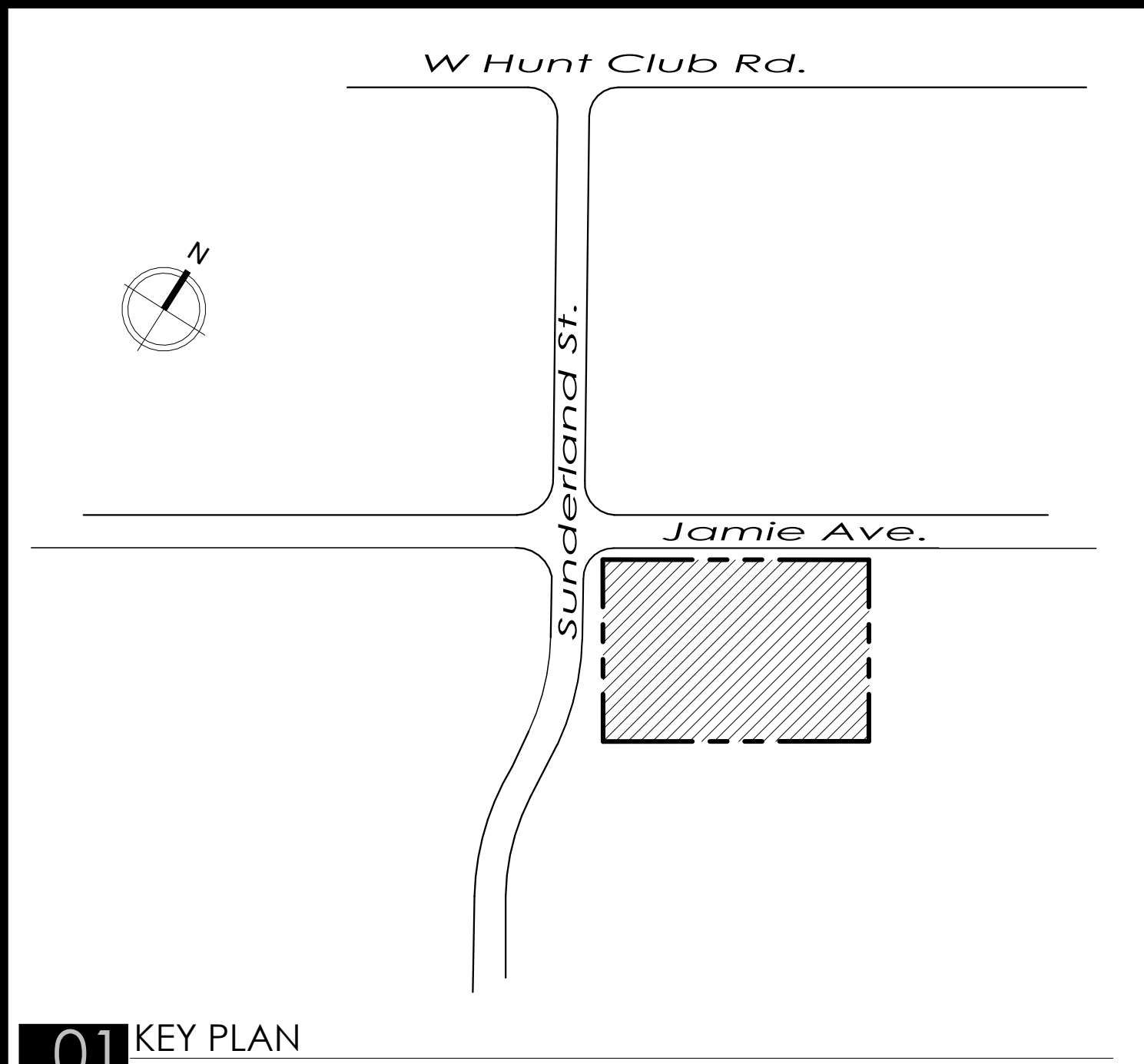




01 KEY PLAN
SCALE: 1 : 2000

Firm's name: **Vandenberg & Wildeboer Architects Inc.**
Firm's Info: A: 160 Flamborough Way, Kanata, Ontario, K2K 3H9
T: 613.287.0144
Project Name: **64 Jamie Ave.**
Project Location: 64 Jamie Avenue,
Ottawa, ON, Canada K2E 6T6

NOTES: THE ARCHITECT NOTED ABOVE HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECT'S SEAL NUMBER IS THE ARCHITECT'S BCIN.

