

01 KEY PLAN
SCALE: 1 : 5000

SITE STATISTICS			
LOT DESCRIPTION (CONDOMINIUM PROPERTY): PART OF LOT 2 CONCESSION 1, HUNTLEY, PART 1 PLAN 4R19829, SUBJECT TO EASEMENTS PER PERM NO. CC-048613, CC-048614, CC-048615, CC-048616 & CC-048617.			
UNIT PROPERTY: UNIT 4, LEVEL 1, OTTAWA-CARLETON VACANT LAND CONDOMINIUM PLAN No. 690, PIN 15690-0017			
ZONING: GM22(2423) H(12) - GENERAL MIXED-USE ZONE TOTAL UNIT SITE AREA (m ²): 19,022.80 m²			
ZONING MECHANISM	REQUIRED	PROVIDED	
MINIMUM LOT AREA	1800 m ²	19,022.80 m ²	
MINIMUM LOT WIDTH	30 m	126.46 m	
MINIMUM FRONT AND CORNER SIDE YARD SETBACKS	9 m	15 m	
MINIMUM INTERIOR SIDE YARD SETBACK	2 m	19.5 m	
MINIMUM REAR YARD SETBACK	7.5 m	38.5 m	
MINIMUM YARD SETBACK FROM HIGHWAY 417	14 m	38.5 m	
MINIMUM WIDTH OF LANDSCAPED AREA	NO MINIMUM, YARD LANDSCAPED	N/A	
MIN. WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT	3 m	3 m	
PARKING SPACE LOCATION	DEVELOPER MAY USE UP TO 25% OF FSI PROPORTION FOR VEHICLE SURFACE NOT CLOSER THAN 1.5m FROM PUBLIC STREET	N/A	
MIN. USE OF LANDSCAPED AREA OF PARKING LOT AREA (PARKING LOT AREA = 5,122m ²)	768 m ²	898 m ² (NOT COUNTING UNDEVELOPED LAND)	
MAXIMUM BUILDING HEIGHT	12 m	10 m	
PARKING CALCULATIONS			
FLOOR	OCCUPANCY	GFA	PARKING RATE REQUIRED
F2 - AUTOMOBILE DETAILING SHOP		920 m ²	2 PER SERVICE BAY
			26
			117
NOTE: PARKING PROVIDED IN SURPLUS OF THE 26 REQUIRED IS FOR COMPANY USE ONLY. NO CUSTOMERS IN THIS FACILITY.			
PARKING SPACE TYPE	REQUIRED	PROVIDED	
REGULAR PARKING SPACE DIMENSIONS	2.4 x 5.2 m	2.7 x 5.5 m	
ACCESSIBLE PARKING SPACE (BY ACDA)	TYPE A3: 46.2 m TYPE B2: 46.2 m	TYPE A3: 46.2 m TYPE B2: 46.2 m	
MINIMUM ASLE WIDTH	6.7 m	6.7 m	
BICYCLE PARKING RATES			
BICYCLE PARKING SPACES	REQUIRED	PROVIDED	
1 per 500 m ² of GFA	2	3	

Firm's name:

Vandenberg & Wildeboer Architects Inc.

Firm's Info:

160 Flamborough Way
Kanata, Ontario, K2K 3H9
613.287.0144

Project Name:

TONY GRAHAM MOTORS 2500 PREP SHOP

Project Location:

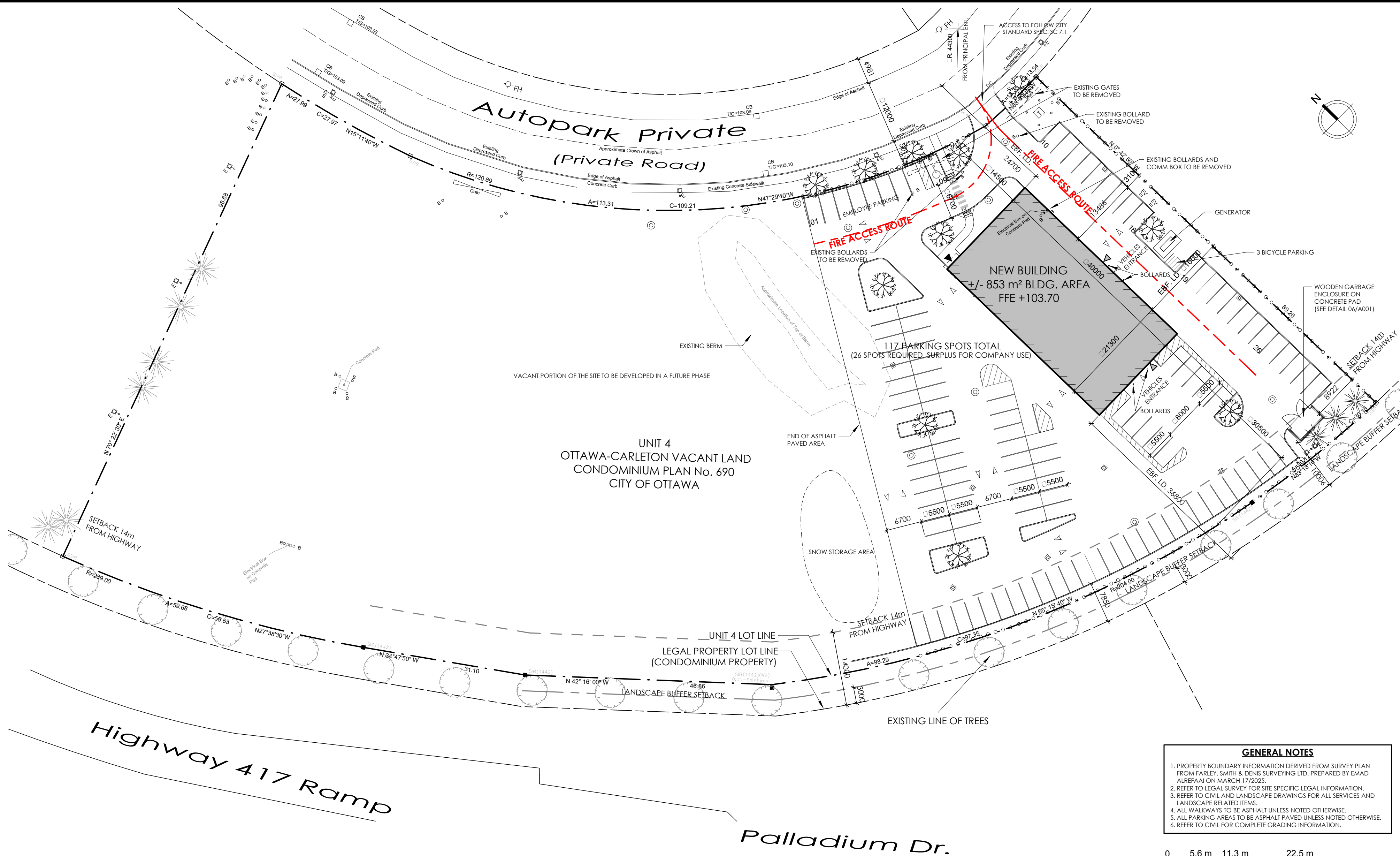
2500 Palladium Dr.,
Ottawa, ON, Canada K2V 1E2

