

01 KEY PLAN
SCALE: 1 : 5000

SITE STATISTICS		
LOT DESCRIPTION (CONDOMINIUM PROPERTY): PART OF LOT 2 CONCESSION 1, HUNTER, PART 1 PLAN 4819829, SUBJECT TO EASEMENTS PER PERM NO. CC-048613, CC-048614, CC-048615, CC-048616 & CC-048617.		
UNIT PROPERTY: UNIT 4, LEVEL 1, OTTAWA-CARLETON VACANT LAND CONDOMINIUM PLAN No. 690, PIN 15690-0017		
ZONING: GM22[2423] H(12) - GENERAL MIXED-USE ZONE TOTAL UNIT SITE AREA (m ²): 19,022.80 m²		
ZONING MECHANISM	REQUIRED	PROVIDED
MINIMUM LOT AREA	1900 m ²	19,022.80 m ²
MINIMUM LOT WIDTH	30 m	126.66 m
MINIMUM FRONT AND CORNER SIDE YARD SETBACKS	9 m	15 m
MINIMUM INTERIOR SIDE YARD SETBACK	2 m	19.5 m
MINIMUM REAR YARD SETBACK	7.5 m	38.5 m
MINIMUM YARD SETBACK FROM HIGHWAY 417	14 m	38.5 m
MINIMUM WIDTH OF LANDSCAPED AREA	NO MINIMUM, YARD LANDSCAPED	N/A
MIN. WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT	3 m	3 m
PARKING SPACE LOCATION	DEVELOPER MAY USE UP TO 25% OF FS PROPORTION FOR VEHICLE SURFACE NOT CLOSER THAN 1.5m FROM PUBLIC STREET	N/A
MIN. USE OF LANDSCAPED AREA OF PARKING LOT AREA (PARKING LOT AREA = 5,122m ²)	768 m ²	898 m ² (NOT COUNTING UNDEVELOPED LAND)
MAXIMUM BUILDING HEIGHT	12 m	10 m
PARKING CALCULATIONS		
FLOOR	OCCUPANCY	GFA
F2 - AUTOMOBILE DETAILING SHOP	920 m ²	2 PER SERVICE BAY
		26
		117
NOTE: PARKING PROVIDED IN SURPLUS OF THE 26 REQUIRED IS FOR COMPANY USE ONLY. NO CUSTOMERS IN THIS FACILITY.		
PARKING SPACE TYPE	REQUIRED	PROVIDED
REGULAR PARKING SPACE DIMENSIONS	2.4 x 5.2 m	2.7 x 5.5 m
ACCESSIBLE PARKING SPACE (BY ACDA)	TYPE A3: 46.2 m TYPE B2: 46.2 m	TYPE A3: 46.2 m TYPE B2: 46.2 m
MINIMUM ASLE WIDTH	6.7 m	6.7 m
BICYCLE PARKING RATES		
BICYCLE PARKING SPACES	REQUIRED	PROVIDED
1 per 500 m ² of GFA	2	3

Firm's name:

Vandenberg & Wildeboer Architects Inc.

Firm's Info:

160 Flamborough Way
Kanata, Ontario, K2K 3H9
613.287.0144

Project Name:

TONY GRAHAM MOTORS 2500 PREP SHOP

Project Location:

