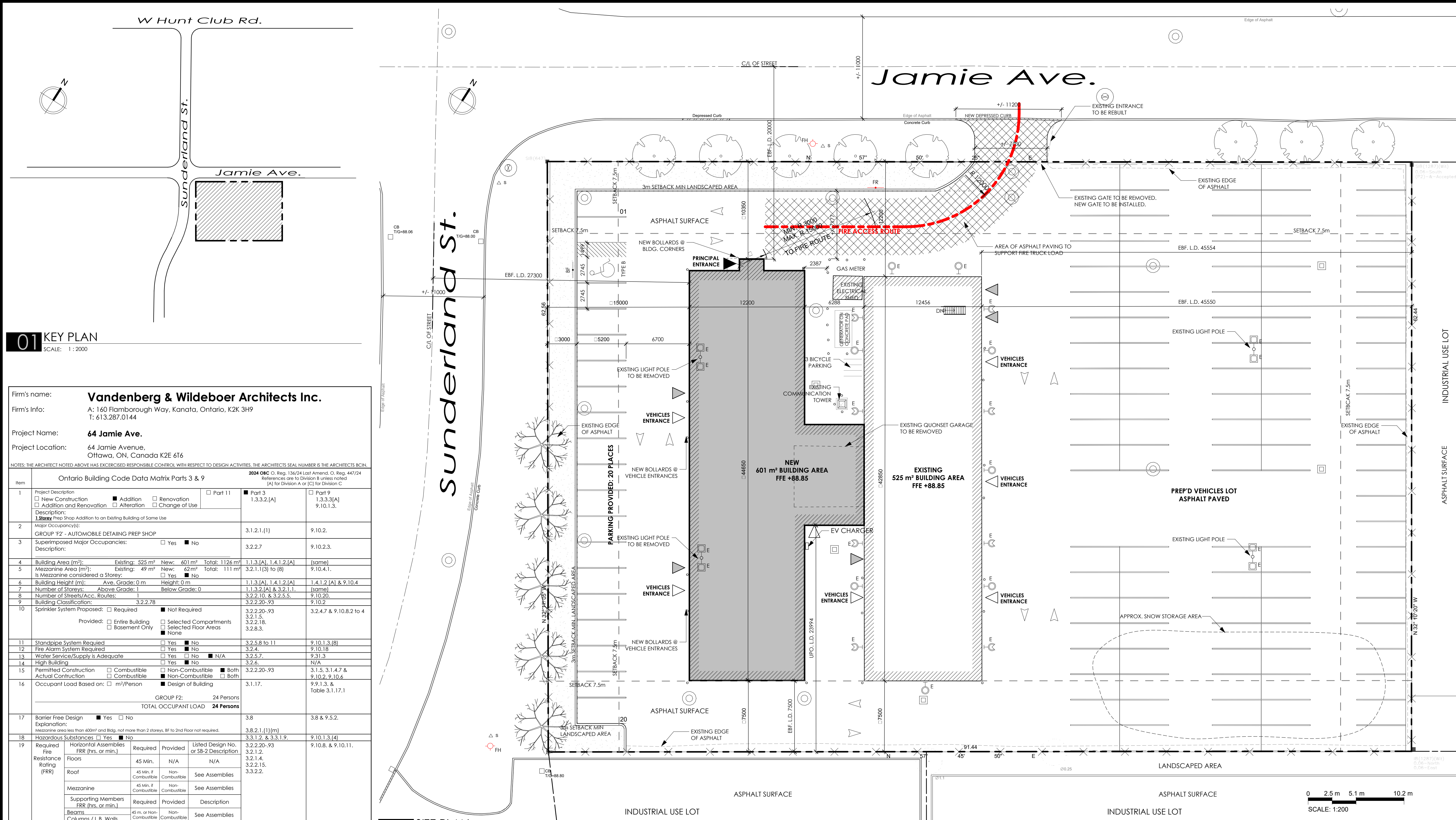


PROJECT TITLE:
64 JAMIE PREP SHOP ADDITION
64 Jamie Ave., Ottawa, ON K2E 6T6

DRAWING TITLE:
COVER SHEET

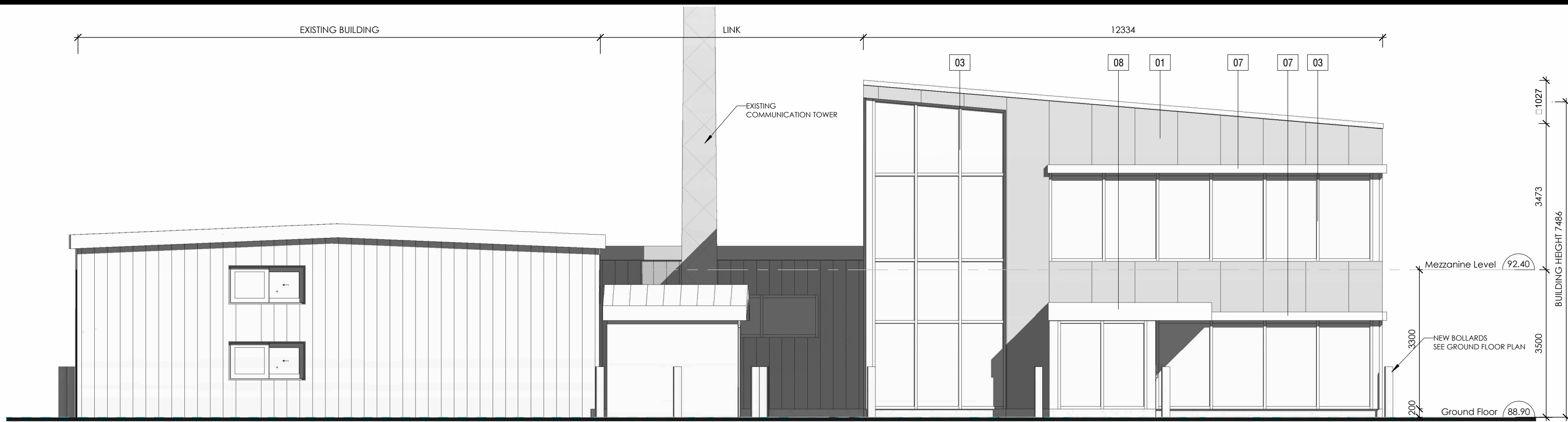
DESIGNED BY: MW
DRAWN BY: DV
START DATE: 2025-02-06
SCALE:
PROJECT NO. 2510

A000



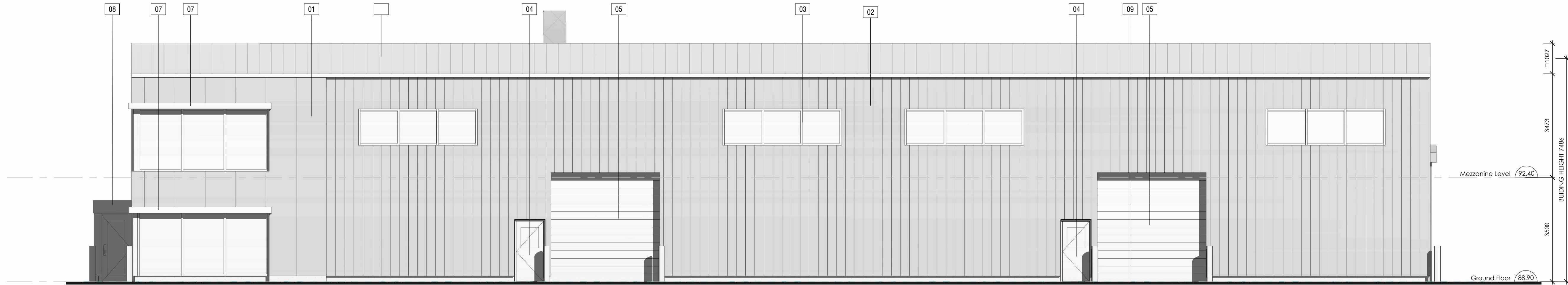
01 KEY PLAN
SCALE: 1 : 2000

Firm's name:		Vandenberg & Wildeboer Architects Inc.	
Firm's Info:		A: 160 Flamborough Way, Kanata, Ontario, K2K 3H9 T: 613.287.0144	
Project Name:		64 Jamie Ave.	
Project Location:		64 Jamie Avenue, Ottawa, ON, Canada K2E 6T6	
NOTES: THE ARCHITECT NOTED ABOVE HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECT'S SEAL NUMBER IS THE ARCHITECT'S BCIN.			
2024 OBC D. Reg. 136/24 Last Amend. O. Reg. 447/24 References are to Division B unless noted [A] for Division A or [C] for Division C			
Ontario Building Code Data Matrix Parts 3 & 9			
Item			
1	Project Description ☐ New Construction ☒ Alteration ☐ Renovation ☐ Addition and Renovation ☐ Alteration ☐ Change of Use Description: 1 Storey Prep Shop Addition to an Existing Building of Same Use		
2	Major Occupancy (B): GROUP F2 - AUTOMOBILE DETAILING PREP SHOP		
3	Superimposed Major Occupancies: Description: ☐ Yes ☒ No		
4	Building Area (m²): Existing: 525 m² New: 601 m² Total: 1126 m²		