NOTES: THE ARCHITECT NOTED ABOVE HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECT'S SEAL NUMBER IS THE ARCHITECT'S BCIN.

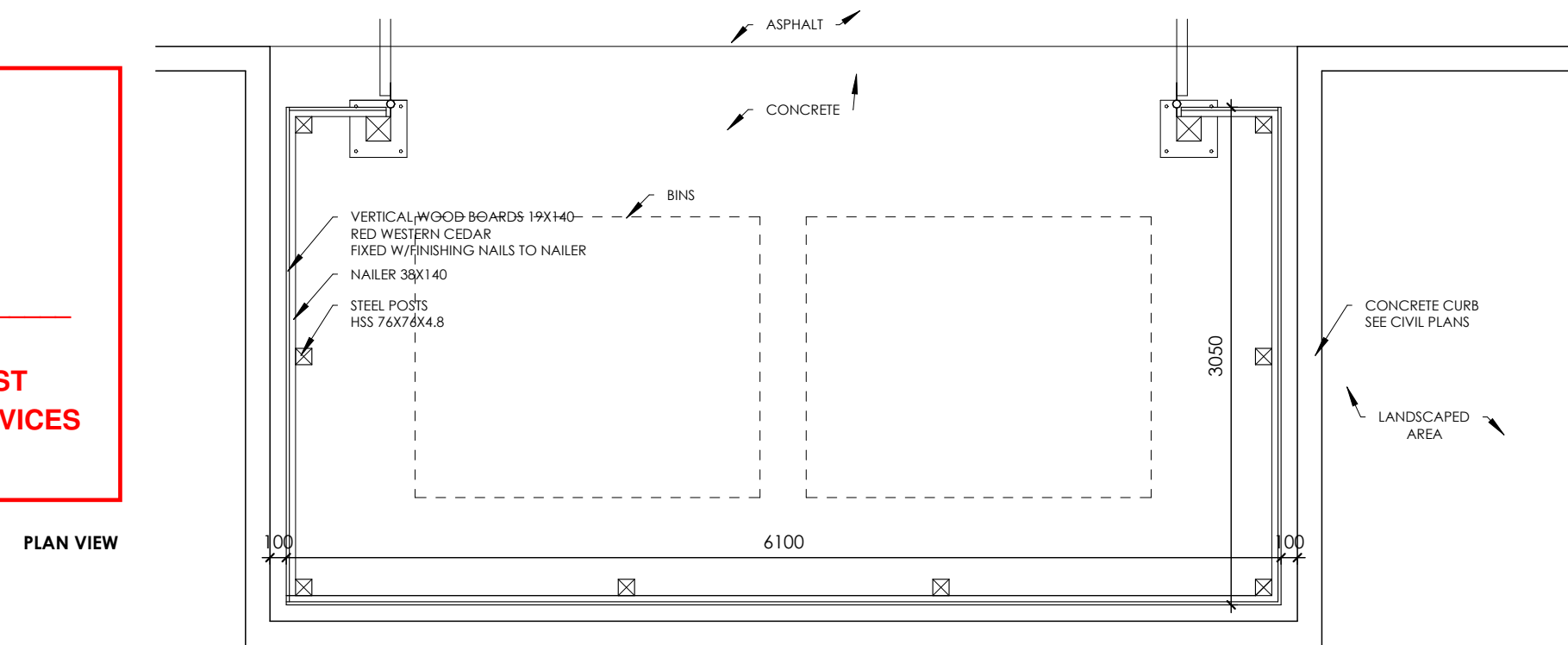
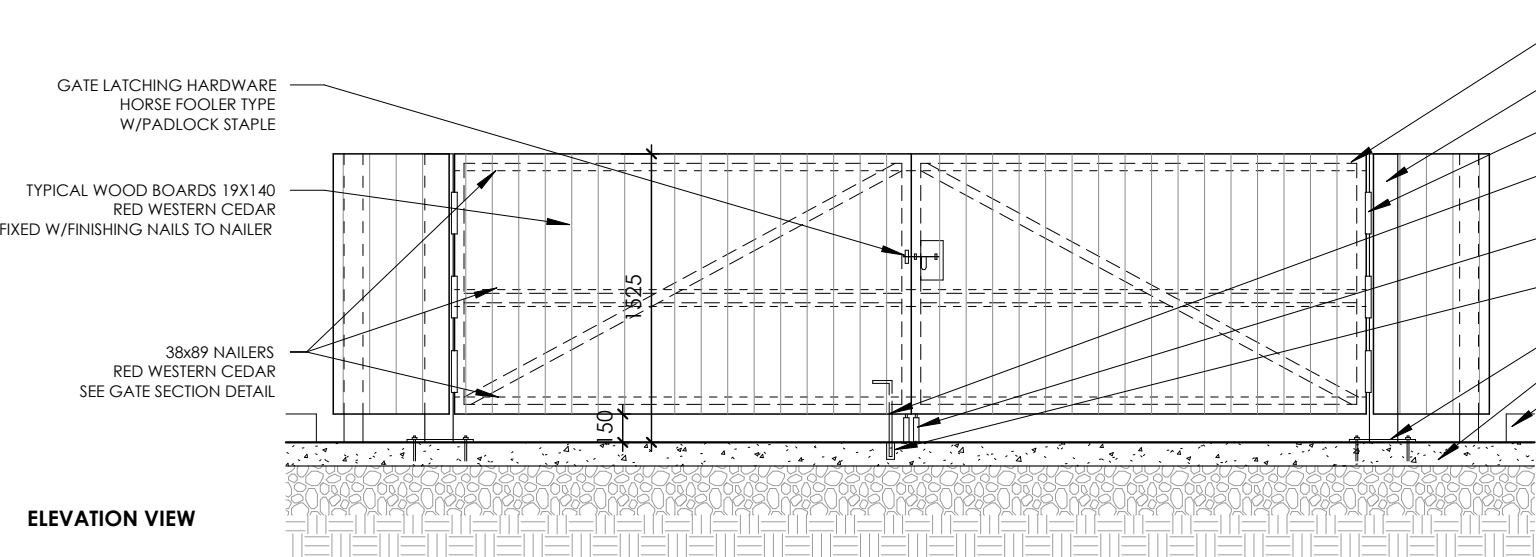
2024 OBC O. Reg. 136/24 Last Amend. O. Reg. 447/24
References are to Division 9 unless noted
(R) for Division 9 or (C) for Division C.