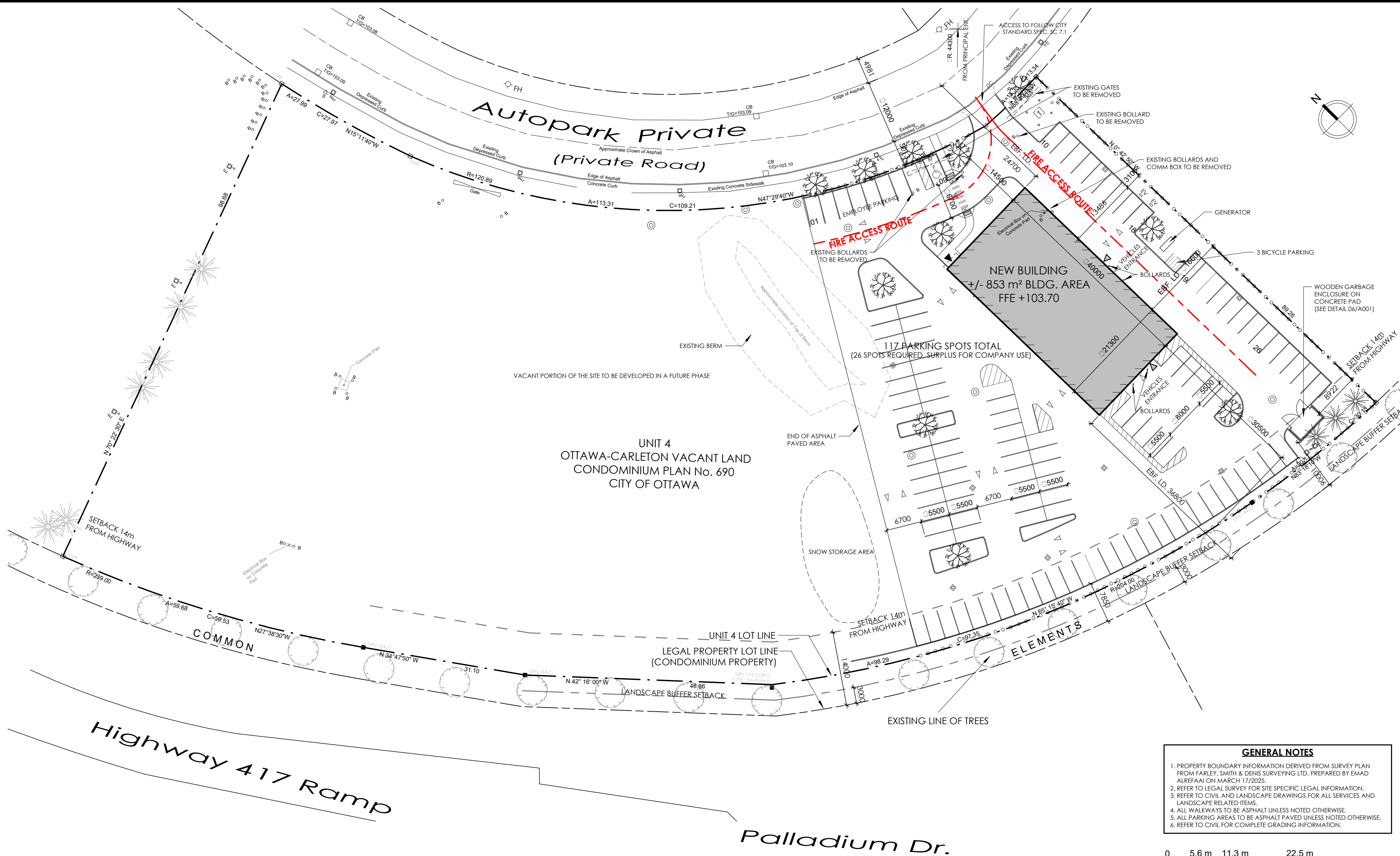
2500 Palladium Dr.,
Ottawa, ON, Canada K2V 1E2

NOTES: THE ARCHITECT NOTED ABOVE HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECT'S SEAL NUMBER IS THE ARCHITECT'S BCIN.