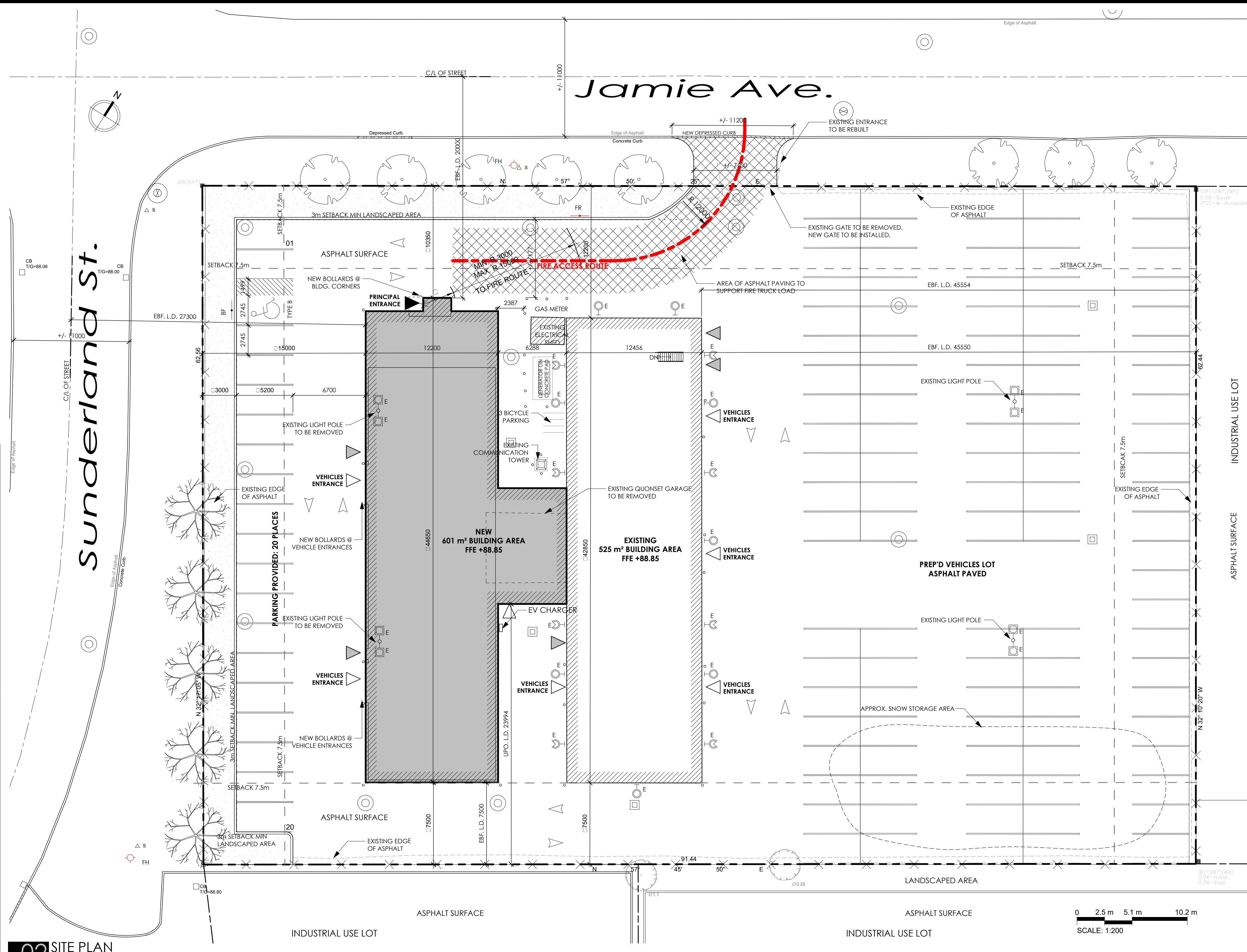
Ontario Building Code Data Matrix Parts 3 & 9				2024 OBC D. Reg. 136/24 Last Amend. O. Reg. 447/24 References are to Division B unless noted (A) for Division A or (C) for Division C	
Item	Project Description ☐ New Construction ☐ Addition and Renovation Description: 1380sq Detailing Prep Shop Building Addition to an Existing Building of the Same Use	☒ Addition ☐ Renovation ☐ Alteration ☐ Change of Use	☐ Part 11	☒ Part 3 1.3.3.2.[A]	☐ Part 9 1.3.3.3.[A] 9.10.1.3.
2	Major Occupancy(ies): GROUP F2 - AUTOMOBILE DETAILING SHOP			3.1.2.1.(1)	9.10.2.
3	Superimposed Major Occupancies: Description:	☐ Yes ☒ No		3.2.2.7	9.10.2.3.
4	Building Area (m ²): Existing: 525 m ² New: 601 m ² Total: 1126 m ²			1.1.3.[A], 1.4.1.2.[A]	(same)
5	Mezzanine Area (m ²): Existing: 49 m ² New: 42 m ² Total: 91 m ² Is Mezzanine considered a Storey?	☐ Yes ☒ No		3.2.1.1.[3] to [8]	9.10.4.1.
6	Building Height (m): Ave. Grade: 0 m Height: 0 m			1.1.3.[A], 1.4.1.2.[A]	1.4.1.2.[A] & 9.10.4
7	Number of Storeys: Above Grade: 1 Below Grade: 0			1.1.3.2.[A] & 3.2.1.1.	(same)
8	Number of Street/Acc. Routes:			3.2.2.10 & 3.2.5.5.	9.10.20.
9	Building Classification:			3.2.2.20-93	9.10.2
10	Sprinkler System Proposed: Provided: ☐ Entire Building ☐ Basement Only	☒ Not Required ☐ Selected Compartments ☐ Selected Floor Areas ☒ None		3.2.2.20-93 3.2.1.5. 3.2.2.18. 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