Ontario Building Code Data Matrix Parts 3 & 9

Item	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17
Project Description	■ New Construction ■ Addition and Renovation	□ Addition □ Alteration	□ Renovation □ Change of Use	■ Part 3 1.3.3.2.[A]	■ Part 9 1.3.3.3[A] 9.10.1.3.												
Description: New 1 Storey Detailing Prep Shop Building																	
Major Occupancy(ies): GROUP F2 - AUTOMOBILE DETAILING SHOP																	
Superimposed Major Occupancies: Description:	□ Yes ■ No																
Building Area (m ²):	Existing: — m ² New: 853 m ² Total: 853 m ²	Existing: — m ² New: 75 m ² Total: 75 m ²	Existing: — m ² New: 75 m ² Total: 75 m ²	1.1.3.[A], 1.4.1.2.[A]	1.1.3.[A], 1.4.1.2.[A]	(some)											
Mezzanine Area (m ²): Is Mezzanine considered a Storey:	Existing: — m ² New: 75 m ² Total: 75 m ²	Existing: — m ² New: 75 m ² Total: 75 m ²	Existing: — m ² New: 75 m ² Total: 75 m ²	3.2.1.1.[B] to [E]	3.2.1.1.[B] to [E]	9.10.4.1.											
Building Height (m): Ave. Grade: 0 m Height: 10 m	Ave. Grade: 0 m Height: 10 m	Ave. Grade: 0 m Height: 10 m	Ave. Grade: 0 m Height: 10 m	1.1.3.[A], 1.4.1.2.[A]	1.1.3.[A], 1.4.1.2.[A]	9.10.4.1											
Number of Storeys: Above Grade: 1 Below Grade: 0	Above Grade: 1 Below Grade: 0	Above Grade: 1 Below Grade: 0	Above Grade: 1 Below Grade: 0	1.1.3.2.[A] & 3.2.1.1.	1.1.3.2.[A] & 3.2.1.1.	9.10.2											
Number of Streets/Acc. Routes:	2	2	2	3.2.2.10 & 3.2.5.5.	3.2.2.10 & 3.2.5.5.	(some)											
Building Classification:	3.2.2.80	3.2.2.80	3.2.2.80	3.2.2.20-93	3.2.2.20-93	3.2.4.7 & 9.10.8.2 to 4											
Sprinkler System Proposed: □ Required ■ Not Required	Provided:	Provided:	Provided:	3.2.1.5.	3.2.1.5.	3.2.8.3.											
□ Entire Building □ Basement Only	□ Selected Compartments □ Selected Floor Areas	□ Selected Compartments □ Selected Floor Areas	□ Selected Compartments □ Selected Floor Areas	3.2.8.3.	3.2.8.3.	3.2.8.3.											
Standpipe System Required: □ Yes ■ No	□ Yes ■ No	□ Yes ■ No	□ Yes ■ No	3.2.5.8 to 11	3.2.5.8 to 11	9.10.1.3 [B]											
Fire Alarm System Required: □ Yes ■ No	□ Yes ■ No	□ Yes ■ No	□ Yes ■ No	3.2.4.	3.2.4.	9.10.18											
Water Service/Supply is Adequate: □ Yes ■ No	□ Yes ■ No	□ Yes ■ No	□ Yes ■ No	3.2.5.7.	3.2.5.7.	9.10.31											
High Building: □ Yes ■ No	□ Yes ■ No	□ Yes ■ No	□ Yes ■ No	3.2.6.	3.2.6.	N/A											
Permitted Construction: □ Combustible Actual Construction: □ Combustible	□ Combustible □ Combustible	□ Combustible □ Combustible	□ Non-Combustible □ Non-Combustible	3.2.2.20-93	3.2.2.20-93	3.1.5, 3.1.4.7 & 9.10.2, 9.10.6											
Occupant Load Based on: □ m ² /Person ■ Design of Building	□ m ² /Person ■ Design of Building	□ m ² /Person ■ Design of Building	□ m ² /Person ■ Design of Building	3.1.17.	3.1.17.	9.9.1.3 & Table 3.1.1.7											
GROUP F2: 14 Persons																	
TOTAL OCCUPANT LOAD 14 Persons																	
Barrier Free Design: □ Yes ■ No	□ Yes ■ No	□ Yes ■ No	□ Yes ■ No	3.8	3.8	3.8 & 9.5.2.											
Explanation: Second Floor Area less than 600m ² and Bldg. not more than 2 storeys, BF to 2nd floor not required.	3.8.2.1.(1)(m)																