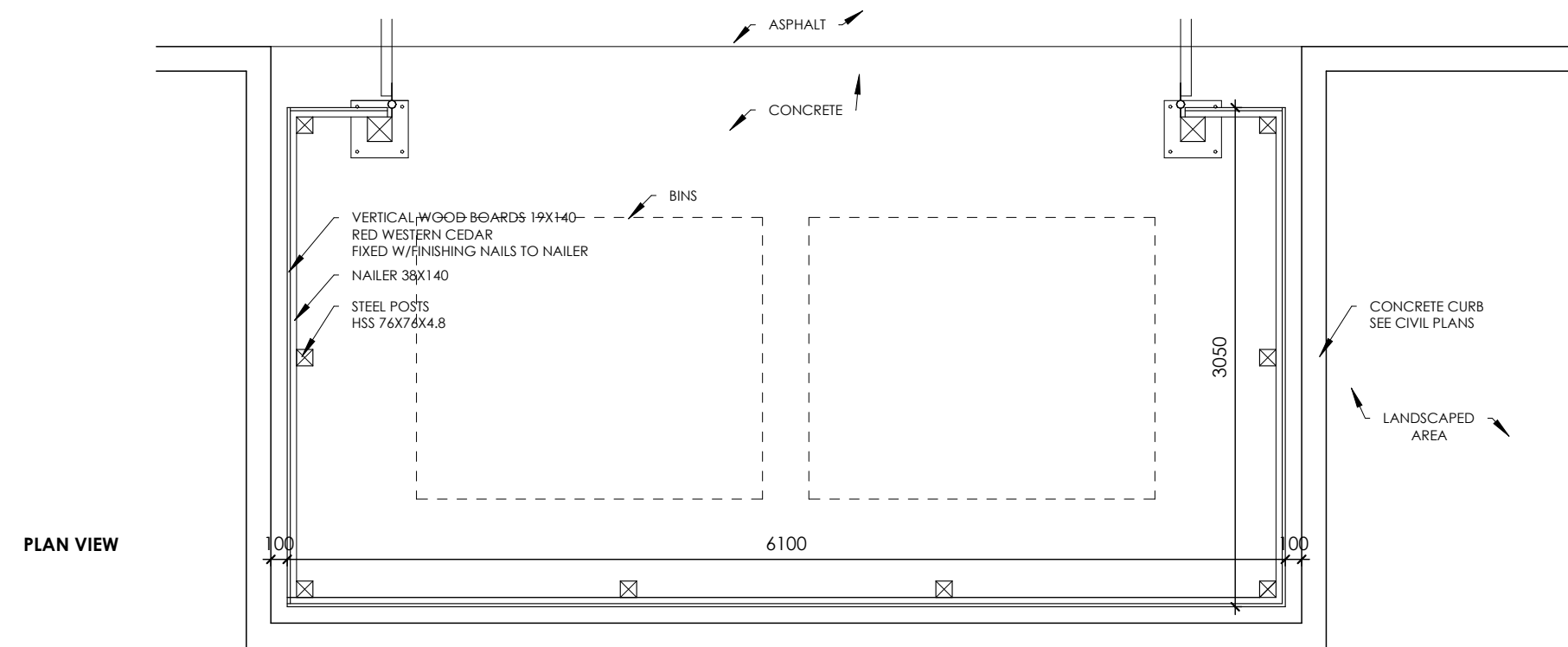
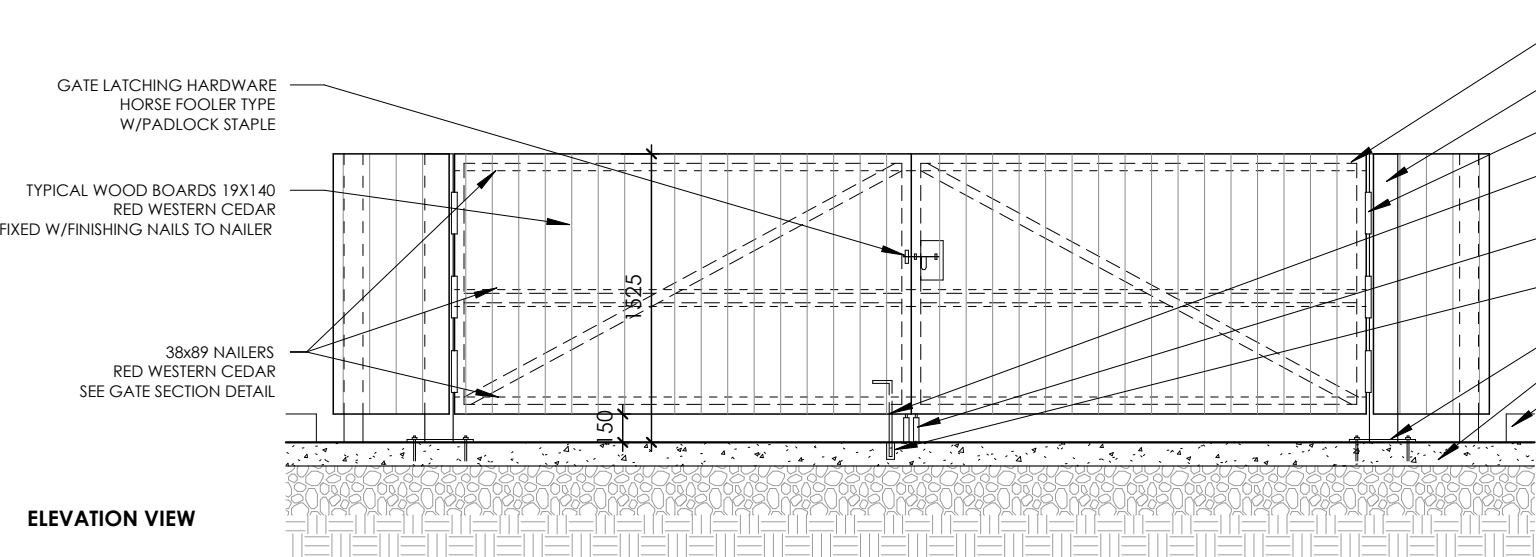
2024 OBC O. Reg. 136/24 (last Amend. O. Reg. 447/24)
References are to Division A or [C] for Division C.