11	Standpipe System Required	☐ Yes ☒ No		3.2.5.8 to 11	9.10.1.3.[8]
12	Fire Alarm System Required	☐ Yes ☒ No		3.2.4.	9.10.18
13	Water Service/Supply is Adequate	☐ Yes ☐ No ☒ N/A		3.2.5.7.	9.31.3
14	High Building	☐ Yes ☒ No		3.2.6.	N/A
15	Permitted Construction ☐ Combustible ☐ Non-Combustible Actual Construction ☐ Combustible ☒ Non-Combustible ☐ Both			3.1.5, 3.1.4.7 & 3.2.2.20-93 9.10.2, 9.10.6	
16	Occupant Load Based on: ☐ m ² /Person ☒ Design of Building			3.1.17.	9.9.1.3. & Table 3.1.17.1
GROUP F2: 24 Persons TOTAL OCCUPANT LOAD: 24 Persons					
17	Barrier Free Design Explanation: Mezzanine area less than 60m ² and Bldg. not more than 2 storeys, BF to 2nd floor not required.	☒ Yes ☐ No		3.8 3.8.2.1.(1)[m]	3.8 & 9.5.2.
18	Hazardous Substances ☐ Yes ☒ No			3.3.1.2. & 3.3.1.9.	9.10.1.3.[4]
19	Required Fire Resistance Rating (FRR) Horizontal Assemblies (hrs. or min.) Roof Mezzanine Supporting Members (hrs. or min.) Beams / Columns / L.B. Walls Others	Required 45 Min. 45 Min. & Combustible Required 45 Min. & Non-Combustible Others	Provided N/A Non-Combustible Non-Combustible See Assemblies See Assemblies See Assemblies	Listed Design No. or SB-2 Description 3.2.2.20-93 3.2.1.4. 3.2.2.15. 3.3.2.2.	9.10.8. & 9.10.11. 3.2.1.4. 3.2.2.15. 3.3.2.2.