02 SITE PLAN
SCALE: 1 : 500

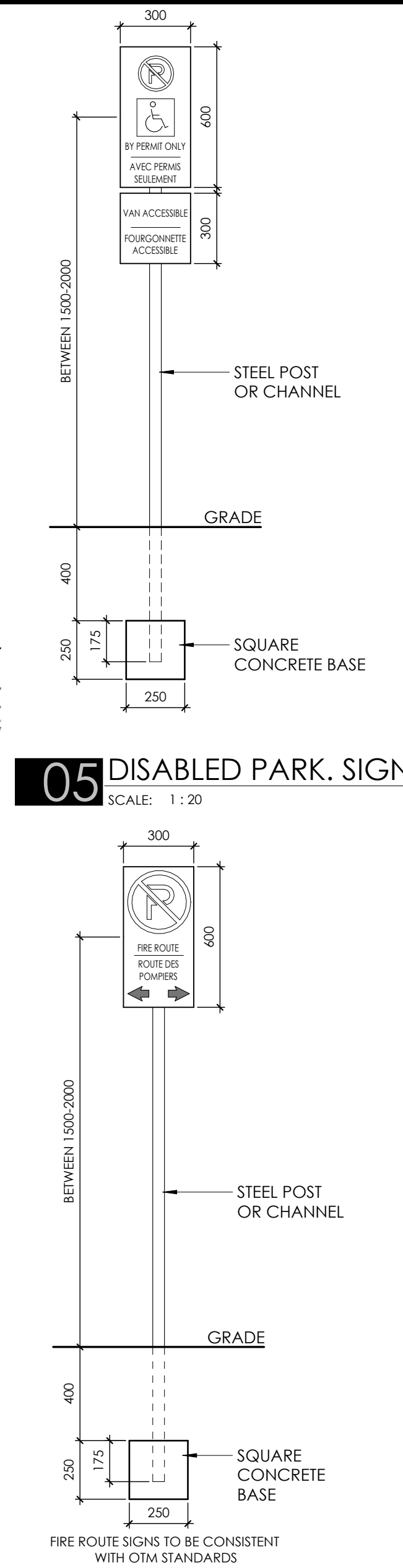


NOTES:
1. ALL WOOD COMPONENTS SHALL BE No.1, GRADE WESTERN CEDAR.
2. USE GALVANIZED FASTENERS AND HARDWARE THROUGHOUT.
3. ALL HEAVY DUTY GATE HINGES TO BE WELDED TO STEEL POSTS.
4. PROVIDE STAMPED SHOP DRAWINGS FOR REVIEW AND APPROVAL.
5. COORDINATE WITH STRUCTURAL FOR POSTS ANCHORING.