Ontario Building Code Data Matrix Parts 3 & 9

Item	2024 OBC O. Reg. 136/24 (last Amend. O. Reg. 447/24) References are to Division A or [C] for Division C.	1.3.3.2 [A]	1.3.3.3 [A]
1	Project Description: ■ New Construction □ Addition and Renovation □ Alteration □ Change of Use	3.1.2.1 [1]	9.10.2.
2	Description: New 1 Storey Detailing Prep Shop Building	3.2.2.7	9.10.2.3.
3	Major Occupancy(ies): GROUP F2 - AUTOMOBILE DETAILING SHOP	3.2.2.10, 3.2.2.5, 9.10.20.	9.10.2.
4	Superimposed Major Occupancies: Description:	3.2.2.20-93	3.2.4.7 & 9.10.8.2 to 4
5	Building Area (m ²): Existing: — m ² New: 853 m ² Total: 853 m ²	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
6	Mezzanine Area (m ²): Existing: — m ² New: 67 m ² Total: 67 m ²	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
7	Is Mezzanine considered a Storey: □ Yes ■ No	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
8	Building Height (m): Ave. Grade: 0 m Height: 10 m	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
9	Number of Storeys: Above Grade: 1 Below Grade: 0	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
10	Number of Streets/Acc. Routes: 2	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
11	Building Classification: 3.2.2.80	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
12	Sprinkler System Proposed: □ Required ■ Not Required	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
13	Provided: □ Entire Building □ Selected Compartments □ Selected Floor Areas ■ None	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
14	Standpipe System Required: □ Yes ■ No	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
15	Fire Alarm System Required: □ Yes ■ No	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
16	Water Service/Supply is Adequate: □ Yes ■ No	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
17	High Building: □ Yes ■ No	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
18	Permitted Construction: □ Combustible ■ Non-Combustible	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
19	Actual Construction: □ Combustible ■ Non-Combustible	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
20	Occupant Load Based on: □ m ² /Person ■ Design of Building	3.2.1.5, 3.2.2.18, 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
GROUP F2: 14 Persons			
TOTAL OCCUPANT LOAD 14 Persons			
21	Barrier Free Design: ■ Yes □ No	3.8	3.8 & 9.5.2.
22	Explanation: Second floor area less than 600m ² and Bldg. not more than 2 storeys, BF to 2nd floor not required.	3.8.2.1 [1] (m)	