SITE STATISTICS		
LEGAL DESCRIPTION: LOTS 15, 16 & 17, REGISTERED PLAN 564563, CITY OF OTTAWA.		
ZONING: IH1 - HEAVY INDUSTRIAL (SUBZONE 1)		
TOTAL SITE AREA (A _T): 5718.10 m²		
ZONING MECHANISM	REQUIRED	PROVIDED
MINIMUM LOT AREA	4000 m ²	5718.10 m ²
MINIMUM LOT WIDTH	NO MIN.	---
MINIMUM FRONT AND CORNER SIDE YARD	7.5 m	7.5 m
MINIMUM INTERIOR AND REAR SIDE YARD	7.5 m	7.5 m
MAXIMUM FLOOR SPACE INDEX	2	0.16
MAXIMUM BUILDING HEIGHT	22 m	7.5 m
MINIMUM WIDTH OF LANDSCAPING	3 m	SEE COMMENTS BELOW
PARKING CALCULATIONS		
OCCUPANCY	GFA (m ²)	PARKING RATE REQUIRED
GROUP F2	1,126	1 per 100 m ²
TOTAL PARKING PROVIDED:		20
PARKING DIMENSIONS		
PARKING SPACE TYPE	REQUIRED	PROVIDED
REGULAR PARKING SPACE	2.7 x 5.2 m	2.745 x 5.2 m
ACCESSIBLE PARKING SPACE (BY AODA)	TYPE A: 3.4x5.2m TYPE B: 2.4x5.2m	TYPE A: 0 TYPE B: 1
MINIMUM ASLE WIDTH	6.7 m	6.7 m
BICYCLE PARKING RATES		
PARKING SPACES	REQUIRED	PROVIDED
1 per 500 m ² of GFA	2	3

