

01 KEY PLAN

SCALE: 1:500

SITE STATISTICS			
LOT DESCRIPTION (CONDONIUM PROPERTY): PART OF LOT 2 CONCESSION 1, HUNTLLEY, PART 1 PLAN 4R19829. SUBJECT TO EASMENTS PER INT. NO. OC48613, OC49814, OC99810, OC161994 & OC175223.			
UNIT PROPERTY: UNIT 4, LEVEL 1, OTTAWA-CARLETON VACANT LAND CONDOMINIUM PLAN No. 690. PIN 15690-0017			
ZONING: GM22(2423) H(12) - GENERAL MIXED-USE ZONE TOTAL UNIT SITE AREA (m²): 19,022.80 m²			
ZONING MECHANISM	REQUIRED	PROVIDED	
MINIMUM LOT AREA	1800 m²	19,022.80 m²	
MINIMUM LOT WIDTH	30 m	126.66 m	
MINIMUM FRONT AND CORNER SIDE YARD SETBACKS	9 m	15 m	
MINIMUM INTERIOR SIDE YARD SETBACK	2 m	19.5 m	
MINIMUM REAR YARD SETBACK	7.5 m	38.5 m	
MINIMUM YARD SETBACK FROM HIGHWAY 417	14 m	38.5 m	
MINIMUM WIDTH OF LANDSCAPED AREA	NO MINIMUM, YARD LANDSCAPED	N/A	
MIN. WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT	3 m	3 m	
PARKING SPACE LOCATION	DEALERSHIP MAX. OF UP TO 25% OF RV MONITOR FOR VEHICLE DISPLAY, NOT CLOSER THAN 10 M FROM PUBLIC STREET	N/A	
MIN. 15% OF LANDSCAPED AREA OF PARKING LOT AREA	768 m²	898 m² (INCLUDING UNDERCOVERED LAND)	
MAXIMUM BUILDING HEIGHT	12 m	10 m	
PARKING CALCULATIONS			
FLOOR	OCCUPANCY	GFA	PARKING RATE REQUIRED
F2 - AUTOMOBILE DETAILING SHOP	920 m²	2 PER SERVICE BAY	26
TOTAL PARKING PROVIDED			
NOTE: PARKING PROVIDED IN SURPLUS OF THE 26 REQUIRED IS FOR COMPANY USE ONLY. NO CUSTOMERS IN THIS FACILITY.			
PARKING SPACE TYPE	REQUIRED	PROVIDED	
REGULAR PARKING SPACE DIMENSIONS	2.6 x 5.2 m	2.7 x 5.5 m	
ACCESSIBLE PARKING SPACE (BY AODA)	TYPE A: 3.45 x 5.2 m TYPE B: 2.4 x 5.2 m	TYPE A: 0 TYPE B: 1	
MINIMUM AISLE WIDTH	6.7 m	6.7 m	
BICYCLE PARKING RATES			
BICYCLE PARKING SPACES	1 per 50 m² GFA	2	3