06 GARBAGE ENCLOSURE PLAN AND ELEVATION VIEW
SCALE: 1 : 40

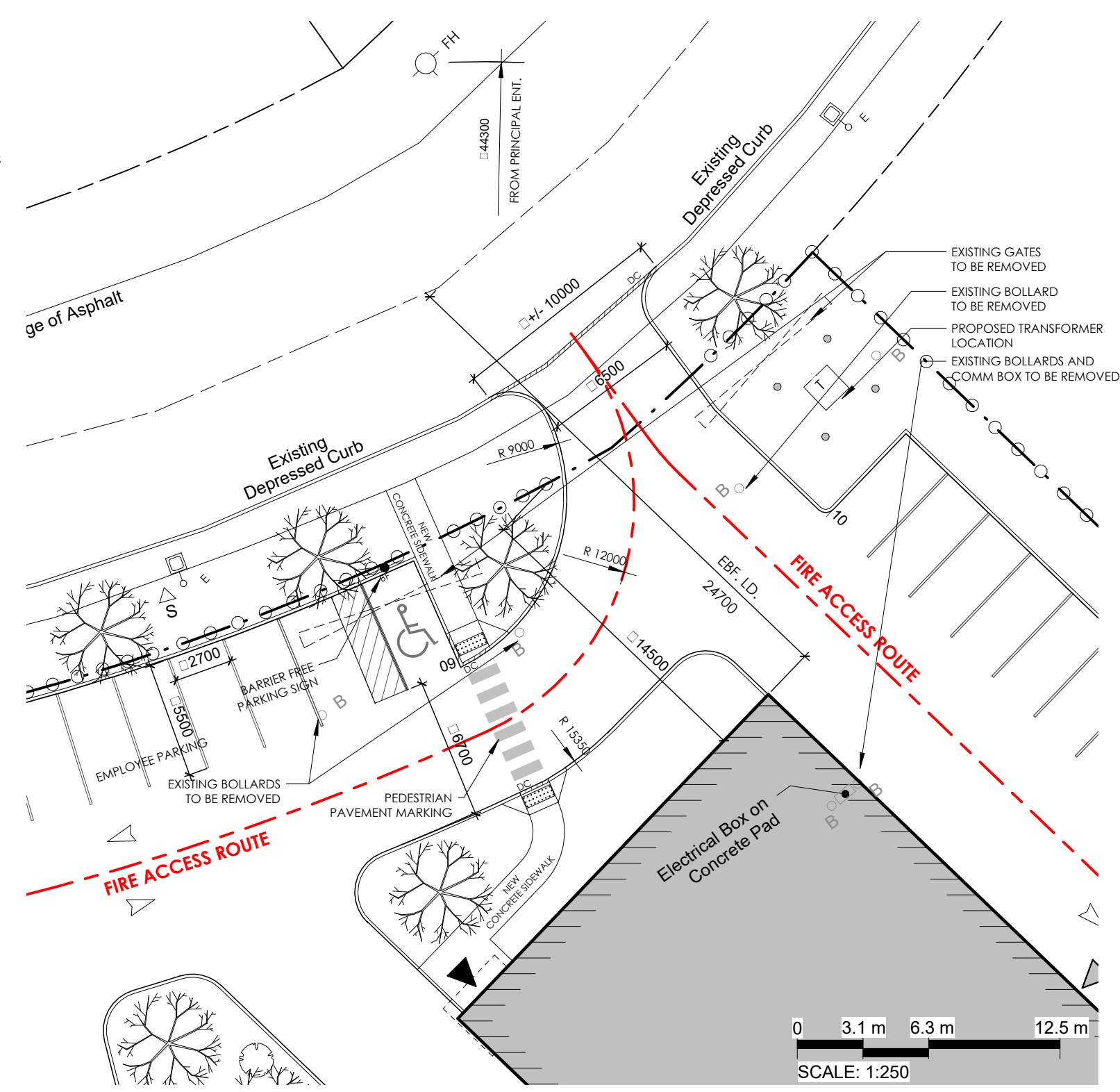
GENERAL NOTES
1. PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEY PLAN FROM FARLEY, SMITH & DENIS SURVEYING LTD. PREPARED BY EMAD ALREMAN ON MARCH 17/2025.
2. REFER TO LEGAL SURVEY FOR SITE SPECIFIC LEGAL INFORMATION.
3. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL SERVICES AND LANDSCAPE RELATED ITEMS.
4. ALL WALKWAYS TO BE ASPHALT UNLESS NOTED OTHERWISE.
5. ALL PARKING AREAS TO BE ASPHALT PAVED UNLESS NOTED OTHERWISE.
6. REFER TO CIVIL FOR COMPLETE GRADING INFORMATION.

0 5.6 m 11.3 m 22.5 m
SCALE: 1:450



05 DISABLED PARK. SIGN
SCALE: 1 : 20

04 FIRE ROUTE SIGN
SCALE: 1 : 20



03 ENLARGED SITE PLAN - ACCESS AREA
SCALE: 1 : 250

NO.	REVISION	DATE
1	ISSUED FOR SPA PRE-CONSULTATION	FEB 13, 2025
2	ISSUED FOR SITE PLAN APPLICATION	APR 23, 2025
3	ISSUED FOR 338 SET	MAY 14, 2025
4	REISSUED FOR SITE PLAN APPLICATION	JUN 25, 2025
5	REISSUED FOR SITE PLAN APPLICATION	JUL 29, 2025
6	REISSUED FOR SITE PLAN APPLICATION	AUG 25, 2025
	COMMENTS	

LEGEND:

- MH MANHOLE - SANITARY AND STORM (SEE CIVIL) ('E' DENOTES EXISTING)
- CB CATCHBASIN (SEE CIVIL) ('E' DENOTES EXISTING)
- FH FIRE HYDRANT (SEE CIVIL) ('E' DENOTES EXISTING)
- U/P UTILITY POLE ('E' DENOTES EXISTING)
- S EXISTING STREET SIGN
- △ DENOTES BUILDING DESIGNATED EXIT
- △ DENOTES BUILDING ACCESS
- △ TYPICAL CURB (REFER: CITY STANDARDS)
- △ DEPRESSED CURB (REFER: CITY STANDARDS)
- PROPERTY LINE
- EXISTING PROPERTY LINE
- DESIGNATED BARRIER FREE PARKING SPACE
- NP NO PARKING SIGN
- BF BARRIER FREE PARKING SIGN
- FR FIRE ROUTE SIGN
- FR LIGHT STANDARD (SEE ELECT.) 'FR' DENOTES FIRE ROUTE SIGN ON POST
- LIGHT POST (SEE ELECT.)
- WALL SCOFF (SEE ELECT.)
- LIGHT POST WALL MOUNTED (SEE ELECT.)
- SIAMESE CONNECTION
- DOWNSPOUT
- EV ELECTRIC VEHICLE CHARGING STATION
- TACTILE WALKING SURFACE INDICATOR (TWSI)
- DIAGONAL PAINTED LINES
- TRANSFORMER W/ BOLLARDS (SEE ELECT.)
- BOLLARDS AT PROPERTY LINE
- EXISTING LIGHT POLE
- TREES (TYPICAL)