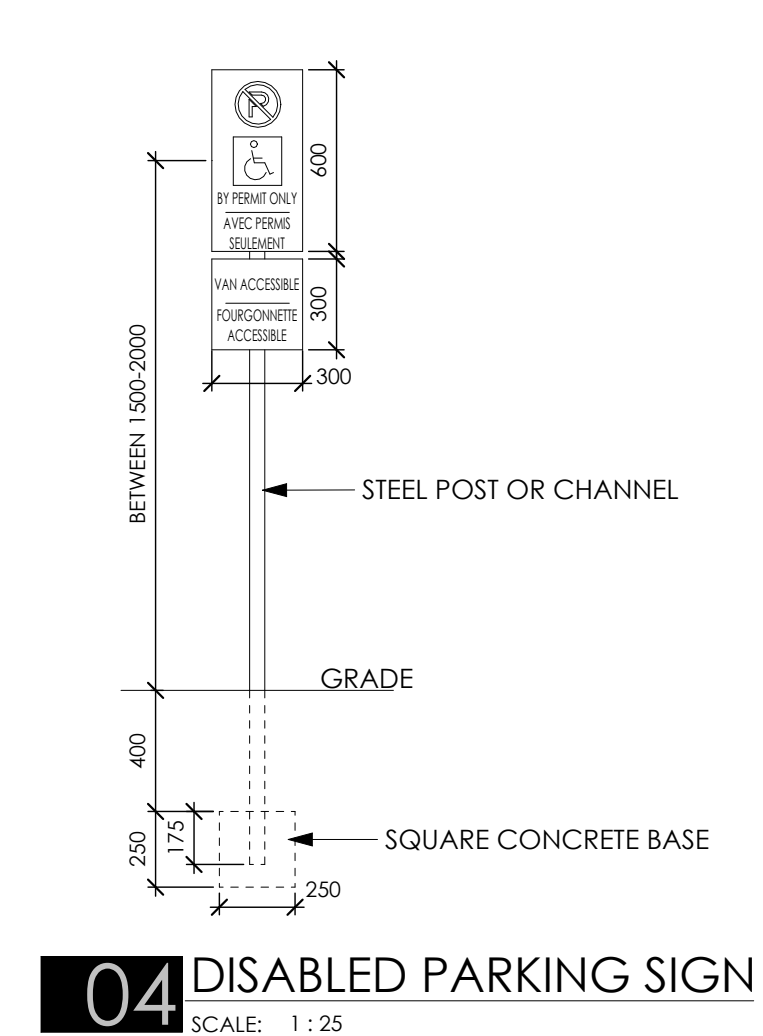
GENERAL NOTES

- PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEY PLAN FROM FARLEY, SMITH & DENIS SURVEYING LTD. PREPARED BY ENAD (AERFAA) ON MARCH 14/2025.
- REFER TO LEGAL SURVEY FOR SITE SPECIFIC LEGAL INFORMATION.
- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL SERVICES AND LANDSCAPE RELATED ITEMS.
- ALL WALKWAYS TO BE ASPHALT UNLESS NOTED OTHERWISE.
- ALL PARKING AREAS TO BE ASPHALT PAVED UNLESS NOTED OTHERWISE.
- REFER TO CIVIL FOR COMPLETE GRADING INFORMATION.

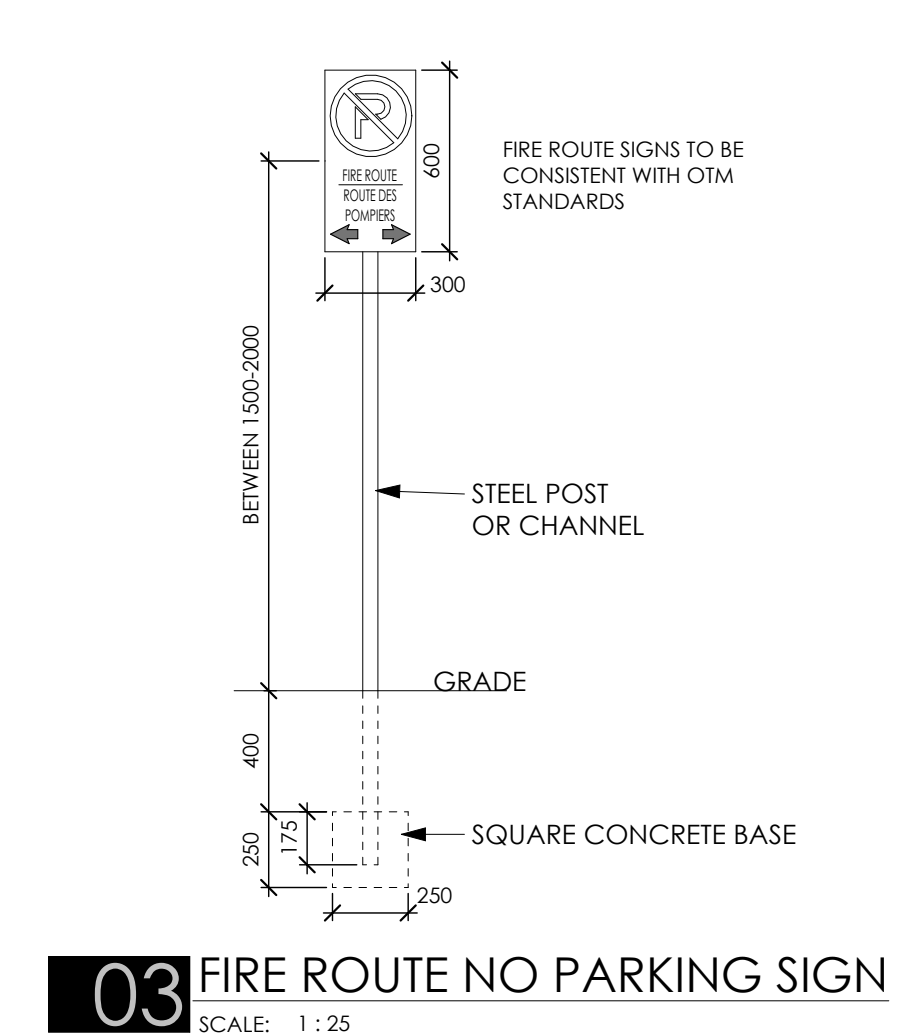
NOTE: 3M LANDSCAPE BUFFER NOT PROVIDED ON ALL SIDES, NO MINOR VARIANCE REQUIRED. SEE EMAIL FROM CITY OF OTTAWA INTERPRETATION ATTACHED TO THE SITE PLAN CONTROL APPLICATION