5	Mezzanine Area (m²): Existing: 49 m² New: 42 m² Total: 91 m² Is Mezzanine considered a Storey? ☐ Yes ☒ No		
6	Building Height (m): Ave. Grade: 0 m Height: 0 m		
7	Number of Storeys: Above Grade: 1 Below Grade: 0		
8	Number of Streets/Acc. Routes: 1		
9	Building Classification: 3.2.2.78		
10	Sprinkler System Proposed: ☐ Required ☒ Not Required Provided: ☐ Entire Building ☐ Selected Compartments ☐ Basement Only ☐ Selected Floor Areas ☐ None		
11	Standpipe System Required: ☐ Yes ☒ No		
12	Fire Alarm System Required: ☐ Yes ☒ No		
13	Water Service/Supply is Adequate: ☐ Yes ☐ No ☒ N/A		
14	High Building: ☐ Yes ☒ No		
15	Permitted Construction: ☐ Combustible ☐ Non-Combustible ☒ Both Actual Construction: ☐ Combustible ☐ Non-Combustible ☒ Both		
16	Occupant Load Based on: ☐ m²/Person ☒ Design of Building		
		GROUP F2: 24 Persons	
		TOTAL OCCUPANT LOAD 24 Persons	
17	Barrier Free Design ☒ Yes ☐ No Explanation: Mezzanine area less than 600m² and Bldg. not more than 2 storeys, BF to 2nd Floor not required.		3.8
18	Hazardous Substances ☐ Yes ☒ No		3.8.2.1.(1)(m)
19	Required Fire Resistance Rating (FRR) Horizontal Assemblies (hrs. or min.) Floors Roof Mezzanine Supporting Members (hrs. or min.) Beams Columns / L.B. Walls Other:		3.2.1.2, & 3.3.1.9 3.2.2.20-93 3.2.1.2 3.2.1.4 3.2.2.15 3.2.2.2 3.2.2.20-93 3.2.1.4 3.2.2.15 3.2.2.