Vandenberg & Wildeboer
A R C H I T E C T S

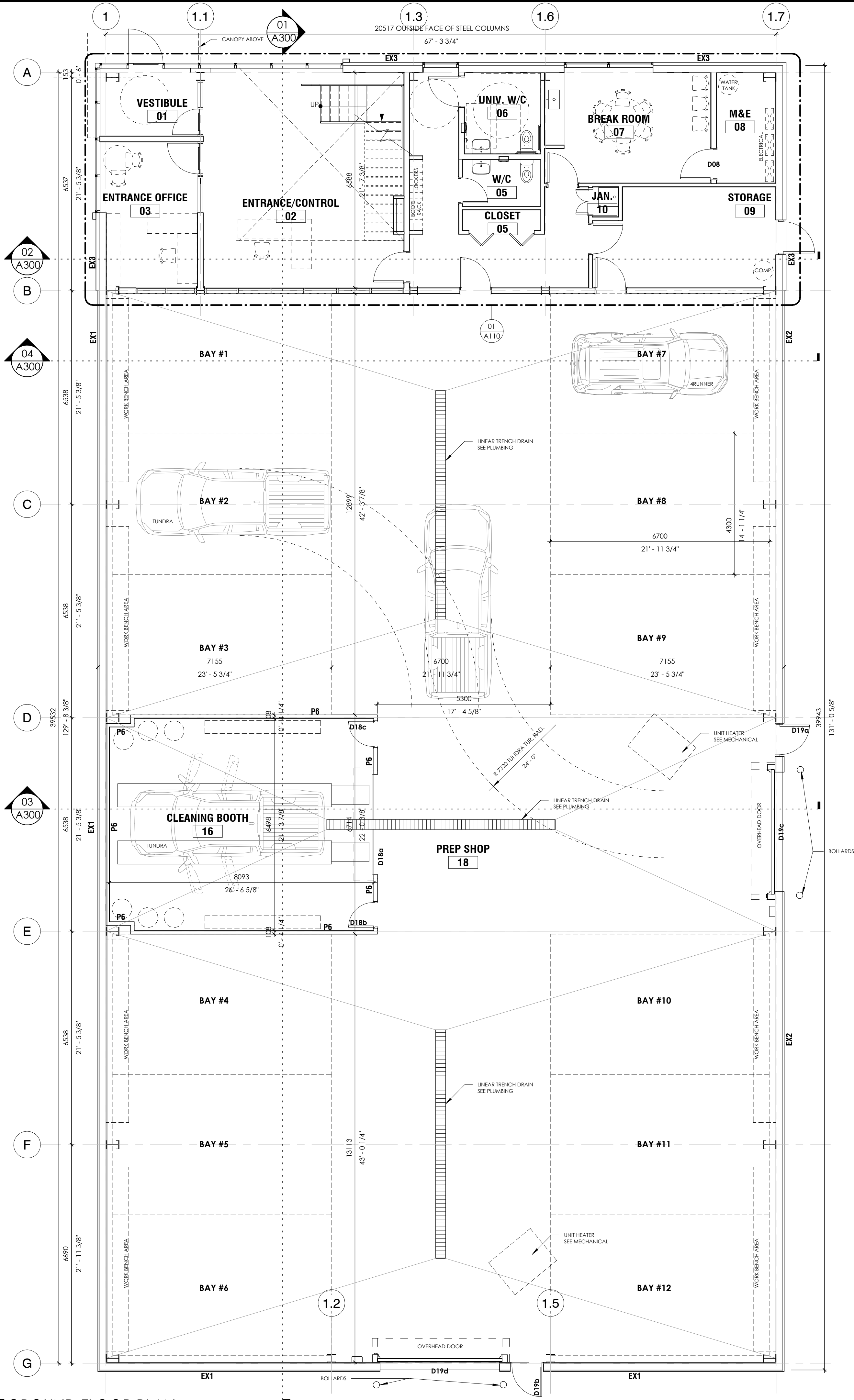
www.vandenberg-wildeboer.com • Telephone: 613.287.0144 • Facsimile: 613.271.8009 • mobile@vandenberg-wildeboer.com • 1785 OLD STONE LODGE • 160 FLAMBOROUGH WAY • OTTAWA, ONTARIO • K2K 3H9 •