02 SITE PLAN
SCALE: 1 : 200



04 DISABLED PARKING SIGN
SCALE: 1 : 25



03 FIRE ROUTE NO PARKING SIGN
SCALE: 1 : 25

NO.	REVISION	DATE
1	ISSUED SPA FOR PRECONSULTATION MEETING	FEB 10, 2025
2	ISSUED FOR CLIENT REVIEW	FEB 25, 2025
3	ISSUED FOR CLIENT REVIEW	MAR 31, 2025
4	ISSUED FOR SITE COORDINATION	MAR 31, 2025
5	ISSUED FOR 33% COORDINATION	MAY 02, 2025
6	ISSUED FOR 33% SET	MAY 14, 2025
7	ISSUED FOR SITE PLAN CONTROL	JUN 03, 2025
8	REISSUED FOR SITE PLAN CONTROL	JUL 23, 2025

LEGEND:

- MH MANHOLE - SANITARY AND STORM (SEE CIVIL) ('E' DENOTES EXISTING)
- CB CATCHBASIN (SEE CIVIL) ('E' DENOTES EXISTING)
- FH FIRE HYDRANT (SEE CIVIL) ('E' DENOTES EXISTING)
- U/P UTILITY POLE ('E' DENOTES EXISTING)
- S STREET SIGN ('E' DENOTES EXISTING)
- △ DENOTES BUILDING DESIGNATED EXIT
- ▲ DENOTES BUILDING ACCESS
- △ DENOTES BUILDING DESIGNATED EXIT
- ▲ TYPICAL CURB (REFER: CITY STANDARDS)
- DC DEPRESSED CURB (REFER: CITY STANDARDS)
- PROPERTY LINE
- EXISTING PROPERTY LINE
- DESIGNATED BARRIER FREE PARKING SPACE
- NP NO PARKING SIGN
- BF BARRIER FREE PARKING SIGN
- FR FIRE ROUTE SIGN
- FR LIGHT STANDARD (SEE ELECT.)
- FR FR' DENOTES FIRE ROUTE SIGN ON POST
- LIGHT POST (SEE ELECT.)
- WALL SCONCE (SEE ELECT.)
- LIGHT POST WALL MOUNTED (SEE ELECT.)
- SIAMESE CONNECTION
- DOWNSPOUT
- EV ELECTRIC VEHICLE CHARGING STATION
- TACTILE WALKING SURFACE INDICATOR (TWSI)
- DIAGONAL PAINTED LINES
- TRANSFORMER W/ BOLLARDS (SEE ELECT.)
- SITE FENCING (SEE LANDSCAPE)
- LP EXISTING LIGHT POLE
- TREES (TYPICAL)

CLIENT

TONY GRAHAM MOTORS INC.
A: 1855 Merivale Rd, Ottawa, ON, K2G 1E3
T: 613 225 1212

LANDSCAPE

JAMES B. LENNOX & ASSOCIATES INC.
A: 3323 Carling Ave., Ottawa, ON, K2H 5A8
T: 613 722 5168

CIVIL

DOUGLAS B. GRAY ENGINEERING INC.
A: 700 Long Point Circle, Ottawa, ON, K1T 4E9
T: 613 425 8044

CONSTRUCTION

ONTARIO ASSOCIATION OF ARCHITECTS
MALCOLM WILDEBOER
LICENCE 6685

Vandenberg & Wildeboer
A · R · C · H · I · T · E · C · T · S

www.vandenberg-wildeboer.com • Telephone: 613.287.0144 • Facsimile: 613.271.8009 • mail@vandenberg-wildeboer.com • 1785 OLD STONE LODGE • 160 FLAMBOROUGH WAY • OTTAWA, KANATA • ONTARIO • K2E 3B5 •

PROJECT TITLE:
64 JAMIE PREP SHOP ADDITION
64 Jamie Ave., Ottawa, ON K2E 6T6

DRAWING TITLE:
SITE PLAN

DESIGNED BY: MW
DRAWN BY: DV
START DATE: 2025-02-06
SCALE: As indicated
PROJECT NO: 2510

A001

2025-07-23 10:52:00 AM