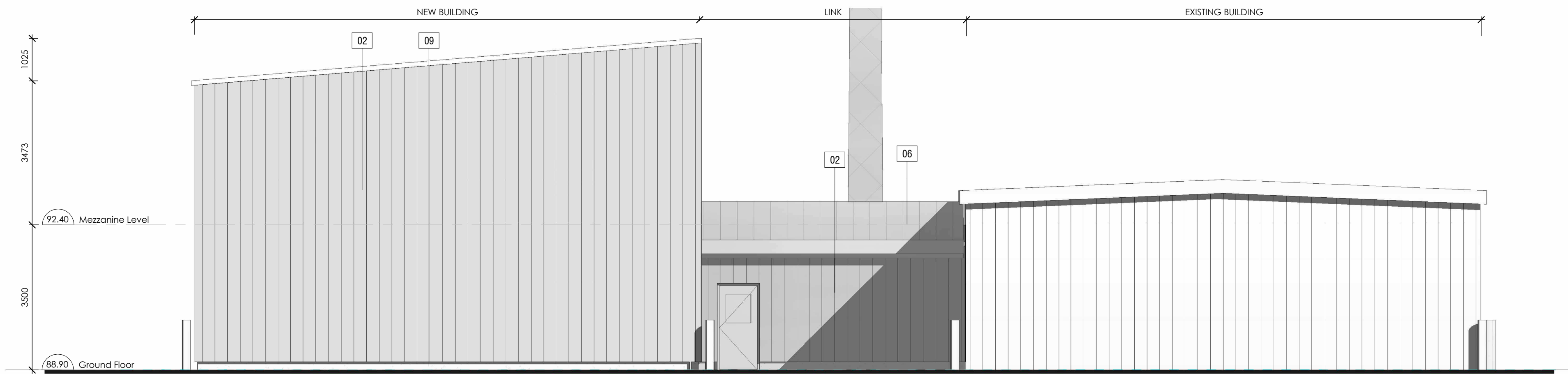
01 NORTH ELEVATION

SCALE: 1:75



02 WEST ELEVATION

SCALE: 1:75



03 SOUTH ELEVATION

SCALE: 1:75



04 EAST ELEVATION

SCALE: 1:75

NO.	REVISION	DATE
1	ISSUED FOR CLIENT REVIEW	FEB 25, 2025
2	ISSUED FOR CLIENT REVIEW	MAR 31, 2025
3	ISSUED FOR 33% COORDINATION	MAY 02, 2025
4	ISSUED FOR 33% SET	MAY 14, 2025
5	ISSUED FOR SITE PLAN CONTROL	JUN 03, 2025

ELEVATION KEYNOTES	
#	DESCRIPTION
01	INSULATED METAL PANEL - COLOUR LIGHT FRENCH GRAY
02	METAL PANEL CLADDING - COLOUR 56076 WHITE WHITE
03	ALUMINUM CURTAIN WALL, FINISH BLACK ANODIZED
04	HOLLOW METAL INSULATED DOOR AND FRAME W/GLASS - COLOUR TO MATCH WALL CLADDING
05	GARAGE DOOR, ANODIZED ALUMINUM AND GLASS SECTIONS.
06	STANDING SEAM METAL ROOF - COLOUR 56076 WHITE WHITE
07	METAL FLASHING - COLOUR RED
08	CANOPY CAPPED IN METAL FLASHING - COLOUR RED
09	EXPOSED CONCRETE FOUNDATION WALL



Vandenberg & Wildeboer
A·R·C·H·I·T·E·C·T·S

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• 785 OLD STONE LODGE • 140 PLAINFLOUGH WAY • OTTAWA, ONTARIO • K2E 1B0 •

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DRAWING TITLE:
ELEVATIONS

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A200