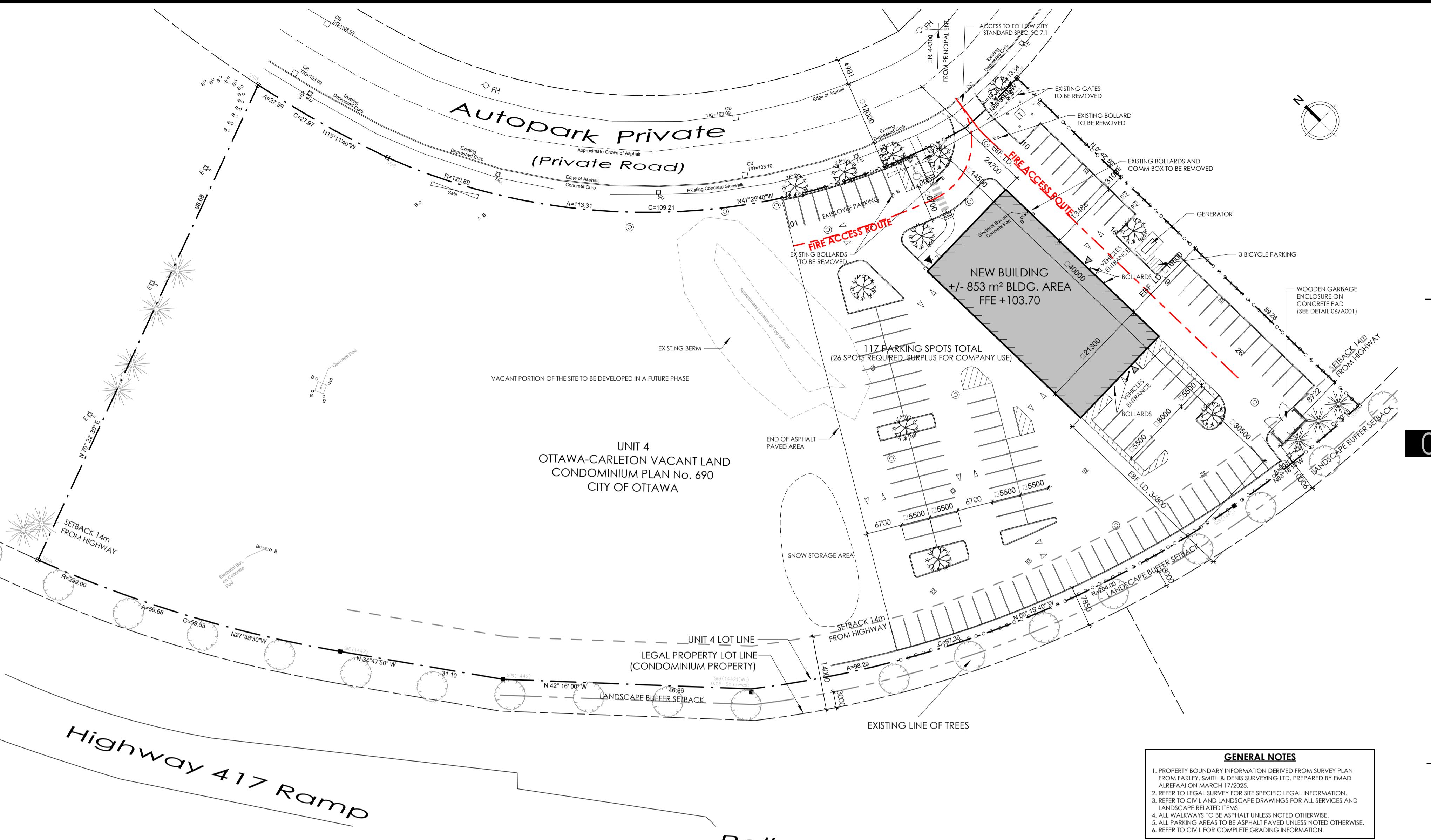
Firm's name: Vandenberg & Wildeboer Architects Inc.

Firm's info: 160 Flamborough Way
Kanata, Ontario, K2K 3H9
613.287.0144

Project Name: TONY GRAHAM MOTORS 2500 PREP SHOP
Project Location: 2500 Palladium Dr., Ottawa, ON, Canada K2V 1E2

NOTES: THE ARCHITECT NOTED ABOVE HAS EXERCISED RESPONSIBILITY WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECT'S SEAL NUMBER IS THE ARCHITECT'S BCIN.

Item	Ontario Building Code Data Matrix Parts 3 & 9	
1	Project Description ■ New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Part 11 □ Addition and Renovation <input type="checkbox"/> Alteration <input type="checkbox"/> Change of Use	Part 3 1.3.3.2.[A] 1.3.3.3.[A] 9.10.1.3.
2	Major Occupancy(ies) GROUP F2 - AUTOMOBILE DETAILING SHOP	3.1.2.1.[1] 9.10.2.
3	Superimposed Major Occupancies: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.2.7 9.10.2.3.
4	Building Area (m²): Existing: --- m² New: 853 m² Total: 853 m²	1.1.3.[A] 1.4.1.2.[A] (same)
5	Mezzanine Area (m²): Existing: --- m² New: 75 m² Total: 75 m²	3.2.1.1.[3] to [8] 9.10.4.1.
6	Is Mezzanine considered a Storey: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	1.1.3.[A] 1.4.1.2.[A] & 9.10.4.
7	Building Height (m): Ave. Grade: 0 m Height: 10 m	1.1.3.[A] 1.4.1.2.[A] & 9.10.4.
8	Number of Stories/Acc. Routes: 2	1.1.3.[A] & 3.2.2.1.1. (some) 3.2.2.1.0 to 3.2.2.5.5 9.10.20.
9	Building Classification: 3.2.2.20-93	3.2.2.20-93 9.10.2
10	Sprinkler System Proposed: <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required Provided: <input type="checkbox"/> Entire Building <input type="checkbox"/> Selected Components <input type="checkbox"/> Basement Only <input type="checkbox"/> Unfinished Floor Areas <input type="checkbox"/> None	3.2.2.20-93 3.2.1.5. 3.2.2.1.8. 3.2.8.3. 3.2.4. 3.2.5. 9.10.1.8
11	Standpipe System Required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.5.8 to 11 9.10.1.3. (8)
12	Fire Alarm System Required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4. 9.10.18
13	Water Service/Supply Adequate: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	3.2.5.7. 9.31.3
14	High Building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6. N/A
15	Permitted Construction: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input checked="" type="checkbox"/> Both Actual Construction: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input checked="" type="checkbox"/> Both	3.1.5, 3.1.4.7 & 3.2.2.20-93 9.10.2, 9.10.6
16	Occupant Load Based on: <input type="checkbox"/> m²/Person <input type="checkbox"/> Design of Building	3.1.17. 9.1.3, 9.1.6. Table 3.1.17.1
GROUP F2: 14 Persons		TOTAL OCCUPANT LOAD: 14 Persons
TOTAL OCCUPANT LOAD: 14 Persons		
17	Barrier Free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: Second Floor area less than 600m² and Bldg. not more than 2 storeys, Bf to 2nd floor not required.	3.8 3.8 & 9.5.2. 3.8.2.1.1(m)