PROJECT TITLE:
TONY GRAHAM 2500 PREP SHOP
UNIT 4, 2500 PALLADIUM DRIVE, OTTAWA, ON, K2V 1E2

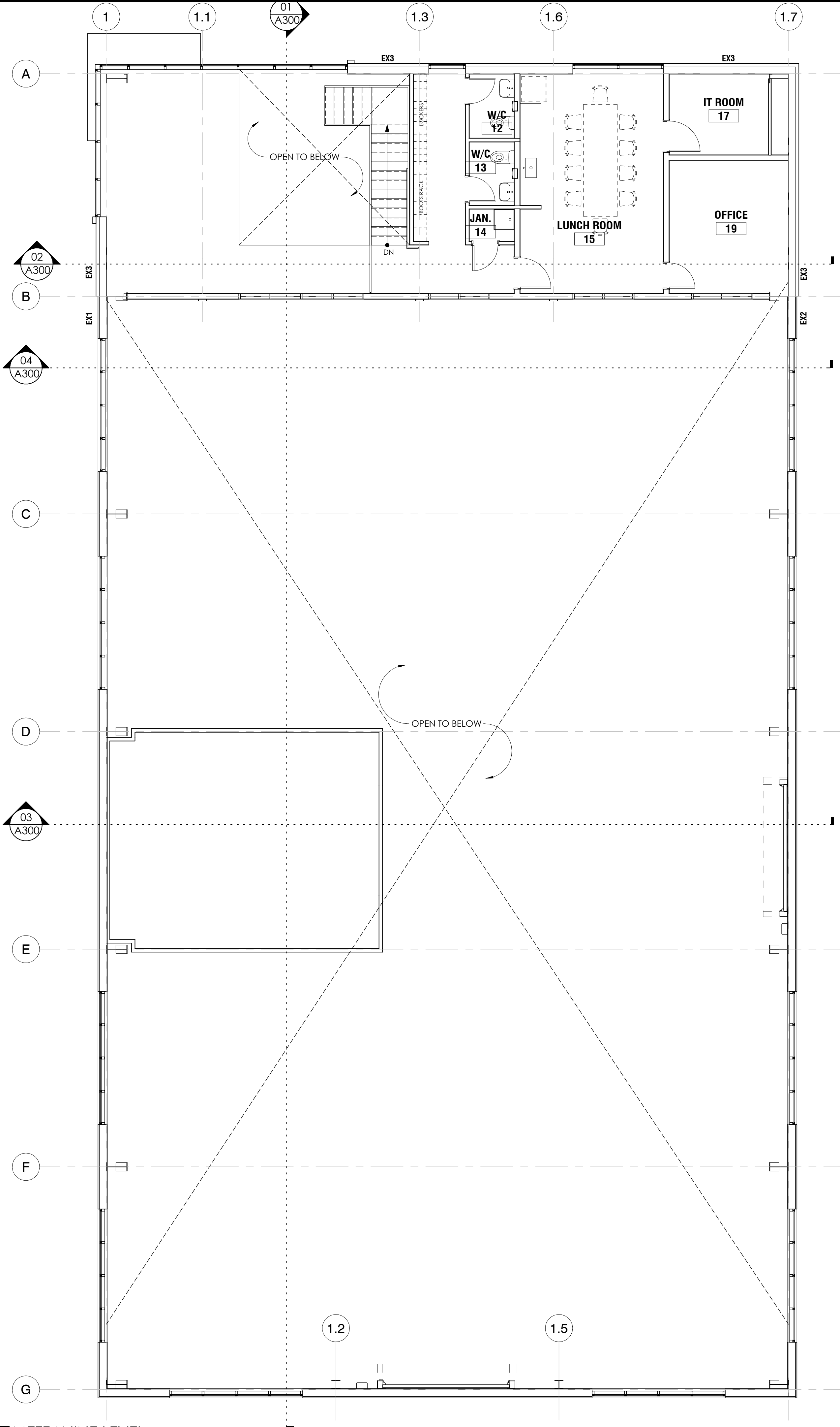
DRAWING TITLE:
SITE PLAN

DESIGNED BY: MW
DRAWN BY: DV
START DATE: 2025-02-13
SCALE: As indicated
PROJECT NO. 2512

A001

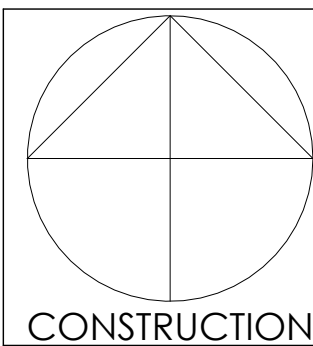


01 GROUND FLOOR PLAN
SCALE: 1 : 75



02 MEZZANINE LEVEL
SCALE: 1 : 75

NO.	REVISION	DATE
1	ISSUED FOR CLIENT REVIEW	FEB 25, 2025
2	ISSUED FOR CLIENT REVIEW	MAR 31, 2025
3	ISSUED FOR SITE PLAN APPLICATION	APR 23, 2025
4	ISSUED FOR 33% SET	MAY 14, 2025
5	REISSUED FOR SITE PLAN APPLICATION	JUN 25, 2025
6	REISSUED FOR SITE PLAN APPLICATION	AUG 25, 2025
	COMMENTS	



PROJECT TITLE:
TONY GRAHAM 2500 PREP SHOP
UNIT 4, 2500 PALLADIUM DRIVE, OTTAWA, ON, K2V 1E2

DRAWING TITLE:
FLOOR PLANS

DESIGNED BY: Designer
DRAWN BY: Author
START DATE: 2025-02-13
SCALE: 1 : 75
PROJECT NO. 2512

A101

NO.	REVISION	DATE
1	ISSUED FOR CLIENT REVIEW	FEB 25, 2025
2	ISSUED FOR CLIENT REVIEW	MAR 31, 2025
3	ISSUED FOR SITE PLAN APPLICATION	APR 23, 2025
4	ISSUED FOR 33% SET	MAY 14, 2025
5	REISSUED FOR SITE PLAN APPLICATION	JUN 25, 2025
6	REISSUED FOR SITE PLAN APPLICATION COMMENTS	AUG 25, 2025