02 SITE PLAN
SCALE: 1 : 500

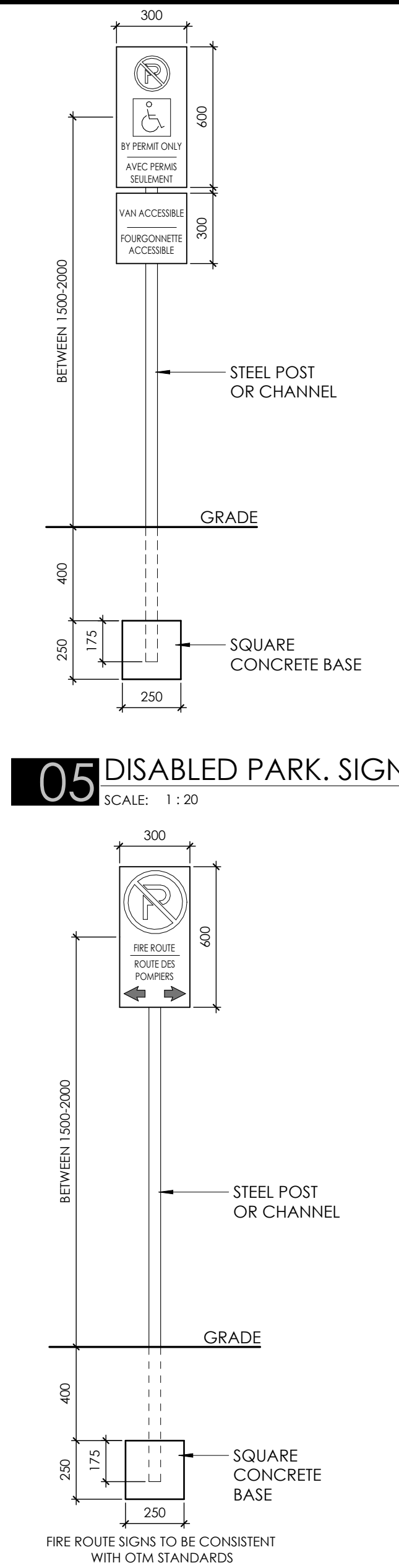


NOTES:
1. ALL WOOD COMPONENTS SHALL BE No.1, GRADE WESTERN CEDAR.
2. USE GALVANIZED FASTENERS AND HARDWARE THROUGHOUT.
3. ALL HEAVY DUTY GATE HINGES TO BE WELDED TO STEEL POSTS.
4. PROVIDE STAMPED SHOP DRAWINGS FOR REVIEW AND APPROVAL.
5. COORDINATE WITH STRUCTURAL FOR POSTS ANCHORING.

06 GARBAGE ENCLOSURE PLAN AND ELEVATION VIEW
SCALE: 1 : 40

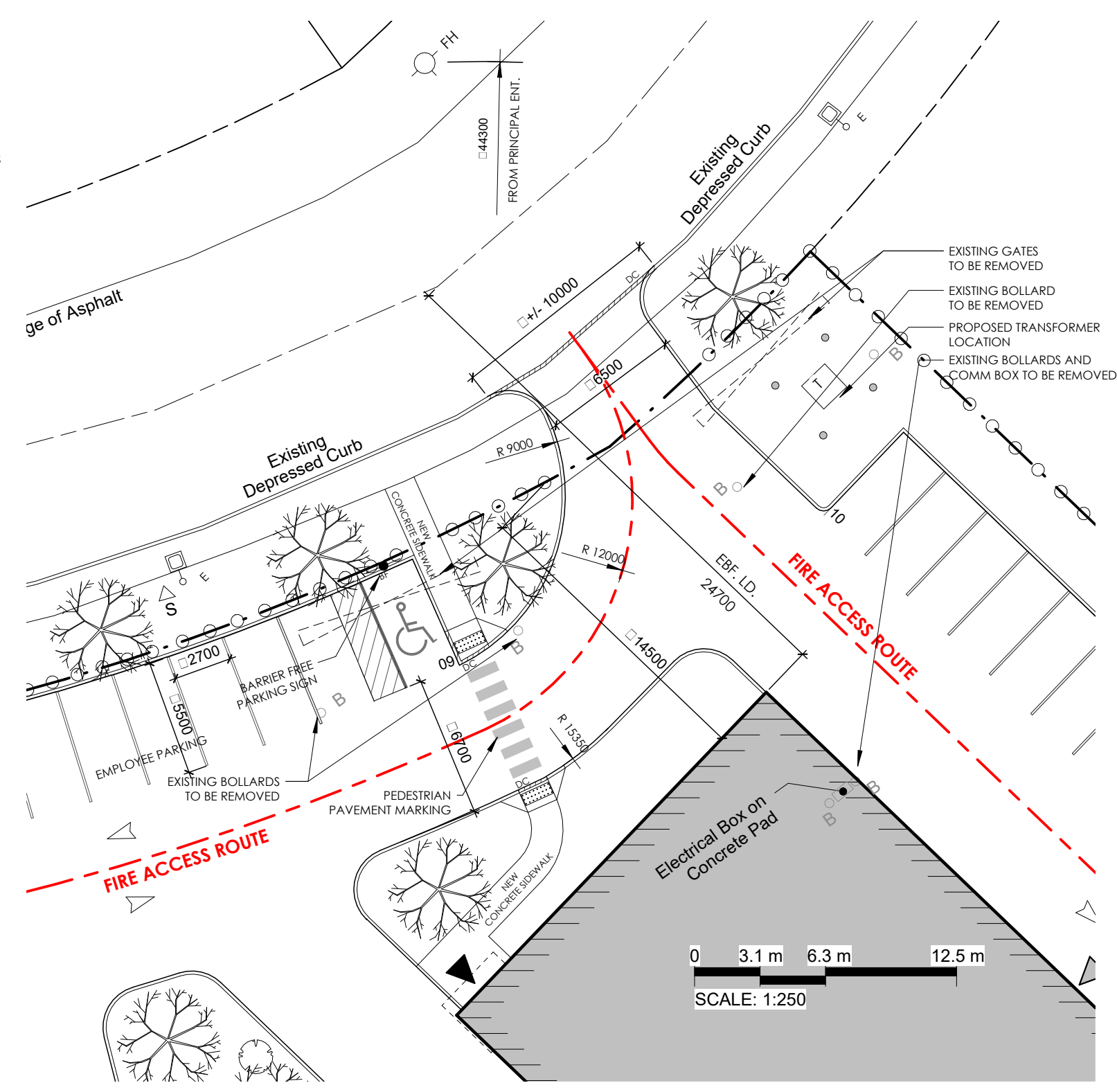
GENERAL NOTES
1. PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEY PLAN FROM FARLEY, SMITH & DENIS SURVEYING LTD. PREPARED BY EMAD ALREFAI ON MARCH 17/2023.
2. REFER TO LEGAL SURVEY FOR SITE SPECIFIC LEGAL INFORMATION.
3. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL SERVICES AND LANDSCAPE RELATED ITEMS.
4. ALL WALKWAYS TO BE ASPHALT UNLESS NOTED OTHERWISE.
5. ALL PARKING AREAS TO BE ASPHALT PAVED UNLESS NOTED OTHERWISE.
6. REFER TO CIVIL FOR COMPLETE GRADING INFORMATION.