02 SITE PLAN

SCALE: 1:500

03 ENLARGED SITE PLAN - ACCESS AREA

04 FIRE ROUTE SIGN

SCALE: 1:20

05 DISABLED PARK. SIGN

SCALE: 1:20

06 GARBAGE ENCLOSURE PLAN AND ELEVATION VIEW

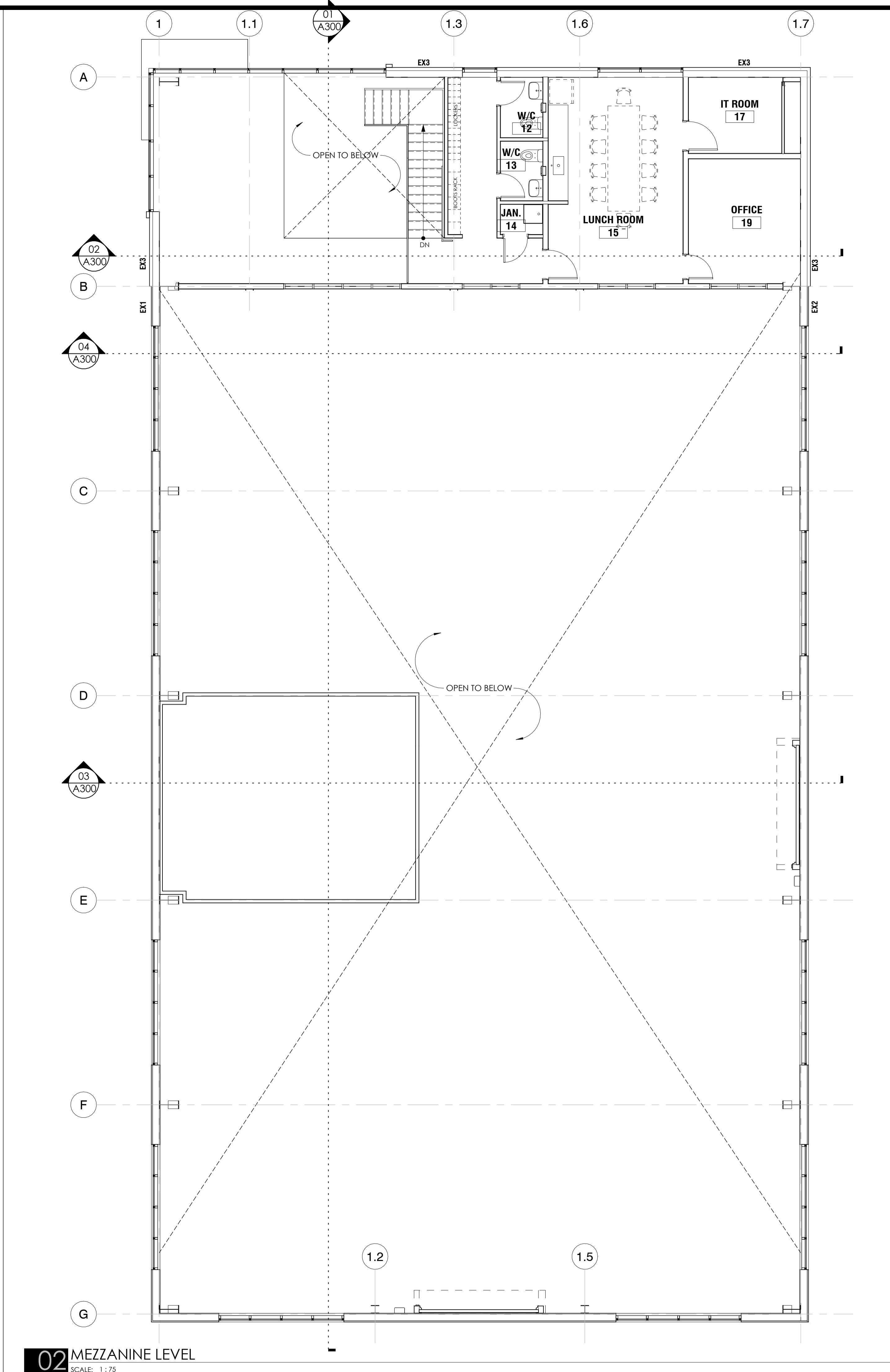
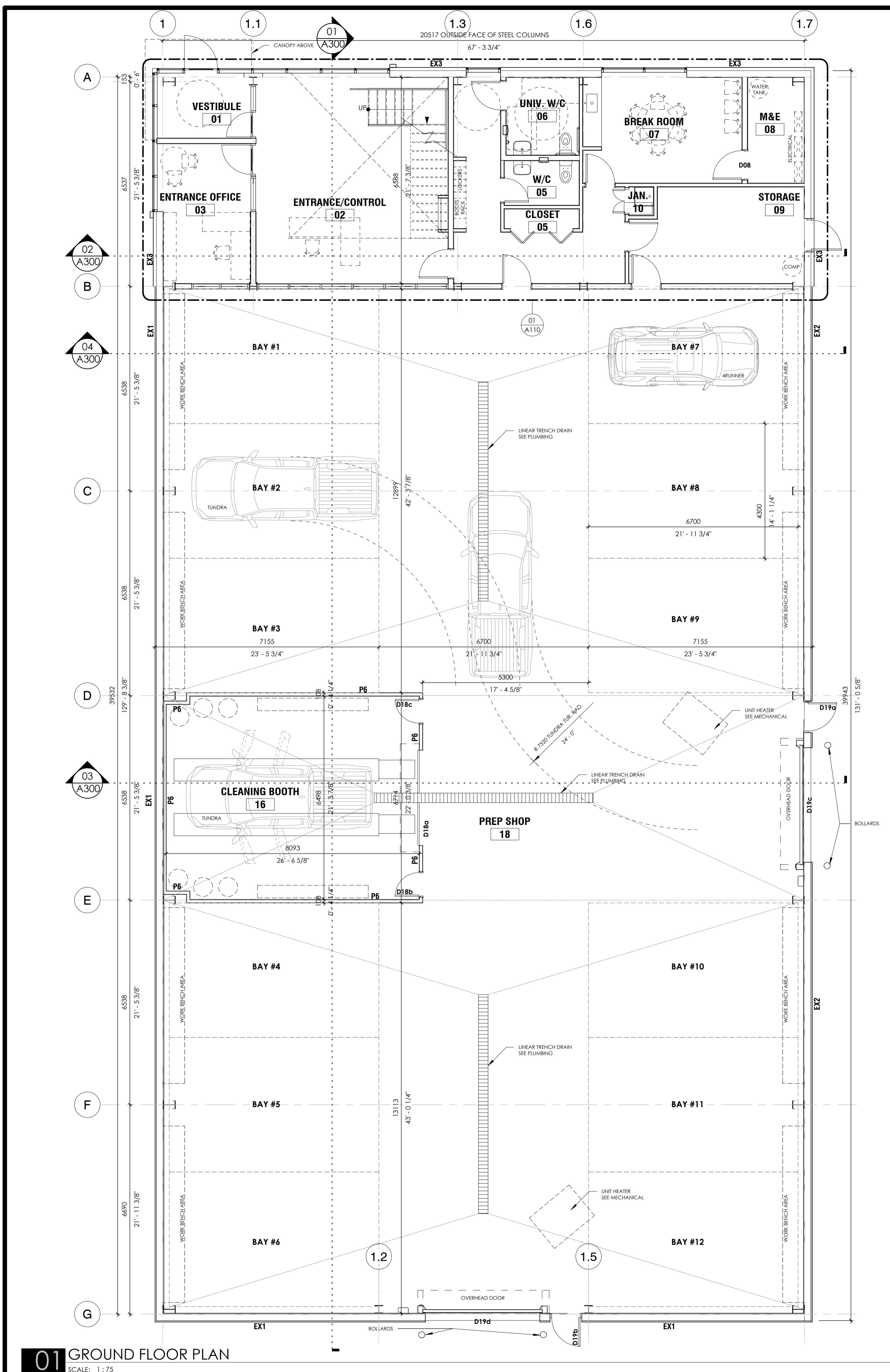
SCALE: 1:40