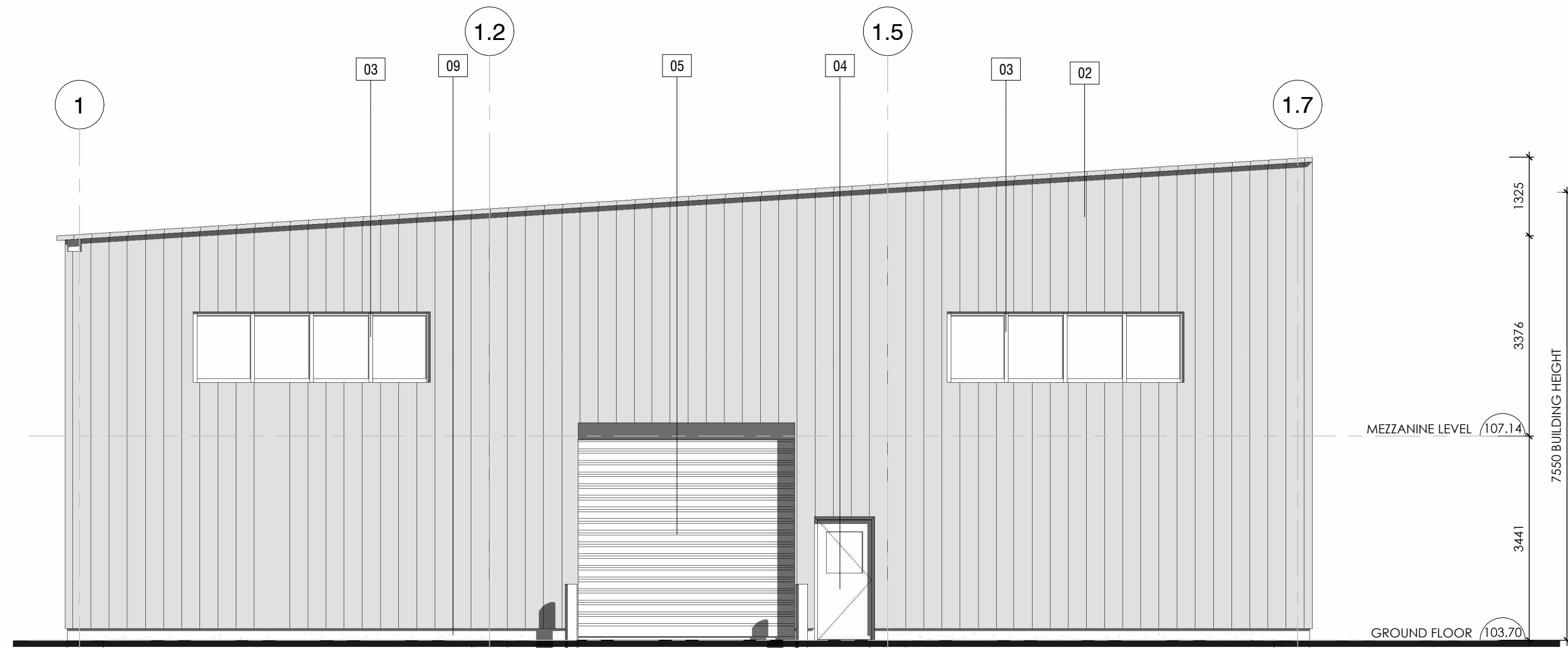
ELEVATION KEYNOTES	
#	DESCRIPTION
01	INSULATED METAL PANEL - COLOUR PEARL GRAY
02	METAL PANEL CLADDING - COLOUR PE 5717 LINER WHITE
03	ALUMINUM CURTAIN WALL, FINISH BLACK ANODIZED
04	HOLLOW METAL INSULATED DOOR AND FRAME W/GLASS - COLOUR TO MATCH WALL CLADDING
05	GARAGE DOOR, ANODIZED ALUMINUM AND GLASS SECTIONS.
06	STANDING SEAM METAL ROOF PANELS - COLOUR PE 5717 LINER WHITE
07	METAL FLASHING - COLOUR RED
08	CANOPY CAPPED IN METAL FLASHING - COLOUR RED
09	EXPOSED CONCRETE FOUNDATION WALL



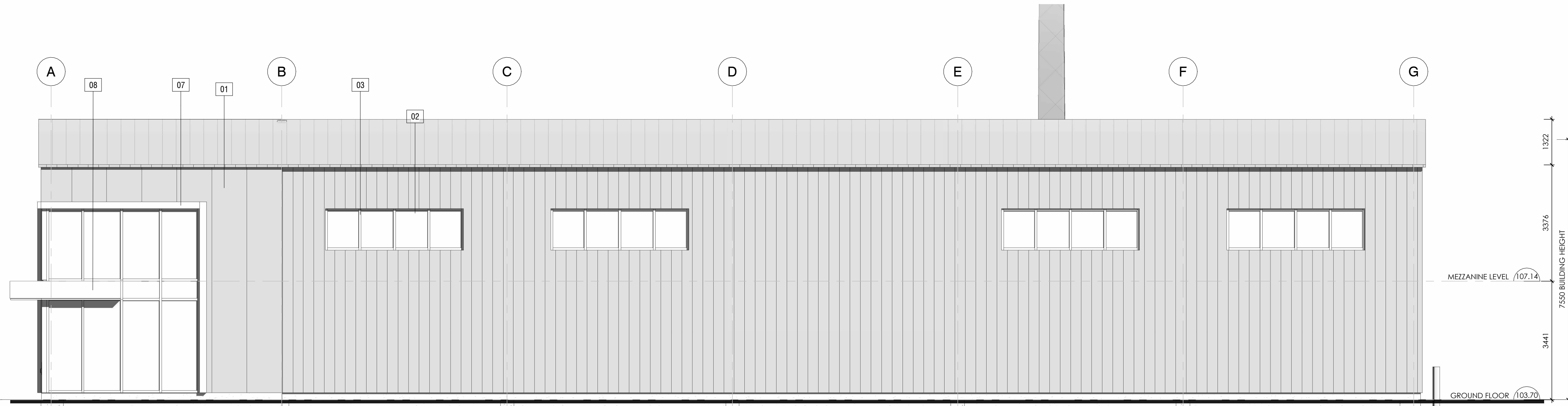
01 EAST ELEVATION
SCALE: 1:75



02 NORTH ELEVATION
SCALE: 1:75



03 SOUTH ELEVATION
SCALE: 1:75



04 WEST ELEVATION
SCALE: 1:75



PROJECT TITLE:
TONY GRAHAM 2500 PREP SHOP
UNIT 4, 2500 PALLADIUM DRIVE, OTTAWA, ON, K2V 1E2

DRAWING TITLE:
ELEVATIONS

DESIGNED BY: Designer
DRAWN BY: Author
START DATE: 2025-02-13
SCALE: 1:75
PROJECT NO. 2512

A200