0 5.6 m 11.3 m 22.5 m
SCALE: 1:450



05 DISABLED PARK. SIGN
SCALE: 1 : 20

04 FIRE ROUTE SIGN
SCALE: 1 : 20



03 ENLARGED SITE PLAN - ACCESS AREA
SCALE: 1 : 250

NO.	REVISION	DATE
1	ISSUED FOR SPA PRE-CONSULTATION	FEB 13, 2025
2	ISSUED FOR SITE PLAN APPLICATION	APR 23, 2025
3	ISSUED FOR 338 SET	MAY 14, 2025
4	REISSUED FOR SITE PLAN APPLICATION	JUN 25, 2025
5	REISSUED FOR SITE PLAN APPLICATION	JUL 29, 2025

LEGEND:

- MH MANHOLE - SANITARY AND STORM (SEE CIVIL) ('E' DENOTES EXISTING)
- CB CATCHBASIN (SEE CIVIL) ('E' DENOTES EXISTING)
- FH FIRE HYDRANT (SEE CIVIL) ('E' DENOTES EXISTING)
- U/P UTILITY POLE ('E' DENOTES EXISTING)
- S EXISTING STREET SIGN
- △ DENOTES BUILDING DESIGNATED EXIT
- △ DENOTES BUILDING ACCESS
- TYPICAL CURB (REFER: CITY STANDARDS)
- DEPRESSED CURB (REFER: CITY STANDARDS)
- PROPERTY LINE
- EXISTING PROPERTY LINE
- DESIGNATED BARRIER FREE PARKING SPACE
- NP NO PARKING SIGN
- BF BARRIER FREE PARKING SIGN
- FR FIRE ROUTE SIGN
- FR LIGHT STANDARD (SEE ELECT.) 'FR' DENOTES FIRE ROUTE SIGN ON POST
- FR LIGHT POST (SEE ELECT.)
- FR WALL SCENCE (SEE ELECT.)
- FR LIGHT POST WALL MOUNTED (SEE ELECT.)
- SI SIAMESE CONNECTION
- DS DOWNSPOUT
- EV ELECTRIC VEHICLE CHARGING STATION
- DI TACTILE WALKING SURFACE INDICATOR (TWSI)
- DI DIAGONAL PAINTED LINES
- T TRANSFORMER W/ BOLLARDS (SEE ELECT.)
- BOLLARDS AT PROPERTY LINE
- LP EXISTING LIGHT POLE
- TREES (TYPICAL)



Vandenberg & Wildeboer A • R • C • H • I • T • E • C • T • S	
www.vandenberg-wildeboer.ca • Telephone: 613.287.0144 • Facsimile: 613.271.8009 • info@vandenberg-wildeboer.ca • 1705 OLD STONE LODGE • 160 FLAMBOROUGH WAY • OTTAWA, ONTARIO • K2K 3H9 •	
PROJECT TITLE: TONY GRAHAM 2500 PREP SHOP UNIT 4, 2500 PALLADIUM DRIVE, OTTAWA, ON, K2V 1E2	
DRAWING TITLE: SITE PLAN	
DESIGNED BY: MW	A001
DRAWN BY: DV	
START DATE: 2025-02-13	
SCALE: As Indicated	
PROJECT NO. 2512	