NO.	REVISION	DATE
1	ISSUED FOR SPA PRE-CONSULTATION	FEB 13, 2025
2	ISSUED FOR SITE PLAN APPLICATION	APR 23, 2025
3	ISSUED FOR 335 SET	MAY 14, 2025
4	REISSUED FOR SITE PLAN APPLICATION	JUN 25, 2025
5	REISSUED FOR SITE PLAN APPLICATION	JUL 29, 2025
6	REISSUED FOR SITE PLAN APPLICATION COMMENTS	AUG 25, 2025

LEGEND:

	MANHOLE - SANITARY AND STORM (SEE CIVIL) ('E' DENOTES EXISTING)
	CATCHBASIN (SEE CIVIL) ('E' DENOTES EXISTING)
	FIRE HYDRANT (SEE CIVIL) ('E' DENOTES EXISTING)
	UTILITY POLE ('E' DENOTES EXISTING)
	EXISTING STREET SIGN
	DENOTES BUILDING DESIGNATED EXIT
	DENOTES BUILDING ACCESS
	TYPICAL CURB (REFER: CITY STANDARDS)
	DEPRESSED CURB (REFER: CITY STANDARDS)
	PROPERTY LINE
	EXISTING PROPERTY LINE
	DESIGNATED BARRIER FREE PARKING SPACE
	NO PARKING SIGN
	BARRIER FREE PARKING SIGN
	FIRE ROUTE SIGN
	LIGHT STANDARD (SEE ELECT.) 'FR' DENOTES FIRE ROUTE SIGN ON POST
	LIGHT POST (SEE ELECT.)
	WALL SCONCE (SEE ELECT.)
	LIGHT POST WALL MOUNTED (SEE ELECT.)
	SIAMESE CONNECTION
	DOWNSPOUT
	ELECTRIC VEHICLE CHARGING STATION
	TACTILE WALKING SURFACE INDICATOR (TWS)
	DIAGONAL PAINTED LINES
	TRANSFORMER W/ BOLLARDS (SEE ELECT.)
	BOLLARDS AT PROPERTY LINE
	EXISTING LIGHT POLE
	TREES (TYPICAL)
	ONTARIO ASSOCIATION OF ARCHITECTS CONSTRUCTION
	Vandenberg & Wildeboer ARCHITECTS
	Telephone: 613.287.0144 Facsimile: 613.271.4609 Email: vandenberg@vandenberg.ca
	*THE OLD STORE LOU 613.287.0144
	TONY GRAHAM 2500 PREP SHOP
	UNIT 4, 2500 PALLADIUM DRIVE, OTTAWA, ON, K2V 1E2
	SITE PLAN
	DESIGNED BY: MW
	DRAWN BY: DV
	START DATE: 2025-02-13
	SCALE: As Indicated
	PROJECT NO.: 2512

A001



NO.	REVISION	DATE
1	ISSUED FOR CLIENT REVIEW	FEB 25, 2025
2	ISSUED FOR CLIENT REVIEW	MAR 31, 2025
3	ISSUED FOR SITE PLAN APPLICATION	APR 23, 2025
4	ISSUED FOR 33% SET	MAY 14, 2025
5	REISSUED FOR SITE PLAN APPLICATION	JUN 25, 2025
6	REISSUED FOR SITE PLAN APPLICATION COMMENTS	AUG 25, 2025

PROJECT TITLE: TONY GRAHAM 2500 PREP SHOP
UNIT 4, 2500 PALLADIUM DRIVE, OTTAWA, ON, K2B 1E2

DRAWING TITLE: FLOOR PLANS

DESIGNED BY: Designer
DRAWN BY: Author
START DATE: 2025-02-13
SCALE: 1:75
PROJECT NO.: 2512

2025-08-25 10:12:52 AM

ONTARIO ASSOCIATION OF ARCHITECTS
MALCOLM WILDEBOER LICENCE 6685

Vandenberg & Wildeboer ARCHITECTS
www.vwarchitects.ca Telephone: 613.287.0144 Facsimile: 613.271.4609 mail@vwarchitects.ca
THE OLD STORE LODGE • 100 RAMBOWOOD WAY • OTTAWA (ONTARIO) • K2B 3H9

CITY OF OTTAWA: FILE NUMBER: D07-12-25-0090
- PLAN NUMBER #19348

